



## **Chapter 14 Residential (part)**

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The review of the urban residential zones and rules have been divided to two stages. This Stage 1 review of the Residential Chapter 14 encompasses:

1. a review of all of the:
  - a. Living 1, Living 2, Living 3 and Living 4 zones (where the Living 4 zones sit outside the Central City ) and the Objectives Policies and Rules that relate to them – except those that are subject to the Canterbury Earthquake Authority's 'Red Zones'.
  - b. Banks Peninsula Residential Zone and the Objectives Policies and Rules that relate to them.
2. a partial review of the Banks Peninsula Conservation Zones and their associated objectives, policies and rules. This review did not include Objectives Policies and Rules and design guides that relate to additions alterations and demolition of existing buildings.
3. the introduction of a Residential New Neighbourhood Zone for new greenfield residential development.
4. the rezoning of some completed Living G developments to Residential Suburban and Residential Medium Density Zone.

The Stage 2 review of the Residential Chapter 14 will review:

1. Objectives Policies and Rules and design guides that relate to additions alterations and demolition of existing buildings and new buildings in the Banks Peninsula Conservation Zone.
2. Special Amenity Areas (SAMs) and the Objectives Policies and Rules that relate to them.
3. Living Hill Zones and the Objectives Policies and Rules that relate to them.
4. Living Rural Settlement Zones and the Objectives Policies and Rules that relate to them.
5. Living Rural Village Zones and the Objectives Policies and Rules that relate to them.
6. Banks Peninsula Small Settlements Zones and the Objectives Policies and Rules that relate to them.
7. Banks Peninsula Papakainga Zones and the Objectives Policies and Rules that relate to them.
8. Living 5 Travellers Accommodation Zones and the Objectives Policies and Rules that relate to them.
9. Living Greenfield Zone and the Objectives Policies and Rules that relate to them.
10. Living Tailors Mistake Bach Zone and the Objectives Policies and Rules that relate to them.
11. Living Zones subject to the Canterbury Earthquake Authority's 'Red Zones'.

Note also that until such time as a final direction (or directions) from the Hearings Panel to amend the City Plan is made then the currently operative District Plan provisions in both the Christchurch City Plan and the Banks Peninsula District Plan remain in effect.

## **14.1 Objectives and Policies**

### **14.1.1 Objective - Housing supply**



- a. An increased supply that will:
  - i. enable a wide range of housing types, sizes, and densities;
  - ii. meet the diverse needs of the community in the immediate recovery period; and longer term, including social and temporary housing options; and
  - iii. assist in improving housing affordability.

#### **14.1.1.1 Policy - Location density and type of housing**

- a. Ensure:
  - i. high density residential development in the Central City that achieves a net density of 50 households per hectare;
  - ii. existing medium density residential areas achieve a net density of 30 households per hectare;
  - iii. new residential medium density development is immediately available and located within and around suitable Key Activity Centres and larger neighbourhood centres where it meets the following criteria:
    - A achieves a net density of 30 households per hectare;
    - B accessible to a public transport mode;
    - C within a 400 metre walkable distance of a selected Key Activity Centre or larger suburban commercial centre;
    - D able to be efficiently serviced by Council owned stormwater, wastewater and water supply networks;
    - E located outside Special Amenity Areas unless the potential adverse effects of increased density on the unique residential character and amenity of these areas can be mitigated;
    - F in close proximity to existing parks or open space, or where there is a local deficiency of parks and open space, this is able to be efficiently addressed to support medium density development;
    - G is located outside of high hazard areas and/or those areas where the adverse environmental effects of land remediation outweigh the benefits; and
    - H there is adequate potential for the land to be redeveloped and yield 30hh/ha based on the age of the housing stock and the presence of sufficient vacant land, property amalgamation potential, and large sites that have not been redeveloped in the last 20 years;
  - iv. low and medium residential density development in greenfield neighbourhoods achieves a net density of 15 households per hectare;
  - v. greenfield land is available for further residential development up to 2028; and
  - vi. low density residential environments in other existing suburban residential areas, and in the residential areas of Banks Peninsula, are maintained, but limited apartments are provided for smaller residential units that are compatible with the low density suburban environment.

**Note:** This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

#### **14.1.1.2 Policy - Provision of social housing**



- a. Enable small scale medium density social housing developments throughout the residential area.

**Note:** This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

#### **14.1.1.3 Policy - Non-Household residential accommodation**

- a. Enable sheltered housing, refuges, and student hostels to locate throughout residential areas, provided that the building scale, massing, and layout is compatible with the anticipated character of any surrounding residential environment.

**Note:** This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

#### **14.1.1.4 Policy- Provision of retirement villages**

- a. Provide for comprehensively designed and well located higher density accommodation options and accessory services for older people and those requiring care or assisted living, throughout all residential zones.

**Note:** This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

#### **14.1.1.5 Policy - Recovery housing**

- a. Provide for a range of additional housing opportunities to meet residential recovery needs through redevelopment and additions to the existing housing stock and/or vacant land, that:
  - i. are consistent with the anticipated character of any surrounding residential environment;
  - ii. are visually and physically subordinate to the principal dwelling;
  - iii. does not adversely affect pedestrian safety and efficiency of traffic movements within the street; and
  - iv. are appropriately laid out and designed to provide a high level of residential amenity and meet the functional needs of residents both in the short and the long term.

**Note:** This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

#### **14.1.1.6 Policy - Recovery housing - higher density comprehensive redevelopment**

- a. Enable higher density comprehensive redevelopment of larger and suitably located sites within lower and medium density residential areas whilst ensuring that this development:
  - i. achieves high quality urban design and on-site amenity;



- ii. has appropriate access to local services and facilities;
- iii. integrates with, and is compatible with, the anticipated character and amenity of the surrounding residential environment;
- iv. provides a range of housing types and sizes;
- v. can be adequately serviced with infrastructure; and
- vi. is located in an area where tsunami inundation hazard can be avoided and other natural hazards appropriately mitigated.

**Note:** This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

#### **14.1.1.7 Policy - Recovery housing - social housing redevelopment**

- a. Enable comprehensive redevelopment of social housing in areas where:
  - i. natural hazards can be adequately mitigated;
  - ii. adequate infrastructure services and capacity are available; and
  - iii. reverse sensitivity effects on existing industrial areas are managed.
- b. Ensure social housing redevelopment achieves:
  - i. high quality urban design and on-site amenity;
  - ii. development integrated and sympathetic with the amenity of adjacent neighbourhoods and adjoining sites;
  - iii. the stock of community housing units being maintained or increased;
  - iv. increased residential density; and
  - v. an increased range of housing types, including housing for lower income groups and those with specific needs.

**Note:** This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

#### **14.1.1.8 Policy - Temporary infringement for earthquake repairs**

- a. Enable temporary infringement of some built form standards to facilitate the timely completion of repairs to earthquake damaged houses and ancillary buildings.

**Note:** This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

### **14.1.2 Objective - Residential recovery needs**

- a. Short-term residential recovery needs are met by providing opportunities for:



- i. an increased supply throughout the lower and residential medium density areas;
- ii. higher density comprehensive redevelopment of sites within suitable lower and residential medium density areas;
- iii. medium density comprehensive redevelopment of community housing environments; and
- iv. new neighbourhood areas in greenfields priority areas.

**Note:** Policies [14.1.1.1](#), [14.1.1.2](#), [14.1.1.3](#), [14.1.1.4](#), [14.1.1.5](#), [14.1.1.6](#), [14.1.1.7](#) and [14.1.1.8](#) also apply to Objective 14.1.2

### **14.1.3 Objective - Housing distribution and density**

- a. A distribution of different density areas with:
  - i. increased density of residential development in and around the Central City and identified commercial centres where there is ready access to a wide range of facilities, services, public transport, parks and open spaces;
  - ii. limited additional infill housing in other existing suburban areas to maintain a low density, open and landscaped environment;
  - iii. a mix of housing densities in New Neighbourhood areas;
  - iv. medium density residential development in suitable brownfield areas and on larger suburban residential sites where external impacts on the surrounding areas can be mitigated; and
  - v. integrated provision of infrastructure.

**Note:** Policies [14.1.1.1](#), [14.1.1.2](#), [14.1.1.3](#), [14.1.1.4](#), [14.1.1.5](#), [14.1.1.6](#), [14.1.1.7](#) and [14.1.1.8](#) also apply to Objective 14.1.3

### **14.1.4 Objective - Strategic infrastructure**

- a. Residential development that does not adversely affect the efficient operation, use, and development of Christchurch International Airport and Port of Lyttelton, and other strategic infrastructure.

### **14.1.5 Objective - High quality residential environments**

- a. High quality, sustainable, residential neighbourhoods which are well designed, have a high level of amenity, and enhance local character.

**Note:** Policies [14.1.7.1](#), [14.1.7.2](#), [14.1.7.3](#), and [14.1.7.5](#) also apply to objective 14.1.5.





#### **14.1.5.1 Policy - Neighbourhood character, amenity and safety**

- a. Ensure individual developments achieve high quality residential environments in all residential areas by:
  - i. reflecting the context, character, and scale of building anticipated in the neighbourhood;
  - ii. contributing to a high quality street scene;
  - iii. providing a high level of internal and external amenity;
  - iv. minimising noise effects from traffic and other sources where necessary to protect residential amenity;
  - v. providing safe, efficient, and easily accessible movement for pedestrians, cyclists, and vehicles; and
  - vi. incorporating principles of crime prevention through environmental design.

#### **14.1.4.1 Policy - Avoidance of adverse effects on strategic transport infrastructure**

- a. Avoid reverse sensitivity effects on strategic transport infrastructure including:
  - i. Christchurch International Airport;
  - ii. the major and minor arterial road network; and
  - iii. the Port of Lyttelton.

#### **14.1.5.2 Policy - Scale of home occupations**

- a. Ensure home occupation activity is secondary in scale to the residential use of the property.

#### **14.1.5.3 Policy - Character of low and medium density areas**

- a. Ensure that:
  - i. low density residential areas are characterised by a low scale open residential environment with predominantly one or two storey detached or semi detached housing, and significant opportunities for landscaping and good access to sunlight and privacy are maintained; and
  - ii. medium density areas are characterised by medium scale and density of buildings up to two or three stories, including semi-detached and terraced housing and low rise apartments, and landscaping in publicly visible areas, while accepting that access to sunlight and privacy may be limited by the anticipated density of development.

#### **14.1.5.4 Policy - Best practice for health, building sustainability, energy and water efficiency**

- a. Ensure that all new residential buildings:
  - i. provide for occupants' health, changing physical needs, and life stages; and
  - ii. are energy and water efficient.



#### **14.1.5.5 Policy - Neighbourhood character and residential amenity in residential areas of Banks Peninsula**

- a. Ensure high quality residential character and amenity is achieved through development that:
  - i. does not visually dominate views;
  - ii. maintains the landscape setting;
  - iii. protects and enhances Ngāi Tahu manawhenua cultural values; and
  - iv. provides access to mahinga kai and places of cultural significance to manawhenua.

#### **14.1.5.6 Policy - Heritage values in residential areas of Lyttelton and Akaroa**

- a. Conserve the residential historic heritage values of identified areas in Lyttelton and Akaroa by:
  - i. providing limited opportunity for additional households;
  - ii. ensuring that new buildings are of a similar scale, size and height as existing residential dwellings in the area;
  - iii. ensuring that subdivision creates lots that are consistent with the historic development pattern that exists in the area;
  - iv. ensuring that new buildings and modification to buildings, including their setting, complement and are compatible with the:
    - A architectural style;
    - B era;
    - C form and proportions;
    - D façade line of buildings in the area;
    - E layout on the site;
    - F landscape context; and
  - v. ensuring engagement with manawhenua on the protection of waahi tapu and wahi taonga and others with knowledge and expertise on natural and cultural heritage.

#### **14.1.6 Objective - Comprehensive planning for new neighbourhoods**

- a. Promote new residential developments in priority greenfield residential growth areas that are comprehensively planned so that they are environmentally and socially sustainable over the long term.

##### **14.1.6.1 Policy - Comprehensive development**

- a. Ensure that new neighbourhoods are comprehensively planned and designed through development of, and giving effect to, an overarching vision that:
  - i. responds positively to the local context of each area;
  - ii. produces short and long-term positive environmental, social, and manawhenua outcomes;



- iii. fully integrates subdivision layout with potential land use;
- iv. integrates residential development with the concurrent supporting range of local community facilities and services that support residents' daily needs;
- v. achieves an efficient and effective staging of the provision and use of infrastructure, stormwater management networks, parks, and open space networks that is integrated with land use development;
- vi. provides good access to facilities and services by a range of transport modes through the provision of integrated movement networks of roads, public transport, cycle, and pedestrian routes;
- vii. shows infrastructure and movement routes that are fully integrated with existing adjacent communities and enables connectivity with other undeveloped areas;
- viii. avoids or adequately mitigates risks from natural hazards and geotechnical characteristics of the land;
- ix. remediates contaminated land;
- x. utilises opportunities to enhance tangata whenua values, particularly indigenous biodiversity and mahinga kai;
- xi. recognises Ngāi Tahu cultural and traditional associations with the Otautahi landscape; and
- xii. avoids interim land use and development compromising the integrity and viability of infrastructure provision and community development.

#### **14.1.6.2 Policy - Higher density housing location**

- a. Ensure that some higher density housing is located to support, and have ready access to, commercial centres and public transport, and to provide opportunities for walking and cycling, and ready access to open space.

#### **14.1.6.3 Policy - Higher density housing to support papakainga development**

- a. Ensure that opportunities are provided for higher density papakainga housing.

#### **14.1.6.4 Policy - Neighbourhood Centres scale and location**

- a. Provide appropriately sized Neighbourhood Centres to enable residents and visitors to meet their day-to-day needs.

#### **14.1.6.5 Policy - Parks and open space networks**

- a. Ensure that a variety of integrated public parks and open space areas:
  - i. are provided to meet differing community needs;
  - ii. are within walkable distance for all residents; and
  - iii. provide open space links to enhance biodiversity and flora and fauna corridors with



recreational and access opportunities.

#### **14.1.6.6 Policy - Stormwater networks**

- a. Ensure that stormwater management:
  - i. utilises “soft” engineered solutions that limits stormwater loads on waterways and enables the development of multi-purpose amenity areas that integrate with the parks and open space networks;
  - ii. improves water quality and infiltration;
  - iii. reduces the potential for bird strike to aircraft;
  - iv. encourages stormwater swales, wetlands, and retention basins planted in native species (rather than left as grass) that are appropriate to the specific use, recognising the ability of particular species to absorb water and filter waste; and
  - v. has sufficient capacity to meet the required level of service in the infrastructure design standard.

#### **14.1.6.7 Policy - Transport network**

- a. Ensure accessibility and connectivity for all modes of transport through:
  - i. a well-connected cycle and pedestrian network that is integrated with the park and stormwater networks;
  - ii. a public transport route through the neighbourhood along main through-roads that are easily accessible to residents, and that, in particular, connects with any neighbourhood or larger commercial centres; and
  - iii. a roading network that is easy to navigate through.

#### **14.1.6.8 Nga kaupapa / Policy - Protection and enhancement of sites, values and other taonga of significance to tangata whenua**

- a. Ensure:
  - i. protection of sites, values and other taonga of cultural significance to Ngāi Tahu using culturally appropriate methods;
  - ii. identification and utilisation of opportunities to enhance sites, values and other taonga of cultural significance to Ngāi Tahu; and
  - iii. protection of the relationship of tangata whenua with freshwater, including cultural well-being and customary use opportunities.

#### **14.1.6.9 Policy - Separation of incompatible activities**

- a. Ensure adverse effects (including reverse sensitivity) on existing businesses, strategic infrastructure, and rural activities are avoided or adequately mitigated.



#### **14.1.6.10 Policy - Protection and enhancement of natural features and amenity**

- a. Ensure that development complements and enhances amenity, Ngāi Tahu manuwheua cultural values, recreational, heritage and ecological indigenous biodiversity features and values, particularly for conservation areas, rivers and streams.

### **14.1.7 Objective - Non-Residential activities**

- a. Residential activities remain the dominant activity in the residential zones and any non-residential activities meet only local community needs, and are compatible with, and can be accommodated within, residential areas.

#### **14.1.7.1 Policy - Residential character**

- a. Ensure that non-residential activities have minimal adverse effects on residential coherence, character, and amenity.

**Note:** This policy also applies to Objective [14.1.5](#)

#### **14.1.7.2 Policy - Local community facilities and services**

- a. Ensure that community facilities and services within residential areas are limited to those that meet only local community needs.

**Note:** This policy also applies to Objective [14.1.5](#)

#### **14.1.7.3 Policy - Existing non-residential activities**

- a. Enable existing non-residential activities to continue and limit further on-site redevelopment of non-residential activities.

**Note:** This policy also applies to Objective [14.1.5](#)

#### **14.1.7.4 Policy - Retailing in residential zones**

- a. Ensure that small scale retailing is limited in type and location to appropriate corner sites on higher order streets in the road hierarchy.



### **14.1.7.5 Policy - Memorial Avenue and Fendalton Road**

- a. Maintain the war memorial and visitor gateway roles of Memorial Avenue and Fendalton Road and their very high amenity values, by avoiding the establishment of non-residential activities and associated signage and vehicle parking on sites in residential zones with frontage to these roads.

**Note:** This policy also applies to Objective [14.1.5](#)

## **14.2 Rules - Residential Suburban Zone and Residential Suburban Density Transition Zone**

### **14.2.1 How to use the rules**

- 14.2.1.1 The rules that apply to activities in the Residential Suburban Zone are contained in:
  - a. The Activity Status Tables (incl. Activity Specific Standards) in Rules [14.2.2.1](#); [14.2.2.2](#), [14.2.2.3](#), [14.2.2.4](#), and [14.2.2.5](#).
  - b. Built Form Standards in Rules [14.2.3.1](#), [14.2.3.2](#), [14.2.3.3](#), [14.2.3.4](#), [14.2.3.5](#), [14.2.3.6](#), [14.2.3.7](#), [14.2.3.8](#), [14.2.3.9](#), [14.2.3.10](#), [14.2.3.11](#), [14.2.3.12](#), [14.2.3.13](#), and [14.2.3.14](#).
- 14.2.1.2 The rules that apply to activities within the following specific areas are contained in the Area Specific Restricted Discretionary Activities Table [14.2.4.1](#), Area Specific Non Complying Activities Table [14.2.4.2](#), and Area Specific Built Form Standards Rule [14.2.4.3](#).
  - a. Wigram, within the the area of the diagram shown on [Rule 14.2.4.3.9](#) (generally bounded by RNZAF Bequest Land, Awatea Road, and the Wigram aerodrome and runway), – [Rule 14.2.4.1](#) RD1 and [Rule 14.2.4.3.9](#).
  - b. Peat Ground Condition Constraint – Rules [14.2.4.1](#) RD5, [14.2.4.3.1](#), [14.2.4.3.3](#), [14.2.4.3.5](#), and [14.2.4.3.7](#).
  - c. Peat Ground Condition Constraint south of the Northcote – Burwood expressway, between Philpotts Road and Burwood Road - [Rule 14.2.4.1](#) RD2 and [Figure 7](#).
  - d. Prestons Road Retirement Village – Rules [14.2.4.1](#) RD3, RD4, RD5; [14.2.4.3.2](#); [14.2.4.3.3](#); [14.2.4.3.4](#); [14.2.4.3.5](#); and [14.2.4.3.8](#).
  - e. Adjacent to State Highway 73 (Southern Motorway) between Annex and Curletts Roads - [Rule 14.2.4.3.7](#).
  - f. Adjacent to State Highway 75 (Curletts Road) between the intersection with State Highway 73 and Lincoln Road - [Rule 14.2.4.3.7](#).
  - g. Existing Rural Hamlet - Rules [14.2.4.3.1](#), [14.2.4.3.3](#), and [14.2.4.3.7](#).
  - h. Stormwater capacity constraint - Rules [14.2.4.1](#) RD5, [14.2.4.3.1](#), and [14.2.4.3.5](#).
  - i. Boundary with Industrial Park Zone at Russley Road / Memorial Avenue - [Rule 14.2.4.3.6](#).



14.2.1.3 The Activity Status Tables and Standards in the following Chapters shall be complied with (where relevant):

- 5 Natural Hazards;
- 6 General Rules and Procedures;
- 7 Transport;
- 8 Subdivision, Development and Earthworks;
- 9 Heritage and Natural Environment;
- 11 Utilities, Energy and Infrastructure; and
- 12 Hazardous Substances and Contaminated Land.

## 14.2.2 Activity status tables

### 14.2.2.1 Permitted Activities

In the Residential Suburban Zone and the Residential Suburban Density Transition Zone the activities listed below are permitted activities if they comply with the Activity Specific Standards set out in this table and the Built Form Standards in [Rule 14.2.3](#).

Activities may also be restricted discretionary, discretionary, non-complying or prohibited as specified in Rules [14.2.2.3](#), [14.2.2.4](#), [14.2.2.5](#), and [14.2.2.6](#).

Activity		Activity specific standards
<b>P1</b>	<u>Residential Activities</u> that occur within a <u>residential unit</u> .	a. NIL.
<b>P2</b>	Accommodation of travellers for a tariff.	There shall be: a. a maximum of six travellers accommodated at any one time; and b. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u> .
<b>P3</b>	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer.	There shall be: a. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and b. at least one carer residing permanently within the <u>residential unit</u> .
<b>P4</b>	Relocation of a <u>residential unit</u> .	a. NIL.
<b>P5</b>	Conversion of an <u>elderly person's housing unit</u> existing at 6 December 2013, into a	Each converted unit shall have: a. a minimum <u>gross floor area</u> , excluding terraces, <u>garages</u> , sun decks, and verandahs, of 35m <sup>2</sup> ; and





<b>Activity</b>  <u>residential unit</u> that may be occupied by any person(s) and without the need to be encumbered by a bond or other appropriate legal instrument.	<b>Activity specific standards</b>  b. a separate <u>outdoor living space</u> readily accessible from its <u>living area</u> that is at least 30m <sup>2</sup> with a minimum dimension of 3m.
<b>P6</b> <u>Home Occupation.</u>	The <u>home occupation</u> shall limit: <ul style="list-style-type: none"> <li>a. the <u>gross floor area</u> of the <u>building</u> plus the area used for <u>outdoor storage area</u> occupied by the occupation to less than 40m<sup>2</sup>;</li> <li>b. the number of <u>FTE</u> employed persons, who reside permanently elsewhere than on the <u>site</u>, to one;</li> <li>c. any <u>retailing</u> to the sale of goods grown or produced on the <u>site</u>, or internet-based sales where no customer visits occur;</li> <li>d. the hours of operation to 50 hours per week;</li> <li>e. the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of:               <ul style="list-style-type: none"> <li>i. 0900 – 2100 Monday to Friday; and</li> <li>ii. 0900 – 1300 Saturday, Sunday and public holidays;</li> </ul> </li> <li>f. visitor or staff <u>parking area</u> to outside the <u>road boundary setback</u>;</li> <li>g. signage to a maximum area of 1m<sup>2</sup>, except that where the activity is located on <u>sites</u> with <u>frontage</u> to Memorial Avenue or Fendalton Road there shall be no signage; and</li> <li>h. activity, where that activity is:               <ul style="list-style-type: none"> <li>i. open to visitors and clients; and</li> <li>ii. in a multiple level apartment complex; to the ground floor.</li> </ul> </li> </ul>
<b>P7</b> <u>Pre-schools facility.</u>	The facility shall: <ul style="list-style-type: none"> <li>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>c. limit outdoor play areas and facilities to those</li> </ul>





Activity		Activity specific standards
		<p>that comply with the Group 1 acoustic standard for residential zones;</p> <ul style="list-style-type: none"> <li>d. limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>e. limit the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ul style="list-style-type: none"> <li>i. 0700 – 2100 Monday to Friday, and</li> <li>ii. 0700 – 1300 Saturday, Sunday and public holidays;</li> </ul> </li> <li>f. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u> is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and</li> <li>g. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</li> </ul> <p><b>Note:</b> See Figure 1.</p>
P8	<u>Health Care Facility.</u>	<p>The facility shall:</p> <ul style="list-style-type: none"> <li>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial or collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>b. only occupy a <u>gross floor area of building</u> of less than 200m<sup>2</sup>;</li> <li>c. limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>d. limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100;</li> <li>e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and</li> <li>f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</li> </ul>



Activity	Activity specific standards
<p><b>P9</b>     <u>Veterinary Care Facility.</u></p>	<p>The facility shall:</p> <ol style="list-style-type: none"> <li>only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100;</li> <li>only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>;</li> <li>only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block; and</li> <li>limit the boarding of animals on the <u>site</u> to four.</li> </ol> <p><b>Note:</b> See Figure 1.</p>
<p><b>P10</b>     <u>Education activity.</u></p>	<p>The activity shall:</p> <ol style="list-style-type: none"> <li>only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>limit the hours of operation when the <u>site</u> is open to students, or clients, and deliveries to between the hours of: <ol style="list-style-type: none"> <li>0700 – 2100 Monday to Saturday; and</li> <li>Closed Sunday and public holidays;</li> </ol> </li> <li>only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have</li> </ol>



Activity		Activity specific standards
		<p><u>frontage</u> to the same <u>road</u>; and</p> <p>f. only locate on residential blocks where there are no more than two non-residential activities already within that block.</p> <p><b>Note:</b> See Figure 1.</p>
P11	Temporary Military or Emergency Service Training activities.	a. NIL.
P12	Market gardens, community gardens, and garden <u>allotments</u> .	a. NIL.
P13	Storage of <u>heavy vehicles</u> .	a. No more than one vehicle shall be stored on the <u>site</u> .
P14	Dismantling, repair, or storage of motor vehicles and boats.	a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u> .
P15	Conversion of a family flat existing at 6 December 2013 into a <u>residential unit</u> that may be occupied by any person(s) and without the need to be encumbered by a legal instrument.	<p>a. Each converted flat shall have a minimum <u>gross floor area</u>, excluding terraces, <u>garages</u>, sun decks, and verandahs, of 35m<sup>2</sup>.</p> <p>b. There shall be a total <u>outdoor living space</u> on the <u>site</u> with a minimum area of 90m<sup>2</sup> and a minimum dimension of 6m. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an <u>outdoor living space</u> that is directly accessible from that unit and is a minimum of 30m<sup>2</sup> in area.</p> <p><b>Note:</b> This requirement replaces the general <u>outdoor living space</u> requirements set out in <a href="#">Rule 14.2.3.5</a>.</p>
P16	Conversion of a <u>residential unit</u> within, or as an extension to, a <u>residential unit</u> into two residential units.	<p>a. Each <u>residential unit</u> shall have a minimum <u>gross floor area</u>, excluding terraces, <u>garages</u>, sun decks and verandahs, of 35m<sup>2</sup>.</p> <p>b. There shall be a total <u>outdoor living space</u> on the <u>site</u> with a minimum area of 90m<sup>2</sup> and a minimum dimension of 6m. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an <u>outdoor living space</u></p>



Activity		Activity specific standards
		<p>that is directly accessible from that unit and is a minimum of 30m<sup>2</sup> in area.</p> <p><b>Note:</b> This requirement replaces the general <u>outdoor living space</u> requirements set out in <a href="#">Rule 14.2.3.5</a>.</p> <p>c. The <u>residential unit</u> to be converted shall be outside:</p> <ul style="list-style-type: none"> <li>i. the tsunami inundation area as set out in Environment Canterbury report number R12/38 “Modelling coastal inundation in Christchurch and Kaiapoi from a South American Tsunami using topography from after the 2011 February Earthquake (2012), NIWA”;</li> <li>ii. the Riccarton wastewater interceptor catchment identified on the <a href="#">Planning Maps</a> 38, 37, 31, 30, 23; and</li> <li>iii. a <u>floor level and fill management area</u>.</li> </ul>
P17	Replacement of a <u>residential unit</u> with two <u>residential units</u> .	<ul style="list-style-type: none"> <li>a. The existing <u>site</u> shall be occupied by one <u>residential unit</u> and that <u>residential unit</u> has been, or will be, demolished because the insurer(s) of that unit have determined that the <u>residential unit</u> was uneconomic to repair because of earthquake damage.</li> <li>b. The <u>site</u> shall be outside: <ul style="list-style-type: none"> <li>i. the tsunami inundation area as set out in Environment Canterbury report number R12/38 “Modelling coastal inundation in Christchurch an Kaiapoi from a South American Tsunami using topography from after the 2011 February Earthquake (2012), NIWA”;</li> <li>ii. the Riccarton wastewater interceptor catchment identified on the <a href="#">Planning Maps</a> 38, 37, 31, 30, 23; and</li> <li>iii. a <u>floor level and fill management area</u>.</li> </ul> </li> <li>c. There shall be a total <u>outdoor living space</u> on the <u>site</u> with a minimum area of 90m<sup>2</sup> and minimum dimension of 6m. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an <u>outdoor living space</u></li> </ul>



Activity		Activity specific standards
		<p>that is directly accessible from that unit and is a minimum of 30m<sup>2</sup> in area.</p> <p><b>Note:</b> This requirement replaces the general <u>outdoor living space</u> requirements set out in <a href="#">Rule 14.2.3.5</a>.</p>
<b>P18</b>	Construction of 2 <u>residential units</u> on a <u>site</u> that was made vacant prior to the Canterbury earthquakes of 2010 and 2011.	<p>a. The <u>site</u> shall be outside:</p> <ul style="list-style-type: none"> <li>i. the tsunami inundation area as set out in Environment Canterbury report number R12/38 “Modelling coastal inundation in Christchurch and Kaiapoi from a South American Tsunami using topography from after the 2011 February Earthquake (2012), NIWA”;</li> <li>ii. the Riccarton wastewater interceptor catchment identified on the <a href="#">Planning Maps 38, 37, 31, 30, 23</a>; and</li> <li>iii. a <u>floor level and fill management area</u> overlay.</li> </ul> <p>b. There shall be a total <u>outdoor living space</u> on the <u>site</u> with a minimum area of 90m<sup>2</sup> and minimum dimension of 6m. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an <u>outdoor living space</u> that is directly accessible from that unit and is a minimum of 30m<sup>2</sup> in area.</p> <p><b>Note:</b> This requirement replaces the general <u>outdoor living space</u> requirements set out in <a href="#">Rule 14.2.3.5</a>.</p>
<b>P19</b>	Minor <u>residential unit</u> where the minor unit is a detached <u>building</u> and the existing <u>site</u> it is to be built on contains only one <u>residential unit</u> .	<p>a. The <u>site</u> containing both units shall have a minimum <u>net site area</u> of 450m<sup>2</sup>.</p> <p>b. The minor <u>residential unit</u> shall have a minimum <u>gross floor area</u> of 35m<sup>2</sup> and a maximum <u>gross floor area</u> of 70m<sup>2</sup>.</p> <p>c. The <u>parking areas</u> of both units shall be accessed from the same <u>access</u>.</p> <p>d. Each <u>residential unit</u> shall have a total <u>outdoor living space</u> on the <u>site</u> with a minimum area of 90m<sup>2</sup>. This total space can be provided as:</p> <ul style="list-style-type: none"> <li>i. a single continuous area with a minimum</li> </ul>



Activity		Activity specific standards
		<p>dimension of 6m; or</p> <ul style="list-style-type: none"> <li>ii. be in 2 connected spaces each with a minimum dimension of 6m;</li> <li>iii. be divided into two separate unconnected spaces, provided that each unit is provided with an <u>outdoor living space</u> that is directly accessible from that unit and is a minimum of 30m<sup>2</sup> in area.</li> </ul> <p><b>Note:</b> This requirement replaces the general <u>outdoor living space</u> requirements set out in <a href="#">Rule 14.2.3.5</a>.</p>
<b>P20</b>	<u>Social Housing</u> Multi-unit Residential Complexes	<ul style="list-style-type: none"> <li>a. The complex shall only contain up to three <u>residential units</u>.</li> </ul>
<b>P21</b>	Multi-unit Residential Complexes within the Residential Suburban Density Transition Zone	<ul style="list-style-type: none"> <li>a. The complex shall only contain up to three <u>residential units</u>.</li> </ul>
<b>P22</b>	<u>Places of Assembly</u>	<p>The activity shall:</p> <ul style="list-style-type: none"> <li>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial or collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>b. only occupy a <u>gross floor area of building</u> of less than 200m<sup>2</sup>;</li> <li>c. limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>d. limit the hours of operation when the <u>site</u> is open to visitors, or clients, and deliveries to between the hours of: <ul style="list-style-type: none"> <li>i. 0700 – 2100 Monday to Saturday; and</li> <li>ii. Closed Sunday and public holidays (excluding churches and church halls);</li> </ul> </li> <li>e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u> is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and</li> <li>f. only locate on residential blocks where there are no more than two non-<u>residential activities</u></li> </ul>



Activity		Activity specific standards
P23	Temporary lifting or moving of earthquake damaged <u>buildings</u> where there is non compliance with one or more of Rules <a href="#">14.2.3.3</a> , <a href="#">14.2.3.4</a> , <a href="#">14.2.3.5</a> , <a href="#">14.2.3.6</a> , <a href="#">14.2.3.7</a> .	<p>already within that block.</p> <p><b>Note:</b> See Figure 1.</p> <p>a. <u>Buildings</u> shall not be:</p> <ol style="list-style-type: none"> <li>moved to within 1m of an internal <u>boundary</u> and/or within 3m of any <u>waterbody</u>, scheduled tree, listed heritage item, natural resources and <u>Council</u> owned structure, <u>archaeological site</u>, or the coastal marine area;</li> <li>lifted to a <u>height</u> exceeding 2.5m above the applicable recession plane or <u>height</u> control;</li> </ol> <p>b. The <u>building</u> must be lowered back or moved back to its original position, or a position compliant with the <u>District Plan</u> or consistent with a resource consent, within eight weeks of the lifting or moving works having first commenced.</p> <p>c. In all cases of a <u>building</u> being moved or lifted, the owners/occupiers of land adjoining the <u>sites</u> shall be informed of the work at least seven days prior to the lift or move of the <u>building</u> occurring. The information provided shall include details of a contact person, details of the lift or move, and the duration of the lift or move.</p> <p>d. The <u>Council's</u> Resource Consents Manager shall be notified of the lifting or moving the <u>building</u> at least seven days prior to the lift or move of the <u>building</u> occurring. The notification must include details of the lift or move, property address, contact details and intended start date.</p>
P24	Repair or rebuild of <u>buildings</u> with cross leases, company leases or unit titles.	<p>a. Where the <u>building</u> footprint, or <u>building</u> location, is to be altered to enable the repair or rebuild of a <u>building</u> damaged by the Canterbury earthquakes of 2010 and 2011, and the existing <u>building</u> complies with zone Rules <a href="#">14.2.3.3</a>, <a href="#">14.2.3.6</a>, and <a href="#">14.2.3.9</a> repaired or relocated <u>buildings</u> need comply with zone Rules <a href="#">14.2.3.3</a>, <a href="#">14.2.3.6</a>, and <a href="#">14.2.3.9</a>.</p> <ol style="list-style-type: none"> <li>Clarification: If any of the above standards are not met, the activity status will be as specified in the relevant standard.</li> </ol> <p>b. Where the <u>building</u> footprint or <u>building</u> location is to be altered to enable the repair or rebuild of a</p>





Activity	Activity specific standards
	<p><u>building</u> damaged by the Canterbury earthquakes of 2010 and 2011, and the existing <u>building</u> does not comply with zone Rules <a href="#">14.2.3.3</a>, <a href="#">14.2.3.6</a>, and <a href="#">14.2.3.9</a>; repaired or relocated <u>buildings</u> shall not increase non-compliance with zone Rules <a href="#">14.2.3.3</a>, <a href="#">14.2.3.6</a>, and <a href="#">14.2.3.9</a> .</p> <p>Clarification: If any of the above standards are not met or if there is increased non-compliance with the standards, the activity status will be as specified in the relevant standard.</p> <p>c. Where the repair or rebuild of a <u>building</u> damaged by the Canterbury Earthquakes of 2010 and 2011 will not alter the <u>building</u> footprint or location, repaired or relocated <u>buildings</u> need not comply with any of the built form standards.</p> <p>d. For any other reason, <u>buildings</u> need to comply with all relevant standards.</p> <p>Refer to <a href="#">Rule 8.2.3.1 of Chapter 8</a>.</p>



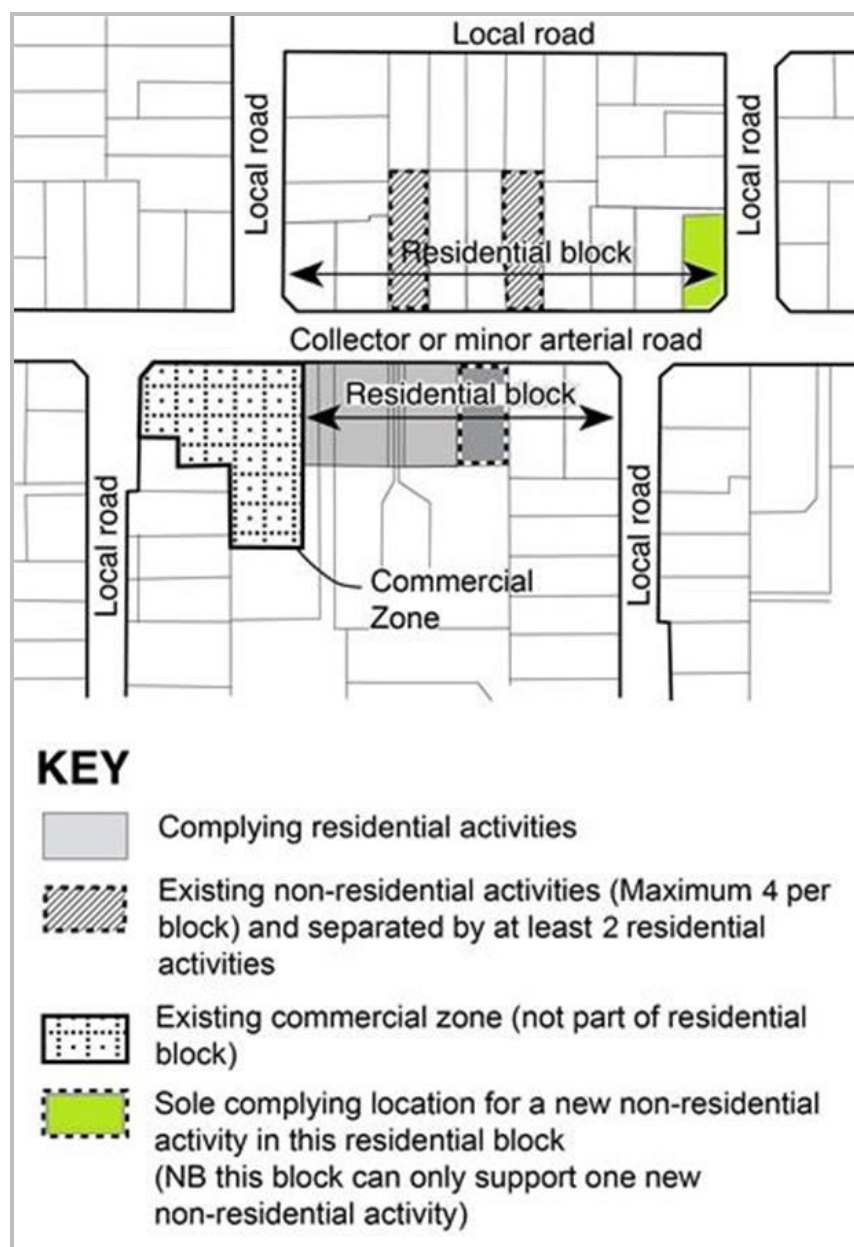


Figure 1 : Residential coherence

### 14.2.2.2 Controlled Activities

There are no controlled activities.

### 14.2.2.3 Restricted Discretionary Activities

The activities listed below are restricted discretionary activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in 14.9 for each standard, as set out in the following table.

Activity	The Council's discretion shall be limited to the
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		following matters:
<b>RD1</b>	<u>Residential units</u> (including any <u>sleep-outs</u> ) containing more than six bedrooms in total.	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles - <a href="#">14.9.6</a>.</li> <li>b. Scale of activity - <a href="#">14.9.14</a>.</li> <li>c. Traffic generation and access safety - <a href="#">14.9.15</a>.</li> <li>d. Liquefaction susceptibility of the <u>site</u> and proposed development - <a href="#">14.9.20</a>.</li> </ul>
<b>RD2</b>	Student hostels owned or operated by a secondary or <u>tertiary education and research activity</u> containing less than 10 bedrooms.	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles - <a href="#">14.9.6</a>.</li> <li>b. Scale of activity - <a href="#">14.9.14</a>.</li> <li>c. Liquefaction susceptibility of the <u>site</u> and proposed development - <a href="#">14.9.20</a>.</li> </ul>
<b>RD3</b>	Creation of stormwater drainage ponding areas within 3km of the edge of the Christchurch International Airport runways.	<ul style="list-style-type: none"> <li>a. Stormwater ponding areas within 3km of Christchurch International Airport - <a href="#">14.9.18</a>.</li> </ul>
<b>RD4</b>	<u>Sensitive activities</u> and <u>building</u> within the Electricity Transmission Line Corridor: <ul style="list-style-type: none"> <li>a. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities:               <ul style="list-style-type: none"> <li>i. any new <u>sensitive activity</u> or additional <u>habitable space</u>;</li> <li>ii. any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities:</li> <li>iii. any <u>sensitive activity</u></li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>a. Electricity transmission line corridor - <a href="#">14.9.19</a>.</li> </ul>



Activity	The <b>Council's</b> discretion shall be limited to the following matters:
<ul style="list-style-type: none"> <li>b. The centre of the transmission line is to be found by measuring a straight line from the centre of two adjoining support structures.</li> <li>c. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner.</li> <li>d. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent.</li> </ul> <p><b>Note:</b></p> <ul style="list-style-type: none"> <li>1. The transmission lines are shown on the <a href="#">Planning Maps</a> 9, 16, 21, 22, 23, 24, 26, 28, 29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49, 50, 51, 55, 56, 61, 62, 63, 69, 70, 78.</li> <li>2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines.</li> </ul>	
<p><b>RD5</b> Conversion of a <u>residential unit</u> within or as an extension to a <u>residential unit</u> into two <u>residential units</u> that does not meet the Activity Specific Standards in <a href="#">Rule 14.2.2.1</a> P16 a. and b.</p>	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles- <a href="#">14.9.6</a>.</li> <li>b. Minor <u>residential units</u> - <a href="#">14.9.7</a>.</li> </ul>
<p><b>RD6</b> Minor <u>residential unit</u> where the minor unit is a detached <u>building</u> and does not meet the Activity Specific Standards in <a href="#">Rule 14.2.2.1</a> P19 a, b, c, and d.</p>	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles- <a href="#">14.9.6</a>.</li> <li>b. Minor <u>residential units</u> - <a href="#">14.9.7</a>.</li> </ul>
<p><b>RD7</b> <u>Social housing</u> multi-unit residential complexes - over three <u>residential units</u></p>	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles - <a href="#">14.9.6</a>.</li> <li>b. Scale of activity - <a href="#">14.9.14</a>.</li> <li>c. Traffic generation and access safety - <a href="#">14.9.15</a>.</li> </ul>
<p><b>RD8</b> Multi-unit residential complexes in Residential Suburban Density Transition Zone – over three <u>residential units</u>.</p>	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design</li> </ul>



Activity		The <b>Council's</b> discretion shall be limited to the following matters:
		<p>principles - <a href="#">14.9.6</a>.</p> <p>b. Scale of activity - <a href="#">14.9.14</a>.</p> <p>c. Traffic generation and access safety - <a href="#">14.9.15</a>.</p>
<b>RD9</b>	<u>Retirement villages.</u>	<p>a. Urban design and Māori urban design principles - <a href="#">14.9.6</a>.</p> <p>b. Scale of activity - <a href="#">14.9.14</a>.</p> <p>c. Traffic generation and access safety - <a href="#">14.9.15</a>.</p>
<b>RD10</b>	<p><u>Convenience activities</u> where:</p> <p>a. the <u>site</u> is located on the corner of a <u>minor arterial road</u> that intersects with either a <u>minor arterial road</u> or <u>collector road</u>;</p> <p>b. the total area occupied by <u>retailing</u> on the <u>site</u> is no more than 50m<sup>2</sup> <u>public floor area</u>;</p> <p>c. the activity does not include the sale of alcohol;</p> <p>d. signage is limited to no more than 1m<sup>2</sup> and shall be within the <u>road boundary setback</u>;</p> <p>e. the hours of operation when the <u>site</u> is open to business visitors or clients are limited to between the hours of 0700 – 2200 Monday to Sunday and public holidays; and</p> <p>f. no on-site <u>parking area</u> for visitors or service purposes is to be provided.</p>	<p>a. Urban design and Māori urban design principles - <a href="#">14.9.6</a>.</p> <p>b. Scale of activity - <a href="#">14.9.14</a>.</p> <p>c. Non residential hours of operation - <a href="#">14.9.16</a>.</p> <p>d. Traffic generation and access safety - <a href="#">14.9.15</a>.</p>
<b>RD11</b>	<p>Temporary lifting or moving of earthquake damaged <u>buildings</u> that does not meet the standards in <a href="#">Rule 14.2.2.1</a> P23.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. Temporary lifting or moving of earthquake damaged <u>buildings</u> - <a href="#">14.9.23</a>.</p>
<b>RD12</b>	<p><u>Residential unit</u> in the Residential Suburban Zone contained within its own separate <u>site</u> with a minimum <u>net site area</u> between 400 and 450m<sup>2</sup>.</p>	<p>a. <u>Site</u> density and <u>site</u> coverage - <a href="#">14.9.1</a>.</p>



Activity		The <b>Council's</b> discretion shall be limited to the following matters:
<b>RD13</b>	<u>Residential unit</u> in the Residential Suburban Density Transition Zone contained within its own separate <u>site</u> with a minimum <u>net site area</u> between 300 and 330m <sup>2</sup> .	a. <u>Site</u> density and <u>site</u> coverage - <a href="#">14.9.1</a> .
<b>RD14</b>	Non-compliance with <a href="#">Rule 14.2.3.4</a> where the <u>site</u> coverage is between 35% and 40%.	a. <u>Site</u> density and <u>site</u> coverage - <a href="#">14.9.1</a> .
<b>RD15</b>	Non compliance with <a href="#">Rule 14.2.3.4</a> for multi-unit residential complexes within the Residential Suburban Density Transition Zone where the <u>site</u> coverage is between 40-45% (calculated over the <u>net site area</u> of the <u>site</u> of the entire complex).	a. <u>Site</u> density and <u>site</u> coverage - <a href="#">14.9.1</a> .
<b>RD16</b>	Non compliance with <a href="#">Rule 14.2.3.6</a> .	a. <u>Building height</u> and daylight recession planes - <a href="#">14.9.2</a> .
<b>RD17</b>	Non compliance with <a href="#">Rule 14.2.3.7</a> .	a. Minimum <u>building</u> window and <u>balcony setbacks</u> from internal <u>boundaries</u> - <a href="#">14.9.4</a> .
<b>RD18</b>	Non compliance with <a href="#">Rule 14.2.3.8</a> .	a. Minimum <u>building</u> window and <u>balcony setbacks</u> from internal <u>boundaries</u> - <a href="#">14.9.4</a> .
<b>RD19</b>	<p>Non compliance with one or more of the following Rules: <a href="#">14.2.3.2</a>.</p> <p><u>Site</u> Coverage for Market gardens where the <u>site</u> coverage exceeds 55% - <a href="#">14.2.3.4</a>,</p> <p><a href="#">14.2.3.5</a>, <a href="#">14.2.3.9</a>, <a href="#">14.2.3.10</a>, <a href="#">14.2.3.11</a>, <a href="#">14.2.3.12</a>, <a href="#">14.2.3.13</a>.</p> <p>Any application arising from non-compliance with these rules will not require written approval and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule</p> <p>a. <u>Site</u> Density and <u>Site</u> Coverage - <a href="#">14.9.1</a>.</p> <p>b. Street scene - <u>road boundary</u>, <u>building setback</u>, front doors, fencing and planting - <a href="#">14.9.3</a>.</p> <p>c. <u>Outdoor Living Space</u> - <a href="#">14.9.5</a>.</p> <p>d. Service water and waste management spaces - <a href="#">14.9.11</a>.</p>



Activity		<p>The <b>Council's</b> discretion shall be limited to the following matters:</p> <p>e. Tree and garden planting - <a href="#">14.9.12</a>.</p> <p>f. Life-stage, adaptive design and energy and water efficiency - <a href="#">14.9.21</a>.</p>
<b>RD20</b>	<p>Non compliance with <a href="#">Rule 14.2.3.12</a>.</p> <p>Any application arising from this rule will not require the written approval of any entity except the New Zealand Fire Service and shall not be fully publicly notified. Limited notification if required shall only be to the New Zealand Fire Service.</p>	<p>a. Water supply for fire fighting - <a href="#">14.9.25</a>.</p>
<b>RD21</b>	<p>Non compliance with <a href="#">Rule 14.2.2.1</a> P23.</p>	<p>a. Whether the lifting of or any alteration to the <u>building</u> would impact on the amenity of adjoining properties.</p>

#### 14.2.2.4 Discretionary Activities

The activities listed below are discretionary activities.

Activity	
<b>D1</b>	<p><u>Home occupation</u>, student hostels, <u>pre-schools facilities</u>, <u>health care facilities</u>, <u>education activities</u>, and conversion of an <u>elderly person's housing unit</u> into a <u>residential unit</u>, travellers accommodated for a tariff in a <u>residential unit</u>, care of non-resident children within a <u>residential unit</u>, <u>veterinary care facilities</u>, <u>places of assembly</u>, storage of <u>heavy vehicles</u>, show homes, and dismantling, repair or storage of motor vehicles and/or boats where it does not meet one or more of the relevant Activity Specific Standards for permitted activities in <a href="#">Rule 14.2.2.1</a> P2, P3, P6, P7, P8, P9, P10, P13, P14, P16, or restricted discretionary activities.</p>

#### 14.2.2.5 Non Complying Activities

The activities listed below are non complying activities.



Activity	
<b>NC1</b>	Any activity not provided as a permitted, restricted discretionary, discretionary or prohibited activity.
<b>NC2</b>	Any non-residential activity located on a site with frontage to Memorial Avenue or Fendalton Road.
<b>NC3</b>	Non Compliance with Rule 14.2.3.1 in the Residential Suburban Zone where the residential unit is contained on a site of less than 400m <sup>2</sup> net site area.
<b>NC4</b>	Non compliance with Rule 14.2.3.1 in the Residential Suburban Density Transition Zone where the residential unit is contained on a site of less than 300m <sup>2</sup> net site area.
<b>NC5</b>	Non compliance with Rule 14.2.3.3.
<b>NC6</b>	Non compliance with Rule 14.2.3.4 where the site coverage exceeds 40%.
<b>NC7</b>	Non compliance with Rule 14.2.3.4 Multi-unit Social Housing Complexes area where the site coverage exceeds 45% (calculated over the net site area of the entire complex).

### 14.2.2.6 Prohibited Activities

There are no prohibited activities.

## 14.2.3 Built form standards

### 14.2.3.1 Site Density

Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	Activity	Standard
1.	Residential Suburban Zone. (excluding residential units established under Rule 14.2.2.1 P15, P16, P17 and P18)	450m <sup>2</sup> .
2.	Residential Suburban Density Transition Zone.	330m <sup>2</sup> .
3.	(Multi-unit residential) Social housing complexes.	There shall be no minimum net site area for any site for any residential unit.
4.	Multi-unit residential complexes.	There shall be no minimum net site area for any site for any residential unit.





	Activity	Standard
5.	Retirement villages.	There shall be no minimum <u>net site area</u> for any <u>site</u> for any <u>residential unit</u> .

### 14.2.3.2 Multi-unit residential complexes, multi-unit social housing complexes and retirement villages - Tree and garden planting

Sites shall include the minimum tree and garden planting as set out in the table below:

1.	1 tree for each 10m of <u>road boundary</u> . (e.g. 10m of <u>road boundary</u> = 1 tree, 11m of <u>road boundary</u> = 2 trees)
2.	<p>A landscape strip is required along the full length of the accessway or car parking area (internal) boundary. The landscape strip shall have a minimum dimension of 0.6m, excluding kerb. Plant species within the landscape strip are required to be capable of reaching a minimum height at maturity of 1.5m.</p> <p>All trees required by this rule shall not be less than 2m high at the time of planting and capable of reaching a minimum height at maturity of 4m.</p> <p>Planted areas shall cover a minimum of 15% of the net site area. Tree planting shall be evenly distributed across the site.</p>



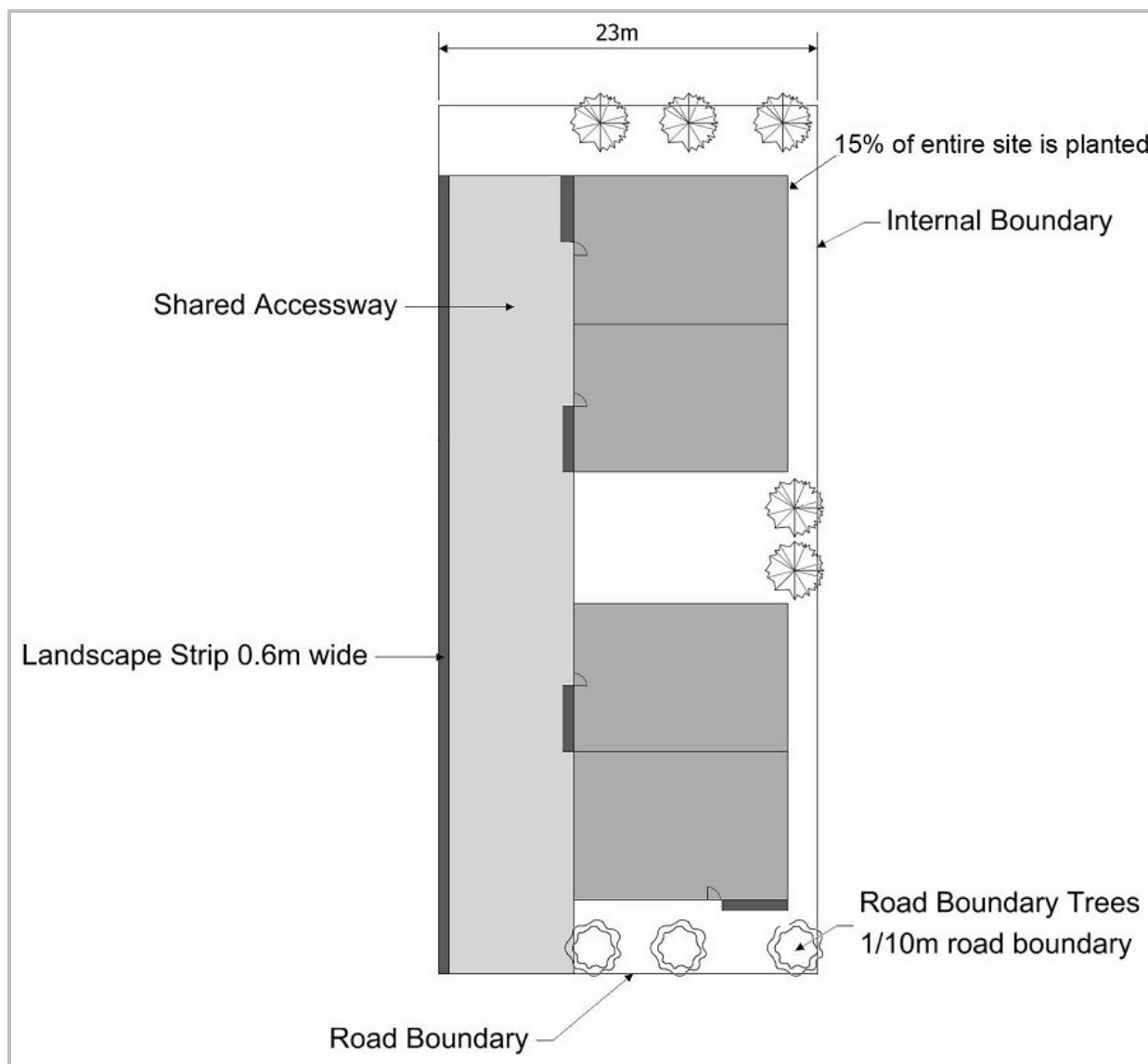


Figure 2 : Landscaping and tree planting

**Note:** This diagram is an illustrative example only, showing one way the rule may be applied.

### 14.2.3.3 Building height

The maximum height of any building shall be:

	Activity	Standard
1.	All <u>buildings</u> unless specified below.	8m
2.	Multi-unit <u>social housing</u> complexes in the Residential Suburban Zone.	5.5m and of a single storey only.
3.	Minor dwelling units in the Residential Suburban Zone.	5.5m and of a single storey only.
4.	Multi-unit residential complexes in the Residential Suburban Zone.	5.5m and of a single storey only.



**Note:** See the permitted height exceptions contained within the definition of height.

#### 14.2.3.4 Site coverage

The maximum percentage of the net site area covered by buildings excluding:

1. fences, walls and retaining walls;
2. eaves and roof overhangs up to 600 millimetres in width from the wall of a building;
3. uncovered swimming pools up to 800 millimetres in height above ground level; and
4. decks, terraces, balconies, porches, verandahs, bay or box windows (supported or cantilevered) which:
  - a. are no more than 800 millimetres above ground level and are uncovered or unroofed; or
  - b. where greater than 800 millimetres above ground level and/or covered or roofed, are in total no more than 6m<sup>2</sup> in area for any one site;

shall be as follows:

	<b>Zone/Activity/ Overlay Area</b>	<b>Standard</b>
1.	All Zones / Activities unless specified below.	35%
2.	Multi-unit <u>social housing</u> complexes within the Residential Suburban Zone.	40%
3.	Market gardens.	55%
4.	<u>Multi-unit residential complexes</u> in the Residential Suburban Density Transition Zone.	40%
5.	<u>Retirement villages</u> .	40%

#### 14.2.3.5 Outdoor living space

1. Each residential unit shall be provided with an outdoor living space in a continuous area, contained within the net site area with a minimum area and dimension as follows:

	<b>Activity/Area</b>	<b>Standard</b>	
		<b>Minimum Area</b>	<b>Minimum Dimension</b>
1.	Residential Suburban Zone.	90m <sup>2</sup>	6m
2.	Residential Suburban Density Transition Zone.	50m <sup>2</sup>	4m
3.	Multi-unit <u>social housing</u> complexes within the Residential	30m <sup>2</sup>	4m



	Suburban Density Transition Zone.		
4.	<u>Retirement villages.</u>	30m <sup>2</sup>	4m

2. The required minimum area shall be readily accessible from a living area of each residential unit. At least half of the required minimum area shall be able to receive sunshine at midday on the shortest day of the year.

**Note:** This rule only applies to structures on the same site.

3. The required minimum area shall not be occupied by any building, access, or parking space, other than:
  - a. an outdoor swimming pool; or
  - b. accessory building of less than 8m<sup>2</sup>; or
  - c. any buildings or parts of a building without walls (other than a balustrade) on at least a quarter of its perimeter, and occupies no more than 30 percent of the area of the outdoor living space.

#### **14.2.3.6 Daylight recession planes**

- a. Buildings shall not project beyond a building envelope constructed by recession planes, as shown in [Appendix 14.10.2 Diagram A](#), from points 2.3 metres above:
  - i. internal boundaries; or
  - ii. where an internal boundary of a site abuts an access lot or access strip the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access lot or access strip or any combination of these areas; or
  - iii. where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.
- b. Where the building is located in an overlay that has a permitted height of more than 11 metres, the recession plane measurement shall commence from points 2.3 metres above internal boundaries and continue on the appropriate angle to points 11 metres above ground level, at which point the recession plane becomes vertical.

Refer to [Appendix 14.10.2](#) for permitted intrusions.

- c. Where sites are located within a Floor Level and Fill Management Area, recession plane breaches created by the need to raise floor levels will not require the written consent of other persons and shall not be publicly or limited notified.

#### **14.2.3.7 Minimum building setbacks from internal boundaries**

The minimum building setback from internal boundaries shall be as follows:

1.	All <u>buildings</u> not listed in table below.	1.8m
2.	<u>Accessory buildings</u> where the total length of walls or parts of the <u>accessory building</u> within 1.8m of each internal <u>boundary</u> does not exceed 10.1m in length.	NIL
3.	Decks and terraces at or below ground floor level.	NIL
4.	<u>Buildings</u> that share a common wall along an internal <u>boundary</u> .	NIL
5.	All other <u>buildings</u> where the internal <u>boundary</u> of the <u>site</u> adjoins an <u>access</u> or part of an <u>access</u> .	1m

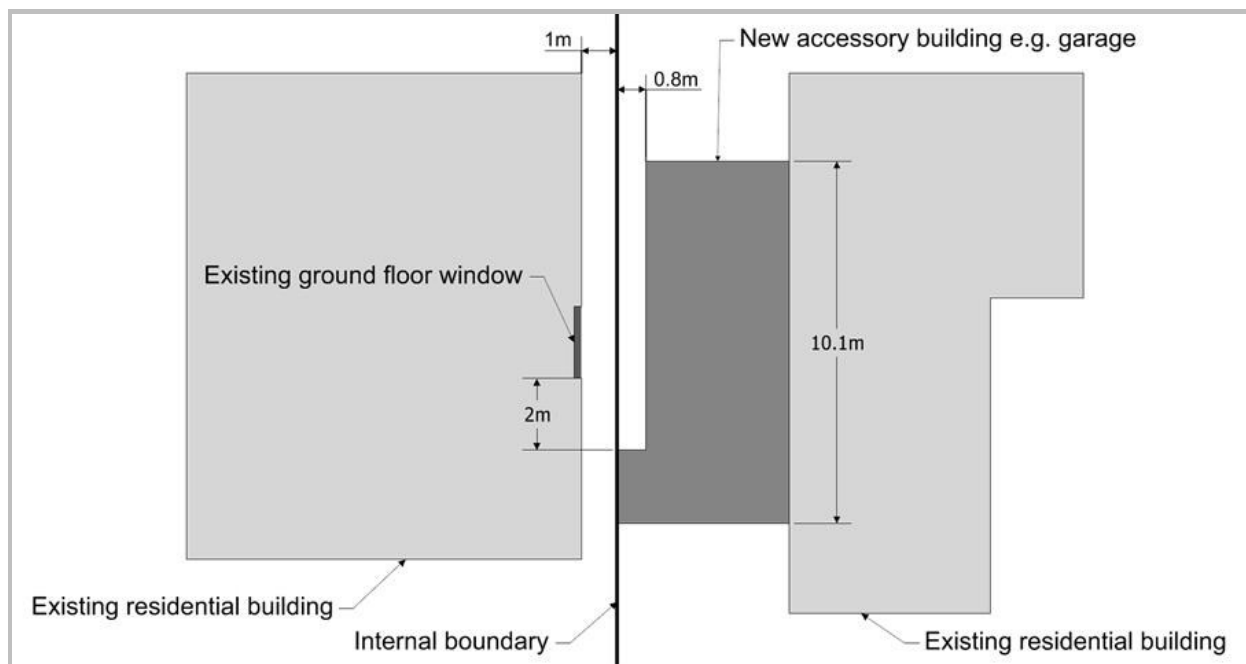


Figure 3 : Separation from neighbours for accessory buildings.

#### 14.2.3.8 Minimum setback and distance to ground level for windows and balconies

The minimum setback for a living area window from an internal boundary shall be 4m. Note where the window is adjacent to an accessway the setback shall be measured from the far side of the accessway.

#### 14.2.3.9 Road boundary building setback

The road boundary building setback shall be:

All <u>buildings</u> .	4.5m
------------------------	------

Except:

1. new garage that is located in front of an existing residential unit that was established prior to the operative date of this plan where the:

- a. side walls are parallel to the road boundary and no more than 6.5 metres in length;
- b. side walls facing the road contain a window with a minimum dimension of at least 0.6 metres (including the window frame);
- c. space between the side wall and the road boundary has planting that includes a minimum of two trees capable of reaching four metres height at maturity;

and where the access to the garage is located adjacent to a side boundary

- d. a planting strip of 0.6m width with a height at time a planting, with species capable of reaching 1.5 metres, of 1.2 metres up to the line of the existing residential unit.

Where this planting conflicts with required visibility splays the visibility splay rules will prevail and the planting not be required.

See Figure 5.

2. a new garage that is located in front of an existing residential unit that was established prior to the operative date of this plan where the:
  - a. garage is a single garage, with the door facing the road boundary, accessed of a local road;
  - b. garage is a maximum 3.6 metres wide;
  - c. garage is fitted with a sectional door and can be operated with an automatic opener. Where the garage is more than 3.5 metres from the road boundary an automatic opener is not required.

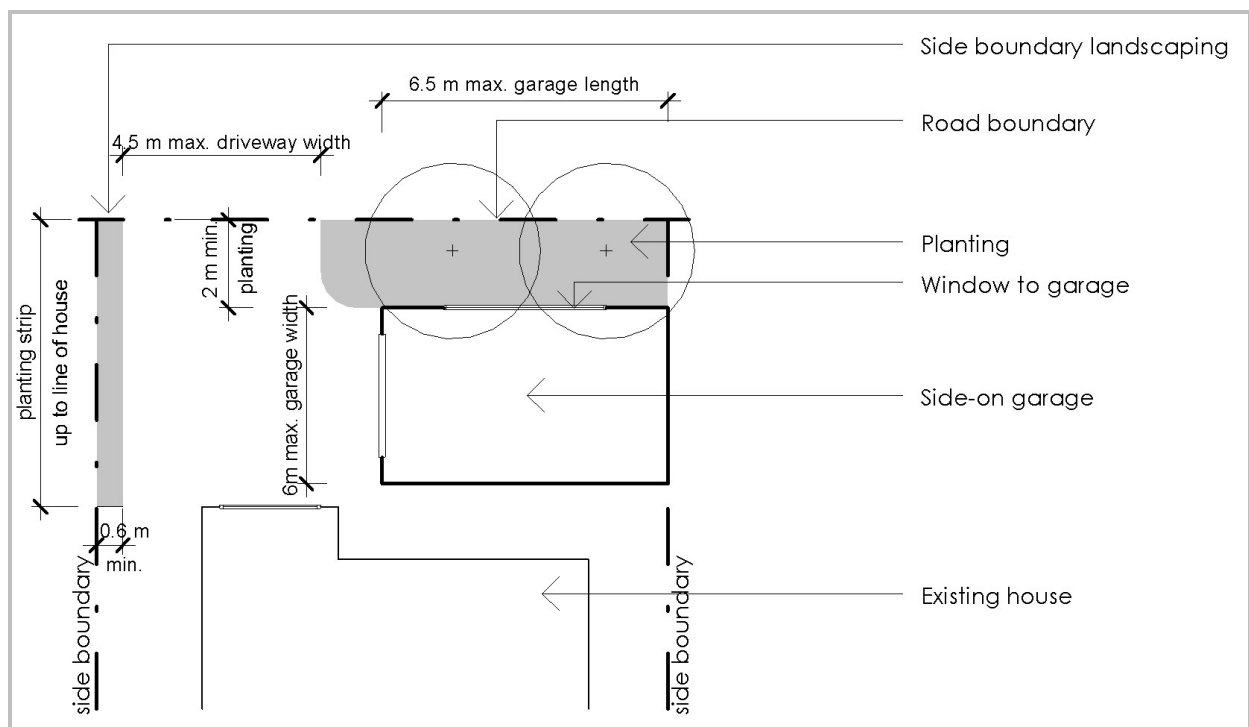


Figure 5 : Side extension.

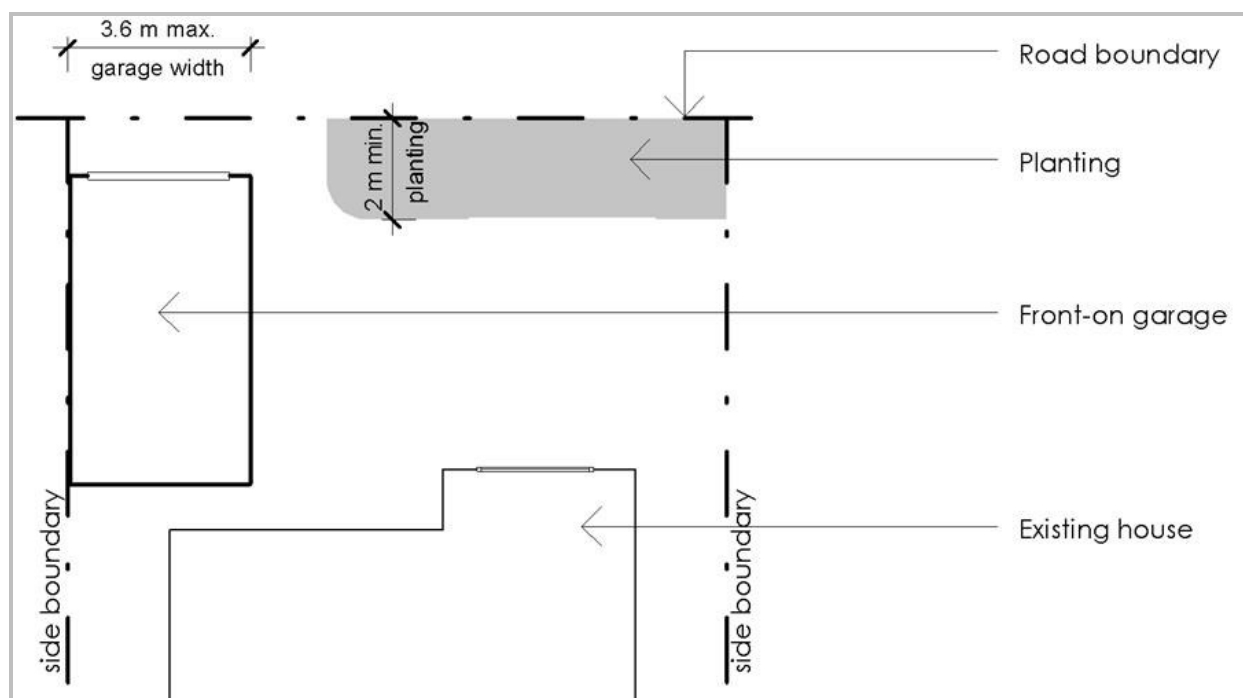


Figure 6 : Front extension.

### 14.2.3.10 Street scene amenity and safety - Fences, garaging and landscape

#### 1. Fences

- a. The maximum height of any fence in the setback from a road boundary with a local road shall be:

Where at least 50% of the fence structure is visually transparent.	1.8m
Where less than 50% of the fence structure is visually transparent.	1m

- b. The maximum height of any fence in the required building setback from any road boundary with any collector road, or arterial road shall be 1.8m.

a. and b. shall not apply to fences or other screening structures located on an internal boundary between two properties zoned residential or residential or commercial or industrial.

**Note:** For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building.

#### 2. Garages

Garages and carports shall comprise no more than 50 percent of any ground floor elevation of the residential building viewed from any one site and shall not be more than 6.8m wide. For garages with the vehicle door generally facing a shared access or road boundary the minimum garage setback shall be 5.5 metres from the shared access or road kerb. This rule does not apply to garages established under [Rule 14.2.3.9](#).



### 3. Landscaping

The land within the road boundary setback required by [Rule 14.2.3.9](#) shall contain a landscape area at least 2m wide along the length of road boundary except that part required for a driveway.

## 14.2.3.11 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

### 1. Pathways

A sealed path from either the road boundary of the site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:

- a. a minimum clear width of 1.2metres;
- b. a slope not exceeding 1:20;
- c. a cross fall of not more than 1:50;
- d. slip resistant surface; and
- e. pathway lighting that is switched on from a light switch located at the door at the end of the path.

### 2. Primary pedestrian entrance door

A primary pedestrian entrance door to the residential unit with:

- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
- b. a maximum threshold of 20mm; and
- c. a external landing area that has a slip resistant surface.

### 3. Doors within the living space of the residential unit

All doorways to and within living space have:

- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
- b. a level transition and threshold (accepting difference in floor materials on either side of the door).

### 4. Corridors, hallways, and passageways within the residential unit

All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.

### 5. Door handles

All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.

### 6. Electrical switches

The centre of all electrical switches on walls, are at the same height as the centre of door handles.

### 7. Powerpoints, television, telephone and computer outlets

All powerpoints, television, telephone and computer outlets are installed at the same height throughout the residential unit at no less than 0.3 metres above the finished floor level.

### 8. Window controls





All window controls are lever handles and are able to be operated with one hand.

9. Space around bed to support ease of movement  
Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.
10. Laundry space  
Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.
11. Kitchen  
The kitchen is not a residential thoroughfare.
12. Toilet
  - a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall.
  - b. and
  - c. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
13. Shower
  - a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that has:
  - b. level entry shower recess with minimum dimensions of 1.2 metres x 1.2 metres;
  - c. drainage of the shower recess located at the corner of a room;
  - d. a clear space that provides for a 1.5 metre turning circle; and
  - e. 800mm clear space beside the shower seat;
  - f. all shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
14. Slip resistant floors on bathrooms  
All bathrooms have slip resistant floor surfaces.
15. Multi-storey access  
All stairway walls have:
  - a. reinforced walls for future installation of a stair-lift or platform lift;
  - b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
  - c. a minimum clear width of 0.9 metres;
  - d. a straight design with no winder treads;
  - e. consistent tread depth with a minimum dimension of 0.31 metres;
  - f. consistent riser height with a minimum dimension of 0.18 metres;
  - g. no open risers; and
  - h. lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

16. Lever action door handles





All door handles are lever action.

17. Tap fixtures

All tap fixtures are lever, or push button, or electronic.

### 14.2.3.12 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value</u> 3.2.
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value</u> 0.31.
d.	Wall insulation.	<u>Insulation R value</u> 2.8.
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value</u> 2.2, 25mm XPS with 9mm fibre cement board glued to the face.
f.	Ventilation.	<ul style="list-style-type: none"> <li>i. Dedicated extraction <u>installed</u> in kitchen and bathrooms.</li> <li>ii. Provision to vent a clothes drier to the outside of the residential unit.</li> </ul>
g.	Water efficiency.	<u>WELS</u> 3 Star Shower. <u>WELS</u> 4 Star Toilets. <u>WELS</u> 4 Star Taps.
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

### 14.2.3.13 Water supply for fire fighting

Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008), where by all residential units must be connected to the Council's urban reticulated system that provide sufficient fire fighting water supply.

### 14.2.3.14 Multi-unit residential complexes and multi-unit social housing complexes - Service, storage and waste management spaces



1. Each residential unit shall be provided with:
  - a. an outdoor service space of 3m<sup>2</sup> and waste management area of 2.25m<sup>2</sup> with a minimum dimension of 1.5 metres; and
  - b. a single, indoor storage space of four cubic metres with a minimum dimension of one metre.
2. Any space designated for waste management, whether private or communal, shall not be located between the road boundary and any building room and shall be screened from adjoining sites, conservation or open space zones, roads, and adjoining outdoor living spaces to a height of 1.5 metres.
3. If a communal waste management area is provided within the site, the minimum required outdoor service space is 3m<sup>2</sup> for each residential unit.
4. If a communal waste management area area is provided, it must be demonstrated to be:
  - a. of a sufficient size to accommodate the number and dimensions of bins required to meet the predicted volume of waste generated by the residential units;
  - b. accessible and safe for use by all residents; and
  - c. easily accessible for the collection of bins by waste management contractors.

## 14.2.4 Area specific activities and standards - Residential Suburban Zone

### 14.2.4.1 Area specific restricted discretionary activities

	Location	Restricted Discretionary	Matters of Discretion
RD1.	Residential area in Wigram as shown on <a href="#">Figure 8</a> .	Non compliance with <a href="#">Rule 14.2.4.3.9</a> .	<ol style="list-style-type: none"> <li>a. Development plans - <a href="#">14.9.28</a>.</li> <li>b. Special <u>setback</u> provisions - Residential Suburban Zone Wigram - <a href="#">14.9.33</a>.</li> </ol>
RD2.	Peat ground condition constraint overlay south of the Northcote – Burwood expressway, between Philpotts Road and Burwood Road.	The <u>development</u> of land shall be in accordance with the layout shown in the development plan in Figure 7.	<ol style="list-style-type: none"> <li>a. Development plans - <a href="#">14.9.28</a>.</li> </ol>
RD3.	Prestons Road Retirement	<ol style="list-style-type: none"> <li>a. The <u>development</u> of land shall be in accordance with the layout shown on</li> </ol>	For a. – h: <ol style="list-style-type: none"> <li>a. Concept Plan - Residential</li> </ol>



	<b>Location</b>	<b>Restricted Discretionary</b>	<b>Matters of Discretion</b>
	Village overlay.	<p>the development plan in <a href="#">Appendix 14.10.3</a>;</p> <p>b. the provision of internal roading;</p> <p>c. the erection of <u>buildings</u>;</p> <p>d. pedestrian facilities/walkways;</p> <p>e. the construction of facilities for stormwater management, retention and treatment;</p> <p>f. <u>landscaping</u> adjacent to <u>roads</u> (including internal roads), pedestrian facilities;</p> <p>g. <u>cycle ways</u>, waterways and zone boundaries;</p> <p>h. the establishment of landscape features, including <u>water bodies</u>;</p> <p>i. vehicular <u>access</u> off Prestons Road to the Residential Suburban Zone Prestons Retirement Village overlay that does not maintain an area of land on the <u>site road frontage</u> that remains clear of obstructions to visibility over 1m in height above the carriageway level. The area of land subject to this rule is that shown on the development plan in <a href="#">Appendix 14.10.3</a>.</p>	<p>Suburban Zone Prestons Road Retirement Village Overlay - <a href="#">14.9.31</a>.</p> <p>b. Vehicular Access - Residential Suburban Zone Prestons Road Retirement Village Overlay - <a href="#">14.9.32</a>.</p> <p>Consent may be granted either in relation to an application in respect of one or more such activities or generally in relation to a Concept Plan for the entire <u>site</u> that indicates the proposed layout, location and/or provision of all intended facilities. If consent is granted in relation to a Concept Plan then the consent will contain a condition requiring that activities associated with the provision of those facilities be such as to produce a result in general accordance with that Plan.</p> <p>For i:</p> <p>c. Use of <u>site</u> and <u>buildings</u> - Residential Suburban Zone Prestons Road Retirement Village overlay - <a href="#">14.9.30</a>.</p> <p>d. Concept Plan Residential Suburban Zone Prestons Road Retirement Village overlay - <a href="#">14.9.31</a>.</p> <p>only.</p>
RD4.	Prestons Retirement Village overlay.	<p>Non compliance with <a href="#">Rule 14.2.4.3.4 Outdoor living space</a>.</p> <p>Any application arising from non compliance with this rule will not require written</p>	<p>Matters of discretion:</p> <p>a. <u>Outdoor living space</u> - <a href="#">14.9.5</a>.</p>

	Location	Restricted Discretionary approvals and shall not be publicly or limited notified.	Matters of Discretion
RD5.	Peat Ground Condition Constraint overlay; Stormwater Capacity Constraint overlay; Prestons Retirement Village overlay.	Non compliance with <a href="#">Rule 14.2.4.3.5</a> Minimum <a href="#">building setbacks</a> from internal <a href="#">boundaries</a> .  Any application arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.	a. Minimum <a href="#">building</a> window and <a href="#">balcony setbacks</a> from internal <a href="#">boundaries</a> - <a href="#">14.9.4</a> .

#### Development Plan - Mairehau Final Development Area

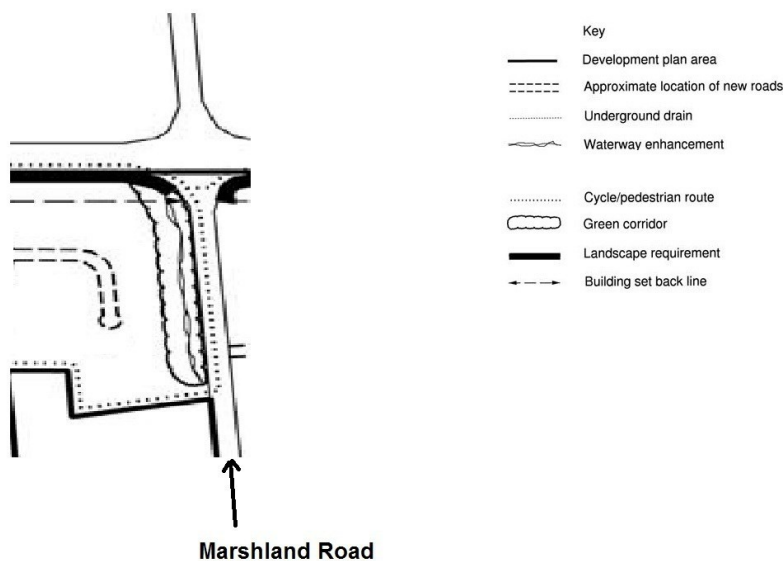


Figure 7 : Mairehau final development area.

#### 14.2.4.2 Area specific non complying activities

The activities listed below are a Non Complying Activity.

Activity	
NC1	Non Compliance with <a href="#">Rule 14.2.4.3.1</a> <a href="#">Site</a> Density.



Activity	
<b>NC2</b>	Non Compliance with <a href="#">Rule 14.2.4.3.2 Building Height</a> Prestons Road Retirement Village.
<b>NC3</b>	Non Compliance with <a href="#">Rule 14.2.4.3.3 Site</a> Coverage.
<b>NC4</b>	Non Compliance with <a href="#">Rule 14.2.4.3.7</a> Noise insulation.
<b>NC5</b>	Non Compliance with <a href="#">Rule 14.2.4.3.8 Building</a> types and limits Prestons Road Retirement Village.
<b>NC6</b>	Non Compliance with <a href="#">Rule 14.2.4.3.9 Outdoor living space</a> west Wigram.

### 14.2.4.3 Area specific built form standards

#### 14.2.4.3.1 Site density

- This applies to:
  - Peat ground condition constraint overlay;
  - Stormwater capacity constraint overlay;
  - Existing rural hamlet overlay in the area to the east of the 50dBA L<sub>dn</sub> noise contour line shown on [Planning Map](#) 18; and
  - Existing rural hamlet overlay in the area to the west of the 50dBA L<sub>dn</sub> noise contour line shown on [Planning Map](#) 18.
- Each [residential unit](#) shall be contained within its own separate [site](#). The site shall have a minimum [net site area](#) as follows:

	Activity	Permitted
1.	Peat ground condition constraint overlay.	2000m <sup>2</sup>
2.	Stormwater capacity constraint overlay.	1 <a href="#">residential unit</a> for each <a href="#">allotment</a> existing at June 1995.
3.	Existing rural hamlet overlay in the area to the east of the 50dBA L <sub>dn</sub> noise contour line shown on <a href="#">Planning Map</a> 18.	1200m <sup>2</sup>
4.	Existing rural hamlet in the area to the west of the 50dBA L <sub>dn</sub> noise contour line shown on <a href="#">Planning Map</a> 18.	2000m <sup>2</sup>

**Note:** Refer also to the Subdivision Rules in [Chapter 8](#).

#### 14.2.4.3.2 Building height Prestons Road Retirement Village



Maximum height of any building shall be:

	Area	Permitted
1.	Prestons Road Retirement Village overlay (excluding area identified as “health facility” as shown in <a href="#">Appendix 14.10.3</a> )	6.5m and of a single storey only
2.	Prestons Road Retirement Village overlay In the “health facility” area as shown in <a href="#">Appendix 14.10.3</a> )	13m

**Note:**

1. See the permitted height exceptions contained within the definition of height;
2. For the purposes of determining building height in the Prestons Road Retirement Village overlay, ground level shall be taken as the level of ground existing when filling or excavation for new buildings on the land has been completed.

### 14.2.4.3.3 Site coverage

1. This applies to:
  - a. Peat ground condition constraint overlay;
  - b. Stormwater capacity constraint overlay;
  - c. Existing rural hamlet overlay; and
  - d. Prestons Road Retirement Village overlay.
2. The maximum percentage of the net site area covered by buildings excluding:
  - a. fences, walls and retaining walls;
  - b. eaves and roof overhangs up to 600 millimetres in width from the wall of a building;
  - c. uncovered swimming pools up to 800 millimetres in height above ground level; and
  - d. decks, terraces, balconies, porches, verandahs, bay or box windows (supported or cantilevered) which:
    - i. are no more than 800 millimetres above ground level and are uncovered or unroofed; or
    - ii. where greater than 800 millimetres above ground level and/or covered or roofed, are in total no more than 6m<sup>2</sup> in area for any one site.

Shall be as follows:

	Zone/Activity/Area	Permitted
1.	Peat ground condition constraint, stormwater capacity constraint, existing rural hamlet and Residential Suburban Zone Prestons Road Retirement Village overlay: <u>residential activities</u> with <u>garages</u> .	40% or 300m <sup>2</sup> whichever is the lesser
2.	Prestons Road Retirement Village overlay: where the <u>height</u> of all <u>buildings</u> on a <u>site</u> does not exceed 5.5m and is of a single storey	40%
3.	Residential Suburban Zone Prestons Road Retirement Village	40% (calculated



	<b>Zone/Activity/Area</b> overlay: elderly persons housing complexes	<b>Permitted</b> over the net site area of the entire complex)
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#### 14.2.4.3.4 Outdoor living space Prestons Road Retirement Village

- Each residential unit shall be provided with an outdoor living space in a continuous area, contained within the net site area with a minimum area and dimension as follows:

	Area	Permitted	
		Minimum Area	Minimum Dimension
1.	Prestons Road Retirement Village overlay: for any elderly persons housing unit with a <u>gross floor area</u> less than 100m <sup>2</sup>	30m <sup>2</sup>	3m

- The required minimum area shall be readily accessible from a living area of each residential unit. At least half of the required minimum area shall be able to receive sunshine at midday on the shortest day of the year.

**Note:** this rule only applies to structures on the same site.

- The required minimum area shall not be occupied by any building, access or parking space, other than:
  - an outdoor swimming pool; or
  - accessory building of less than 8m<sup>2</sup> in area; or
  - any buildings or parts of a building without walls (other than a balustrade) on at least a quarter of its perimeter, which occupies no more than 30 per cent of the area of the outdoor living space.

#### 14.2.4.3.5 Minimum building setbacks from internal boundaries

- This applies to:
  - Peat ground condition constraint overlay;
  - Stormwater capacity constraint overlay;
  - Prestons Retirement Village overlay.
- Minimum building setback from internal boundaries shall be as follows:

	Area	Standard





1.	<u>Buildings</u> in the peat ground condition constraint and stormwater capacity constraint overlays.	3m
2.	Prestons Retirement Village overlay	From Prestons Road - 15m

#### 14.2.4.3.6 Minimum building setback from zone boundary Russley Road/Memorial Avenue

At Russley Road/Memorial Avenue where the zone's eastern boundary abuts the western boundary of the Industrial Park Zone the minimum building setback from the eastern boundary of the zone where it abuts the Industrial Park Zone shall be five metres.

#### 14.2.4.3.7 Noise Insulation

1. This applies to:
  - a. the area adjacent to State Highway 73 (Southern Motorway) between Annex and Curletts Roads;
  - b. the area adjacent to State Highway 75 (Curletts Road) between the intersection with State Highway 73 and Lincoln Road;
  - c. Peat Ground Condition Constraint;
  - d. Existing rural hamlet overlay.

2.	<b>Location</b>	<b>Standards</b>
1.	On that land which is: adjacent to State Highway 73 (Southern Motorway) between Annex and Curletts Roads; adjacent to State Highway 75 (Curletts Road) between the intersection with State Highway 73 and Lincoln Road;	<p><u>Building setbacks</u>, or <u>building</u> location, or acoustic barriers, or other means, either singly or in combination shall be used such that the following noise insulation standards are met:</p> <p>Sound levels attributable to traffic from these roads shall not exceed a level of 57 dBA L10 (18 hour) 54 dBA Leq (24 hour) in any outdoor area of the <u>site</u> and a design level of 60 dBA L10 (18 hour) 57 dBA Leq (24 hour) measured 1m from the facade of any <u>residential unit</u>. All measured in accordance with NZS 6801:1991 Assessment of Sound.</p>
2.	On that land which is on the western side of Marshlands Road between Queen Elizabeth Drive and Briggs Road.	<ol style="list-style-type: none"> <li>a. There shall be no minimum <u>building setback</u> where:               <ol style="list-style-type: none"> <li>i. mounding or other physical barrier to noise transmission capable of reducing traffic</li> </ol> </li> </ol>



		<p>noise intrusion to all parts of any <u>site</u> by at least 10dBA is provided within 20m of the <u>road boundary</u> across the entire width of the <u>site</u>;</p> <p>ii. the mounding in i. is screened from the adjoining <u>road</u> by <u>landscaping</u> with a minimum depth of 1.5m and a minimum <u>height</u> of 1.8m at time of planting;</p> <p>iii. the minimum <u>building setback</u> from a limited access road shall be 40m.</p> <p>b. where a.i. and a.ii. are complied with and all external windows and doors of a <u>residential units</u> including those <u>installed</u> in the roof are acoustically treated to achieve a sound transmission loss of at least 25dBA with windows and doors closed the minimum <u>setback</u> shall be 20m.</p> <p>c. Where a. and b. do not apply the minimum <u>building setback</u> shall be 80m.</p> <p><b>Note:</b> For the purpose of this rule the minimum <u>building setback</u> shall be measured from the <u>road carriageway</u> to the <u>residential unit</u>.</p>
3.	Peat ground condition constraint overlay	The minimum <u>building setback</u> from the boundary with the Residential Suburban Zones or the <u>boundary</u> with Lot 1, Lot 2 or Lot 3 DP 49320 shall be 6m.
4.	Existing rural hamlet overlay	<p>In Residential Suburban Zone existing rural hamlet area west of the 50dBA L<sub>dn</sub> airport noise contour line:</p> <p>a. Any new <u>residential units</u>, or additions to existing <u>residential units</u> shall be insulated from aircraft noise so as to comply with the provisions of <a href="#">Appendix 14.10.3</a>; and</p> <p>b. <u>Buildings</u>, other than <u>residential units</u>, shall also be insulated, where applicable, to comply with the provisions of <a href="#">Appendix 14.10.3</a>.</p>

#### 14.2.4.3.8 Building types and limits Prestons Road Retirement Village

1. There shall be a maximum of 165 independent elderly persons housing units.
2. Where a unit shares a common wall with another unit, there shall be no more than four units in any such arrangement.

3. There shall be a maximum of 45 serviced elderly persons housing units contained within that part of the overlay identified as a health facility.
4. There shall be a maximum of one health facility with ground floor area.
5. The maximum floor area for any one residential unit shall be 165m<sup>2</sup>.

#### 14.2.4.3.9 Outdoor living space West Wigram

On the frontage shown in Figure 8 residential units shall have their primary outdoor living space facing away from the aerodrome site. Windows to living areas which directly face the RNZAF Bequest Land shall be double glazed. In addition, a two metre wide landscape strip and a close solid and continuous 1.8 metre high fence shall be placed along the boundary of the RNZAF Bequest Land and be completed before any residential units are built.

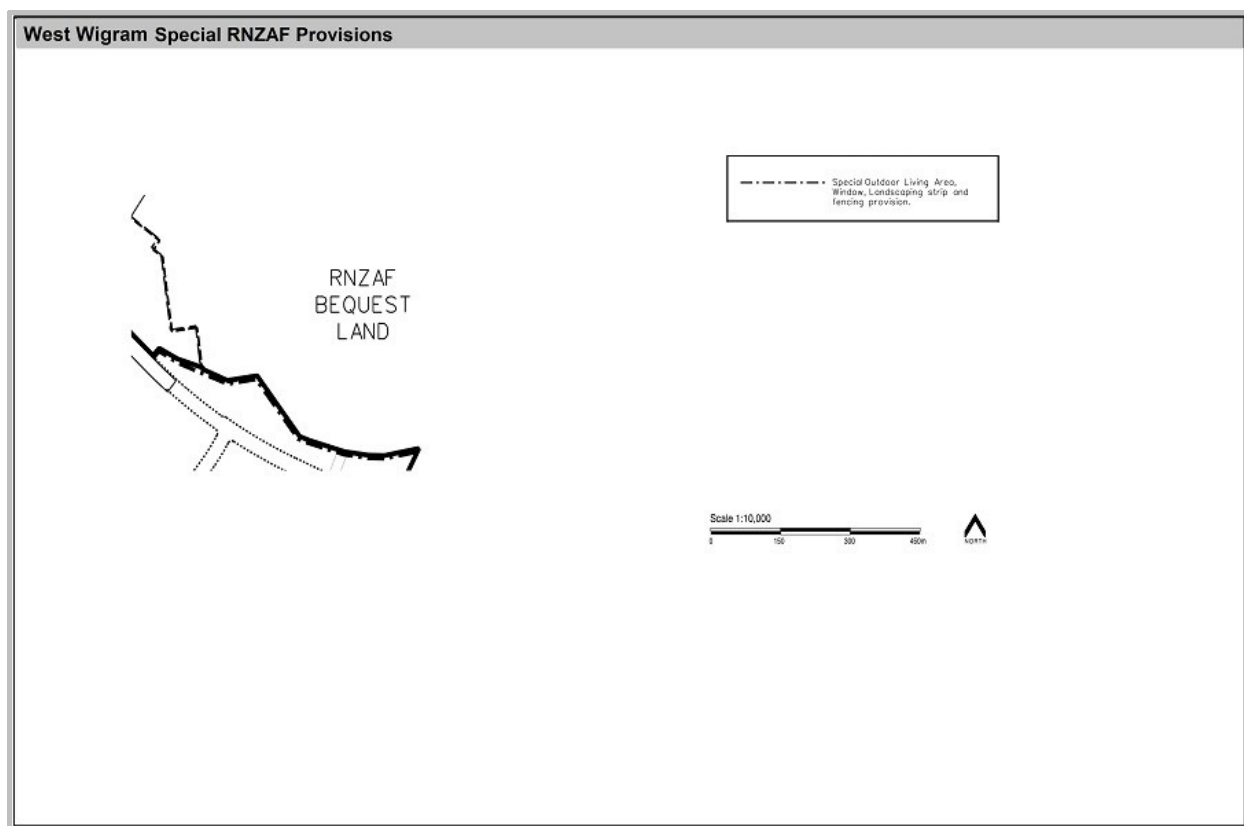


Figure 8 : West Wigram Special RNZAF Provisions

## 14.3 Rules - Medium Density Zone

### 14.3.1 How to use the rules

- 14.3.1.1 The rules that apply to activities in the Residential Medium Density Zone are contained in:
  - a. The Activity Status Tables (incl. Activity Specific Standards) in Rules [14.3.2.1](#), [14.3.2.2](#), [14.3.2.3](#), [14.3.2.4](#), [14.3.2.5](#), and [14.3.2.6](#); and
  - b. Built Form Standards in Rules [14.3.3.1](#), [14.3.3.2](#), [14.3.3.3](#), [14.3.3.4](#), [14.3.3.5](#), [14.3.3.6](#), [14.3.3.7](#), [14.3.3.8](#), [14.3.3.9](#), [14.3.3.10](#), [14.3.3.11](#), [14.3.3.12](#), [14.3.3.13](#), [14.3.3.14](#), [14.3.3.15](#), [14.3.3.16](#), [14.3.3.17](#), and [14.3.3.18](#).



14.3.1.2 The rules that apply to activities within the following specific areas are contained in the Area Specific Standards:

- a. Residential Medium Density Zone, higher height limit and site density overlay at Deans Avenue - Rules [14.3.5.1](#) and [14.3.5.2](#);
- b. Residential Medium Density Zone higher height limit and site density overlay at Carlton Mill - [Rule 14.3.5.1](#);
- c. Residential Medium Density Zone Wigram ([Figure 8](#)) [Rule 14.3.5.2](#); and
- d. Sumner Master Plan overlay area (shown in Chapter 15 Commercial Zones [Appendix 15.9.11](#)) [Rule 14.3.5.2](#).

14.3.1.3 The Activity Status Tables and Standards in the following Chapters shall be complied with (where relevant):

- 5** Natural Hazards;
- 6** General Rules and Procedures;
- 7** Transport;
- 8** Subdivision, Development and Earthworks;
- 9** Heritage and Natural Environment;
- 11** Utilities, Energy and Infrastructure; and
- 12** Hazardous Substances and Contaminated Land

## 14.3.2 Activity status tables

### 14.3.2.1 Permitted Activities

In the Residential Medium Density Zone the activities listed below are permitted activities if they comply with any Activity specific standards set out in this table and the Built form standards in [Rule 14.3.3](#) and the area specific standards in [Rule 14.3.4](#).

Activities may also be restricted discretionary, discretionary, non complying or prohibited as specified in Rules [14.3.2.3](#), [14.3.2.4](#), [14.3.2.5](#), and [14.3.2.6](#).

Activity		Activity specific standards
<b>P1</b>	<u>Residential Activities</u> that occur within <u>residential unit</u> .	a. NIL.
<b>P2</b>	Accommodation of travellers for a tariff.	There shall be: a. a maximum of six travellers accommodated at any one time; and b. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u> .
<b>P3</b>	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the	There shall be: a. a maximum of four non-resident children being cared for in return for monetary payment to the



Activity	Activity specific standards
carer.	<p>carer at any one time; and</p> <p>b. at least one carer residing permanently within the <u>residential unit</u>.</p>
<b>P4</b> Relocation of a <u>residential unit</u> .	a. NIL.
<b>P5</b> Conversion of an <u>elderly person's housing unit</u> existing at 6 December 2013, into a <u>residential unit</u> that may be occupied by any person(s) and without the need to be encumbered by a bond or other appropriate legal instrument.	<p>Each converted unit shall have:</p> <p>a. a minimum <u>gross floor area</u>, excluding terraces, <u>garages</u>, sun decks and verandahs, of 35m<sup>2</sup>; and</p> <p>b. a separate <u>outdoor living space</u> readily accessible from its <u>living area</u> that is at least 30m<sup>2</sup> with a minimum dimension of 3m.</p>
<b>P6</b> <u>Home Occupation</u> .	<p>The <u>home occupation</u> shall limit:</p> <p>a. the <u>gross floor area</u> of the <u>building</u> plus the area used for <u>outdoor storage</u> occupied by the occupation to less than 40m<sup>2</sup>;</p> <p>b. the number of <u>FTE</u> employed persons, who reside permanently elsewhere than on the <u>site</u>, to one;</p> <p>c. any <u>retailing</u> to the sale of goods grown or produced on the <u>site</u>, or internet-based sales where no customer visits occur;</p> <p>d. the hours of operation to 50 hours per week;</p> <p>e. the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of:</p> <p>i. 0900 – 2100 Monday to Friday; and</p> <p>ii. 0900 – 1300 Saturday, Sunday and public holidays;</p> <p>f. visitor or staff <u>parking area</u> to outside the <u>road boundary setback</u>;</p> <p>g. signage to a maximum area of 1m<sup>2</sup>, except that where the activity is located on <u>sites</u> with <u>frontage</u> to Memorial Avenue or Fendalton Road there shall be no signage; and</p> <p>h. activity, where that activity is:</p> <p>i. open to visitors and clients; and</p> <p>ii. in a multiple level apartment complex;</p>



Activity		Activity specific standards to the ground floor.
P7	<u>Pre-schools facility.</u>	<p>The facility shall:</p> <ul style="list-style-type: none"> <li>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>c. limit outdoor play areas and facilities to those that comply with the Group 1 acoustic standard for residential zones;</li> <li>d. limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>e. limit the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ul style="list-style-type: none"> <li>i. 0700 – 2100 Monday to Friday; and</li> <li>ii. 0700 – 1300 Saturday, Sunday and public holidays;</li> </ul> </li> <li>f. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>;</li> <li>g. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</li> </ul> <p><b>Note:</b> See Figure 1.</p>
P8	<u>Health Care Facility.</u>	<p>The facility shall:</p> <ul style="list-style-type: none"> <li>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>c. limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>d. limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of: 0700 – 2100;</li> <li>e. only locate on <u>sites</u> where any <u>residential activity</u></li> </ul>



Activity		Activity specific standards
		<p>on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and</p> <p>f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</p>
P9	<u>Veterinary Care Facility.</u>	<p>The facility shall:</p> <ol style="list-style-type: none"> <li>only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100;</li> <li>only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and</li> <li>only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block; and</li> <li>limit the boarding of animals on the <u>site</u> to four.</li> </ol> <p><b>Note:</b> See Figure 1.</p>
P10	<u>Education activity..</u>	<p>The activity shall:</p> <ol style="list-style-type: none"> <li>only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>limit the hours of operation when the <u>site</u> is open</li> </ol>





Activity		Activity specific standards
		<p>to students, or clients, and deliveries to between the hours of:</p> <ul style="list-style-type: none"> <li>i. 0700 – 2100 Monday to Saturday; and</li> <li>ii. Closed Sunday and public holidays;</li> </ul> <p>e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and</p> <p>f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</p> <p><b>Note:</b> See Figure 1</p>
<b>P11</b>	Temporary military or emergency service training activities.	a. NIL.
<b>P12</b>	Market gardens, community gardens, and garden <u>allotments</u> .	a. NIL.
<b>P13</b>	Storage of <u>heavy vehicles</u> .	a. No more than one vehicle shall be stored on the <u>site</u> .
<b>P14</b>	Dismantling, repair, or storage of motor vehicles and boats.	a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u> .
<b>P15</b>	<u>Places of Assembly</u> .	<p>The activity shall:</p> <ul style="list-style-type: none"> <li>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>c. limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>d. limit the hours of operation when the <u>site</u> is open to visitors, or clients, and deliveries to between the hours of: <ul style="list-style-type: none"> <li>i. 0700 – 2100 Monday to Saturday; and</li> <li>ii. Closed Sunday and public holidays (except churches and church halls);</li> </ul> </li> </ul>



Activity		Activity specific standards
		<p>e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and</p> <p>f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</p> <p><b>Note:</b> See Figure 1.</p>
<p><b>P16</b></p>	<p>Temporary lifting or moving of earthquake damaged <u>buildings</u> where there is non compliance with one or more of Rules <a href="#">14.3.3.2</a>, <a href="#">14.3.3.3</a>, <a href="#">14.3.3.4</a>, <a href="#">14.3.3.5</a>; or <a href="#">14.3.3.6</a>.</p>	<p>a. <u>Buildings</u> shall not be:</p> <ol style="list-style-type: none"> <li>moved to within 1m of an internal <u>boundary</u> and/or within 3m of any <u>waterbody</u>, scheduled tree, listed heritage item, natural resources and <u>Council</u> owned structure, <u>archaeological site</u>, or the coastal marine area;</li> <li>lifted to a <u>height</u> exceeding 2.5m above the applicable recession plane or <u>height</u> control.</li> </ol> <p>b. The <u>building</u> must be lowered back or moved back to its original position, or a position compliant with the <u>District Plan</u> or consistent with a resource consent, within eight weeks of the lifting or moving works having first commenced.</p> <p>c. In all cases of a <u>building</u> being moved or lifted, the owners/occupiers of land adjoining the <u>sites</u> shall be informed of the work at least seven days prior to the lift or move of the <u>building</u> occurring. The information provided shall include details of a contact person, details of the lift or move, and the duration of the lift or move.</p> <p>d. The <u>Council's</u> Resource Consents Manager shall be notified of lifting or moving the <u>building</u> at least seven days prior to the lift or move of the <u>building</u> occurring. The notification must include details of the lift or move, property address, contact details and intended start date.</p>
<p><b>P17</b></p>	<p>Repair or rebuild of <u>buildings</u> with cross leases, company leases or unit titles.</p>	<p>Where the <u>building</u> footprint or <u>building</u> location is to be altered to enable the repair or rebuild of a <u>building</u> damaged by the Canterbury earthquakes of 2010 and 2011, and the existing <u>building</u> complies with zone Rules <a href="#">14.3.3.2</a>, <a href="#">14.3.3.5</a>, and <a href="#">14.3.3.8</a> repaired or</p>



Activity	Activity specific standards
	<p>relocated <u>buildings</u> need comply with Rules <a href="#">14.3.3.2</a>, <a href="#">14.3.3.5</a>, and <a href="#">14.3.3.8</a>.</p> <p>Clarification: If any of the above standards are not met, the activity status will be as specified in the relevant standard.</p> <p>a. Where the <u>building</u> footprint or <u>building</u> location is to be altered to enable the repair or rebuild of a <u>building</u> damaged by the Canterbury earthquakes of 2010 and 2011, and the existing <u>building</u> does not comply with zone Rules <a href="#">14.3.3.2</a>, <a href="#">14.3.3.5</a>, and <a href="#">14.3.3.8</a> repaired or relocated <u>buildings</u> shall not increase non-compliance with zone Rules <a href="#">14.3.3.2</a>, <a href="#">14.3.3.5</a>, and <a href="#">14.3.3.8</a>.</p> <p>Clarification: If any of the above standards are not met or if there is increased non-compliance with the standards, the activity status will be as specified in the relevant standard.</p> <p>b. Where the repair or rebuild of a <u>building</u> damaged by the Canterbury Earthquakes of 2010 and 2011 will not alter the <u>building</u> footprint or location, repaired or relocated <u>buildings</u> need not comply with any of the built form standards.</p> <p>i. For any other reason, <u>buildings</u> need to comply with all relevant standards.</p> <p>Refer to <a href="#">Rule 8.2.3.1 of Chapter 8</a>.</p>

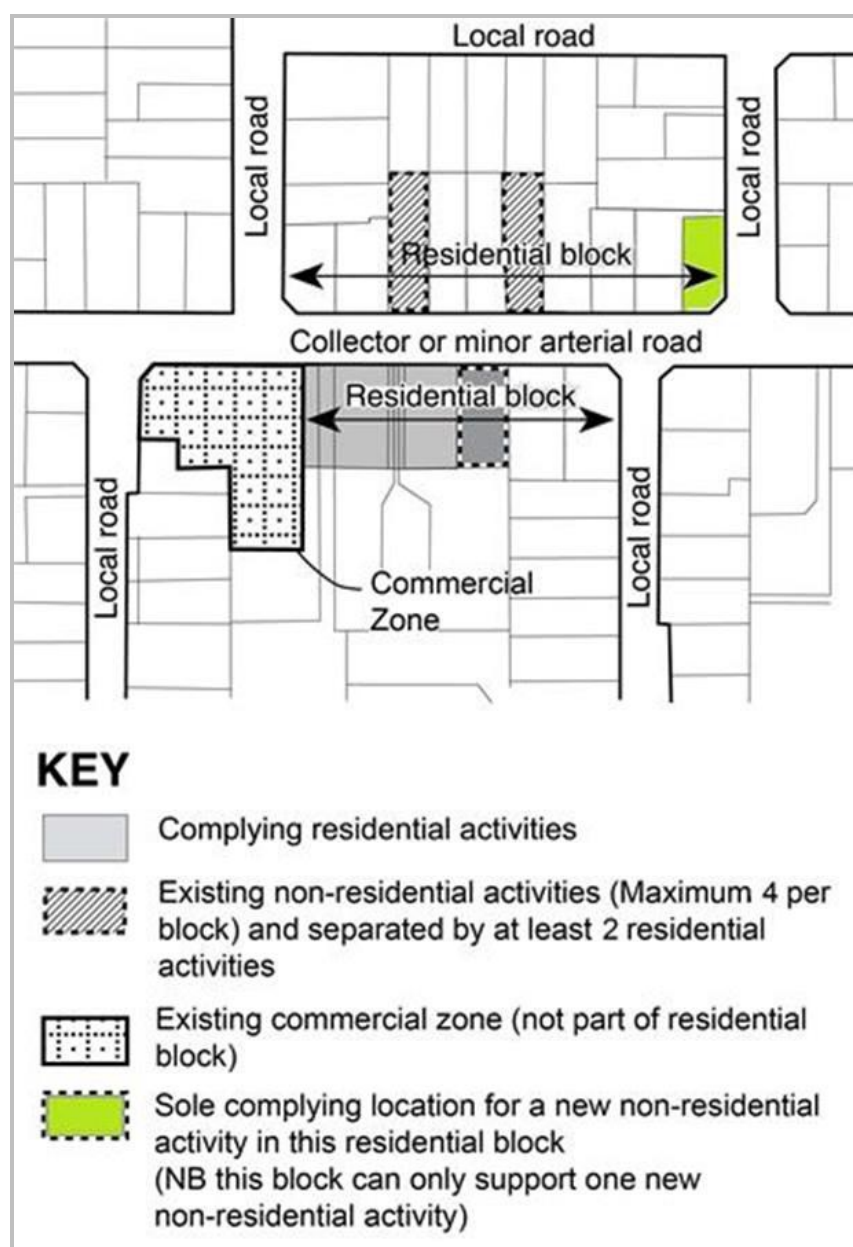


Figure 1 : Residential coherence.

### 14.3.2.2 Controlled Activities

There are no controlled activities.

### 14.3.2.3 Restricted Discretionary Activities

The activities listed below are Restricted Discretionary Activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in 14.9 for each standard, as set out in the following table.

Activity	The Council's
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		discretion shall be limited to the following Matters:
<b>RD1</b>	<u>Residential units</u> (including any <u>sleep-outs</u> ) containing more than six bedrooms in total.	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles - <a href="#">14.9.6</a></li> <li>b. Scale of activity - <a href="#">14.9.14</a></li> <li>c. Traffic generation access and safety - <a href="#">14.9.15</a></li> <li>d. Liquefaction susceptibility of <u>site</u> and development - <a href="#">14.9.20</a></li> </ul>
<b>RD2</b>	<p>The erection of new <u>buildings</u> and alterations or additions to existing <u>buildings</u> including all <u>accessory buildings</u>, fences and walls associated with that development, that result in:</p> <ul style="list-style-type: none"> <li>a. three or more <u>residential units</u>, or</li> <li>b. one or two <u>residential units</u> on a <u>site</u> smaller than 300m<sup>2</sup> gross <u>site</u> area, or</li> <li>c. one or two <u>residential units</u> resulting in residential floor area greater than 500m<sup>2</sup>;</li> <li>d. over 40m<sup>2</sup> of a <u>building</u> used for other activities, on a <u>site</u>.</li> </ul>	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles - <a href="#">14.9.6</a></li> <li>b. Minimum unit size and unit mix <a href="#">14.9.9 (2)</a></li> <li>c. and for a. and c. only,</li> </ul> <p>Liquefaction susceptibility of <u>site</u> and development - <a href="#">14.9.20</a></p>
<b>RD3</b>	Student hostels owned or operated by a secondary or tertiary education and research activity containing less than 10 bedrooms.	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles - <a href="#">14.9.6</a></li> <li>b. Scale of activity - <a href="#">14.9.14</a></li> <li>c. Liquefaction susceptibility of <u>site</u> and development - <a href="#">14.9.20</a></li> </ul>



Activity	The <b>Council's</b> discretion shall be limited to the following Matters:
<b>RD4</b> <u>Retail activity</u> with frontage only to public access ways identified in Sumner Master Plan overlay area, <a href="#">Chapter 15 Commercial Zones Appendix 15.9.11</a> .	a. Urban design and Māori urban design principles - <a href="#">14.9.6</a>
<b>RD5</b> Creation of stormwater drainage ponding areas within 3km of the edge of the Christchurch International Airport runways.	a. Stormwater ponding areas within 3km of Christchurch International Airport - <a href="#">14.9.18</a>
<b>RD6</b> <u>Sensitive activities</u> and <u>building</u> within the Electricity Transmission Line Corridor <ul style="list-style-type: none"> <li>a. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities:               <ul style="list-style-type: none"> <li>i. any new <u>sensitive activity</u> or additional <u>habitable space</u>;</li> <li>ii. any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities:</li> <li>iii. any <u>sensitive activity</u></li> </ul> </li> <li>b. The centre of the transmission line is to be found by measuring a straight line from the centre of 2 adjoining support structures.</li> <li>c. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner.</li> <li>d. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent.</li> </ul> <p><b>Note:</b></p> <ul style="list-style-type: none"> <li>1. The transmission lines are shown on the <a href="#">Planning Maps</a> 9, 16, 21, 22, 23, 24, 26, 28, 29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49, 50, 51, 55, 56, 61, 62, 63, 69, 70, 78.</li> <li>2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission</li> </ul>	a. Electricity Transmission Line Corridor - <a href="#">14.9.19</a>



Activity		The <b>Council's</b> discretion shall be limited to the following Matters:
RD7	<p>lines.</p> <p><u>Retirement villages.</u></p>	<p>a. Urban design and Māori urban design principles - <a href="#">14.9.6</a></p> <p>b. Scale of activity - <a href="#">14.9.14</a></p> <p>c. Traffic generation and access safety - <a href="#">14.9.15</a></p>
RD8	<p><u>Convenience activities</u> where:</p> <ol style="list-style-type: none"> <li>1. The <u>site</u> is located on the corner of a <u>minor arterial road</u>;</li> <li>2. The total area occupied by <u>retailing</u> on the <u>site</u> is no more than 50m<sup>2</sup> <u>public floor area</u>;</li> <li>3. The activity does not include the sale of alcohol;</li> <li>4. Signage is limited to no more than 1m<sup>2</sup> and shall be within the <u>road boundary setback</u>;</li> <li>5. The hours of operation when the <u>site</u> is open to business visitors or clients are limited to between the hours of 0700 – 2200 Monday to Sunday and public holidays; and</li> <li>6. there is no provision of on-site <u>parking area</u> for visitors or service purposes.</li> </ol>	<p>a. Urban design and Māori urban design principles - <a href="#">14.9.6</a></p> <p>b. Scale of activity - <a href="#">14.9.14</a></p> <p>c. Non residential hours of operation - <a href="#">14.9.16</a></p> <p>d. Traffic generation and access safety - <a href="#">14.9.15</a></p>
RD9	<p>Temporary lifting or moving of earthquake damaged <u>buildings</u> that does not meet the standards in <a href="#">Rule 14.3.2.1</a> P16.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. Temporary lifting or moving of earthquake damaged <u>buildings</u> - <a href="#">14.9.23</a></p>
RD10	<p>Non compliance with one or more of the following Rules:</p> <ol style="list-style-type: none"> <li>1. <a href="#">14.3.3.3</a>, <a href="#">14.3.3.5</a>, <a href="#">14.3.3.6</a>, <a href="#">14.3.3.7</a>.</li> </ol>	<p>As relevant to the breached rule</p> <p>a. <u>Site</u> density and <u>site</u> coverage - <a href="#">14.9.1</a></p> <p>b. <u>Building height</u> and daylight recession</p>





Activity		<p><b>The Council's discretion shall be limited to the following Matters:</b></p> <p>planes - <a href="#">14.9.2</a></p> <p>c. Minimum <u>building</u>, window and <u>balcony setbacks</u> from internal <u>boundaries</u> - <a href="#">14.9.4</a></p>
<b>RD11</b>	<p>Non compliance with one or more of the following Rules:</p> <p>1. <a href="#">14.3.3.1</a>, <a href="#">14.3.3.4</a>, <a href="#">14.3.3.8</a>, <a href="#">14.3.3.9</a>, <a href="#">14.3.3.10</a>, <a href="#">14.3.3.11</a>, <a href="#">14.3.3.12</a>, <a href="#">14.3.3.13</a>, <a href="#">14.3.3.14</a>, <a href="#">14.3.3.15</a>, <a href="#">14.3.3.16</a></p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule</p> <p>a. <u>Outdoor living space</u> - <a href="#">14.9.5</a></p> <p>b. Tree and garden planting - <a href="#">14.9.12</a></p> <p>c. Street scene – <u>road boundary building setback</u>, front doors fencing and planting - <a href="#">14.9.3</a></p> <p>d. Life-stage, adaptive design and energy and water efficiency - <a href="#">14.9.21</a></p> <p>e. <u>Building overhangs</u> - <a href="#">14.9.8</a></p> <p>f. Minimum unit size - <a href="#">14.9.9</a></p> <p>g. Ground floor <u>habitable space</u> - <a href="#">14.9.10</a></p> <p>h. Service storage and waste management spaces - <a href="#">14.9.11</a></p> <p>i. Acoustic insulation - <a href="#">14.9.13</a></p>
<b>RD12</b>	<p>Non compliance with <a href="#">Rule 14.3.3.17</a>.</p> <p>Any application arising from this rule will not require the</p>	<p>a. Water supply for fire fighting - <a href="#">14.9.25</a></p>



Activity		The <u>Council's</u> discretion shall be limited to the following Matters:
	written approval of any entity except the New Zealand Fire Service and shall not be fully publicly notified. Limited notification if required shall only be to the New Zealand Fire Service.	
<b>RD13</b>	Non compliance with <a href="#">Rule 14.3.2.1</a> P23	a. Whether the any alteration to the <u>building</u> would impact on the amenity of adjoining properties.

#### 14.3.2.4 Discretionary Activities

The activities listed below are discretionary activities.

Activity	
<b>D1</b>	<u>Home occupation</u> , student hostels, <u>pre-schools facilities</u> , <u>health care facilities</u> , <u>education activities</u> , and conversion of an <u>elderly person's housing unit</u> into a <u>residential unit</u> , travellers accommodated for a tariff in a <u>residential unit</u> , care of non-resident children within a <u>residential unit</u> , <u>veterinary care facilities</u> , <u>places of assembly</u> , storage of <u>heavy vehicles</u> , show homes, and dismantling, repair or storage of motor vehicles and/or boats where it does not meet one or more of the Activity Specific Standards for permitted activities in <a href="#">Rule 14.3.2.1</a> P2, P3, P5, P6, P7, P8, P9, P10, P14 or restricted discretionary activities.

#### 14.3.2.5 Non Complying Activities

The activities listed below are non complying activities.

	Activity
<b>NC1</b>	Any activity not provided as a permitted, restricted discretionary, discretionary, or prohibited activity
<b>NC2</b>	Non compliance with <a href="#">Rule 14.3.3.2</a> .
<b>NC3</b>	Non compliance with <a href="#">Rule 14.3.3.16</a> .

#### 14.3.2.6 Prohibited Activities

There are no prohibited activities.

### **14.3.3 Built form standards**

#### **14.3.3.1 Tree and garden planting**

Sites shall include the minimum tree and garden planting as set out in the below table:

	<b>For all activities except permitted commercial activities in the Sumner Master Plan overlay area</b>
1.	1 tree to be planted between <u>road</u> and <u>buildings</u> for each  (e.g. 10 metres of road boundary = 1 tree, 11 metres of road boundary = 2 trees).
2.	A landscape strip is required along the full length of the accessway or carparking area (internal)

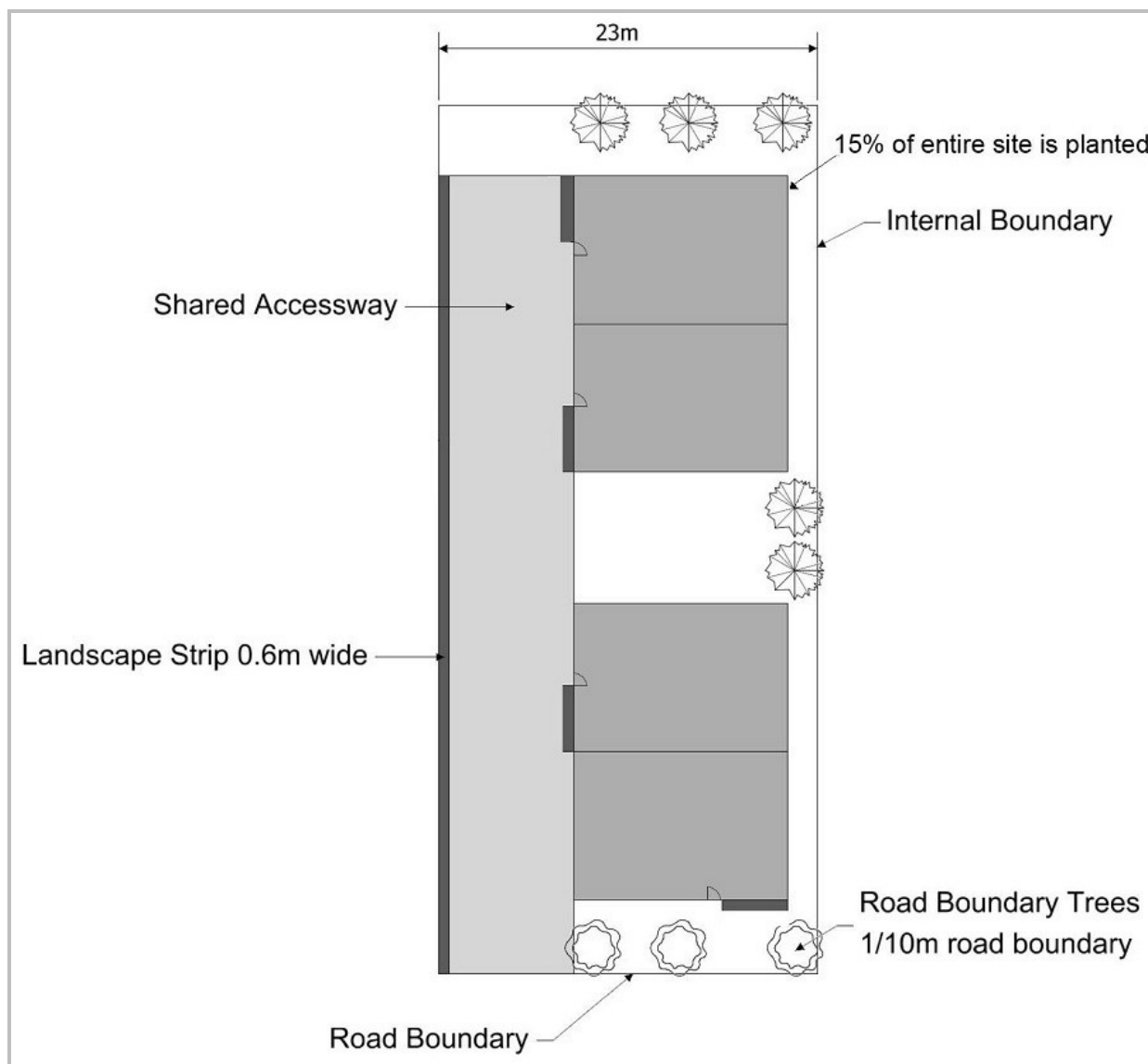


Figure 2 : Landscaping and tree planting.

**Note:** This diagram is an illustrative example only, showing one way the rule may be applied.

### 14.3.3.2 Building height and maximum number of stories

The maximum height of any building shall be:

		Standard
1.	All areas <u>buildings</u> not listed below	9m
2.	For <u>buildings</u> with a pitched roof of at least 22°. Figure 9	11m
3.	Central Riccarton Residential Medium Density Zone and Medium Density lower <u>height</u> limit overlay area	8m
4.	Sumner Residential Medium Density Zone	9.5m



5.	Sumner Master Plan overlay area, on the two prominent corners identified in Chapter 15 Commercial Zone <a href="#">Appendix 15.9.11</a>	<b>Standard</b> 13m  Provided that the area above 9.5m is limited to no more than 100m <sup>2</sup> in <u>gross floor area</u> and is located at the apex of the street corner
6.	Within the area shown as Area A on the development plan contained in Chapter 15 - Commercial, <a href="#">Appendix 15.9.7</a>	14m
7.	Medium Density higher <u>height</u> limit overlay at Deans Avenue and Medium Density higher <u>height</u> limit overlay at Carlton Mill Road	20m
8.	Higher <u>height</u> limit overlay at New Brighton and North Beach	14m North Beach 20m Central New Brighton
9.	All Medium Density <u>Height</u> Limit overlays	Any building shall not exceed 5 storeys above <u>ground level</u>

**Note:** See the permitted height exceptions contained within the definition of height.

### 14.3.3.3 Site coverage

The maximum percentage of the net site area covered by buildings shall be 45 percent.

### 14.3.3.4 Outdoor living space

- For residential units with two more bedrooms outdoor living space shall be provided on site for each residential unit, and shall not be occupied by parking or access. The required outdoor living space shall be within the following dimensions:

**Note:** the outdoor living space can be in a mix of private or communal areas at the ground level or in balconies.

Minimum total area for each <u>residential unit</u> .	Minimum private area	Minimum dimension private area when provided at <u>ground level</u>	Minimum dimension private area when provided by a <u>balcony</u>	Minimum dimension of communal space	Accessibility of communal space	General accessibility for each <u>residential unit</u>	Minimum required <u>outdoor living space</u> at <u>ground level</u> for entire <u>site</u>
30m <sup>2</sup>	16m <sup>2</sup>	4m	1.5m	4m	Accessible	At least on	50%



					by all units	private <u>outdoor living space</u> shall be accessible from a <u>living area</u> of a <u>residential unit</u>	
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2. For one bedroom units or studios on the ground floor outdoor living space shall be provided, and shall not be occupied by parking or access within the following dimensions:

Minimum total private area for each <u>residential unit</u>	Minimum dimension private area when provided at ground level
16m <sup>2</sup>	4m

3. For one bedroom units or studios entirely at an upper level outdoor living space shall be provided within the following dimensions. The required outdoor living space can be in a mix of private and communal areas, at the ground level or in balconies within the following dimensions:

Minimum total private area for each <u>residential unit</u>	Minimum private <u>balcony</u> dimensions
16m <sup>2</sup>	6m <sup>2</sup> area  1.5m dimension

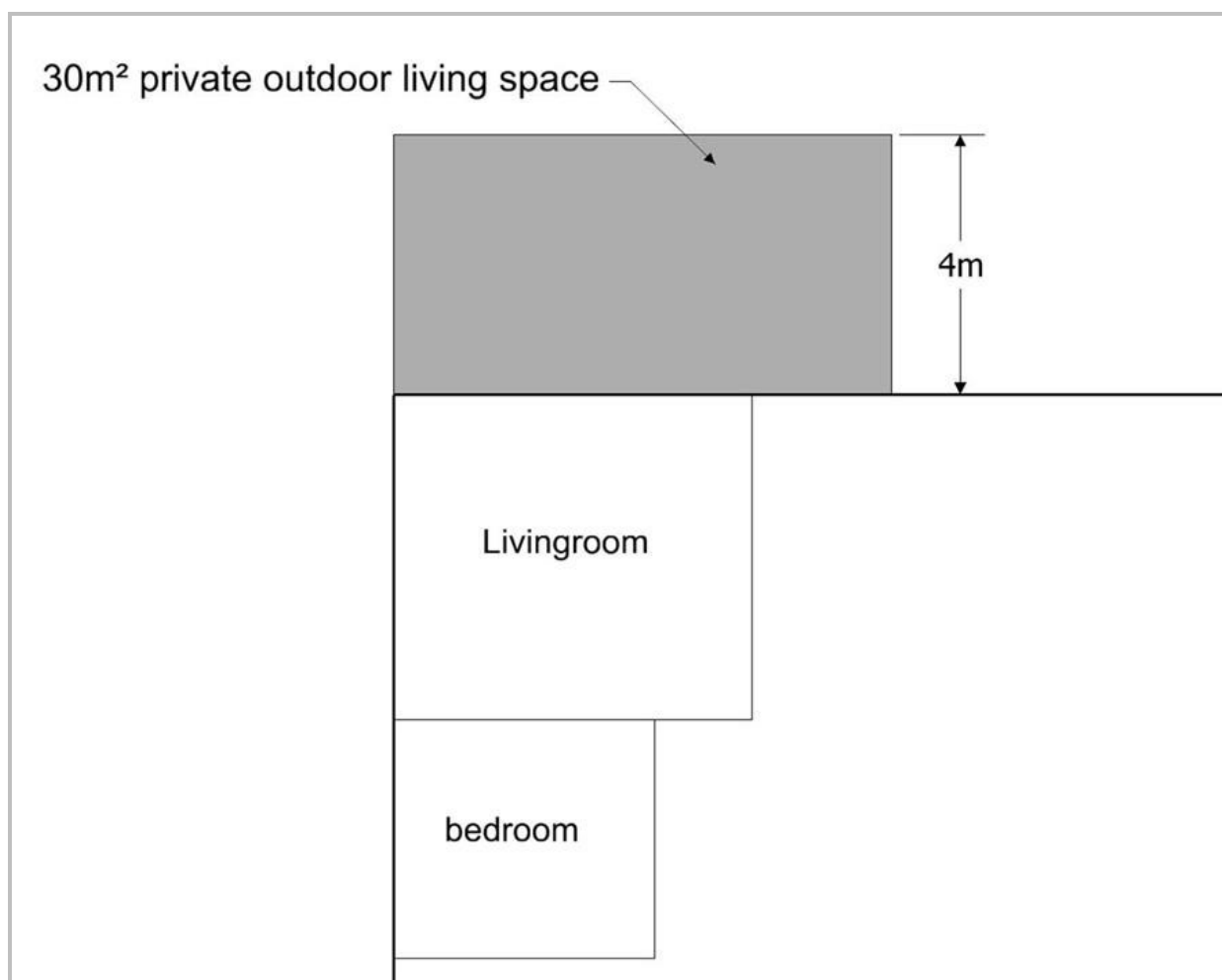


Figure 10 : Outdoor living space

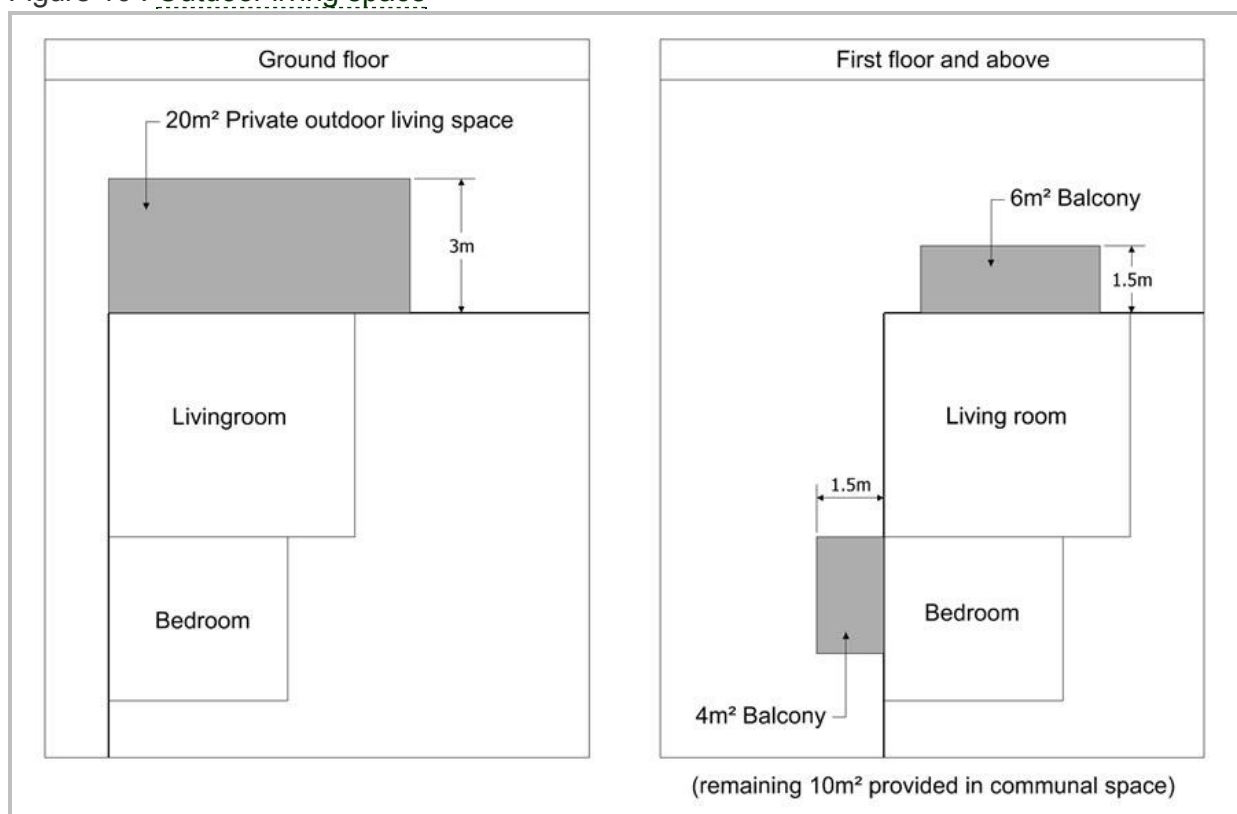


Figure 11 : Outdoor living space

**Note:**





1. This diagram is an illustrative example only, showing one way the rule may be applied.
2. For two storey units, allocation of space could be spread over both levels, e.g. 24m<sup>2</sup> at ground level and 6m<sup>2</sup> as a balcony at first floor.

### 14.3.3.5 Daylight recession planes

- a. Buildings, shall not project beyond a building envelope constructed by recession planes, as shown in, [Appendix 14.10.2](#) diagram C, from points 2.3 metres above:
  - i. internal boundaries; or
  - ii. where an internal boundary of a site abuts an access lot or access strip the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access lot or access strip or any combination of these areas; or
  - iii. where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.
- b. Where the building is located in an overlay that has a permitted height of 11m or more, the recession plane measurement shall commence from points 2.3 metres above internal boundaries and continue on the appropriate angle to points 11m above ground level, at which point the recession plane becomes vertical.

Refer to [Appendix 14.10.2](#) for permitted intrusions.

- c. Where sites are located within a Floor Level and Fill Management Area, recession plane breaches created by the need to raise floor levels will not require the written consent of other persons and shall be non-notified.

Except that:

1. In the Residential Medium Density Zone Higher Height limit overlay the recession plane shall be as shown in [Appendix 14.10.2](#) diagram D.
2. In the Residential Medium Density Lower Height Limit and daylight recession plane overlay area the recession plane shall be as shown in [Appendix 14.10.2](#) diagram B.
3. In the Residential Medium Density Zone 15 metre Higher Height Limit overlay the recession plane shall be as shown on [Appendinx 14.10.2](#) diagram D.

Except that in the Residential Medium Density Lower Height Limit overlay area the recession plane shall be as shown in [Appendix 14.10.2](#) diagram B.

### 14.3.3.6 Minimum building setback internal boundaries

The minimum building setback from internal boundaries shall be:

1.	All <u>buildings</u> not listed below	1.8m
2.	Where residential <u>buildings</u> on adjoining <u>sites</u> have a ground floor window of a <u>habitable space</u> located	1.8m from that neighbouring window for a minimum length of

	within 1.8m of the common internal <u>boundary</u> .	2m either side of the window – refer diagram below.  This rule also applies to <u>accessory buildings</u> .
3.	All other <u>accessory buildings</u> where the total length of walls or parts of the <u>accessory building</u> within 1.8m of each internal <u>boundary</u> does not exceed 10.1m in length.	NIL.
4.	<u>Buildings</u> that share a common wall along an internal <u>boundary</u> .	NIL.
5.	All other <u>buildings</u> where the internal <u>boundary</u> of the <u>site</u> adjoins an <u>access</u> or part of an <u>access</u>	1m

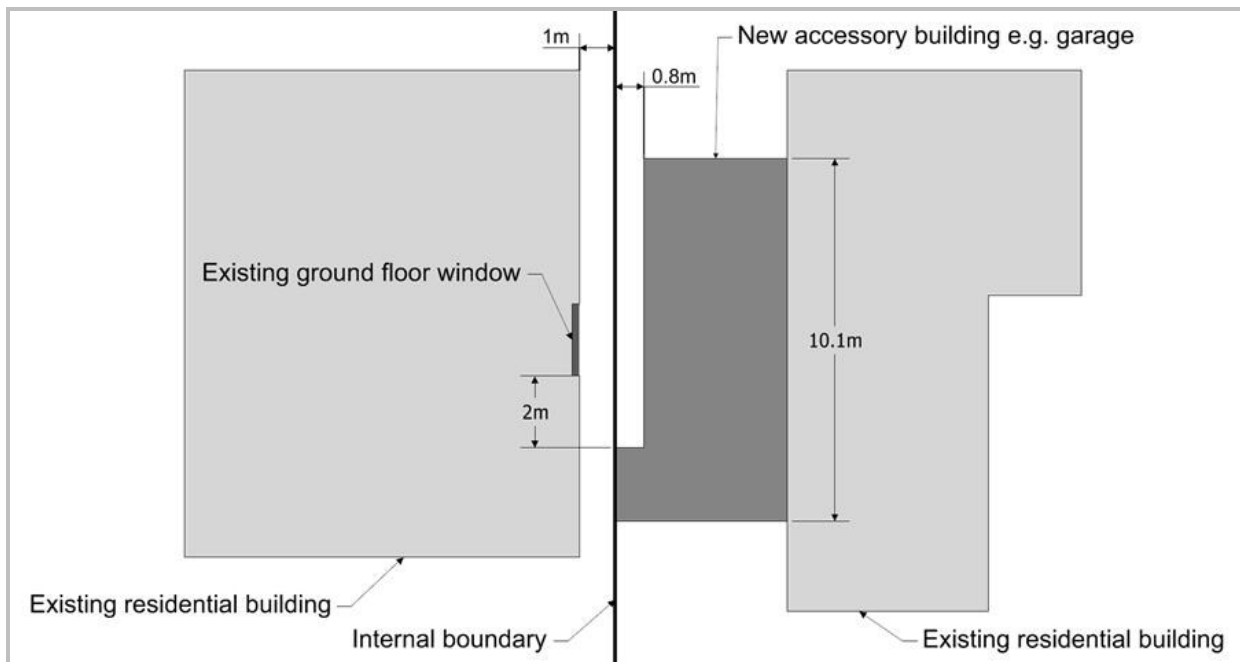


Figure 3 : Separation from neighbours for accessory buildings

**Note:** This diagram is an illustrative example only, showing one way the rule may be applied (Refer to full rule for application of 1.8m separation).

### 14.3.3.7 Minimum setback and distance to ground level for windows and balconies

The minimum setback for a living area window from an internal boundary shall be 4m. Note where the window is adjacent to an accessway the setback shall be measured from the far side of the accessway.

### 14.3.3.8 Road boundary garage and building setback

The road boundary garage and building setback shall be:



1. Road boundary setback:

	<b><u>Building type and situations</u></b>	<b><u>Setback</u></b>
1.	For all <u>buildings</u> and situations not listed below.	4m
2.	Where that part of the <u>building</u> contains a <u>habitable space</u> or spaces.	3m for 20% of the width of the total <u>road frontage</u> .
3.	Where a <u>garage</u> has a vehicle door that does not tilt or swing outwards facing a <u>road</u> .	4.5m
4.	Where a <u>garage</u> has a vehicle door that tilts or swings outward facing a <u>road</u> .	5.5m
5.	Where a <u>garage</u> has a vehicle door that does not tilt or swing outward facing a shared <u>access way</u> .	7m measured from the <u>garage</u> door to the furthest formed edge of the adjacent shared <u>access</u> .
6.	Where a <u>garage</u> has a vehicle door that tilts or swings outward facing a shared <u>access way</u> .	8m measured from the <u>garage</u> door the furthest formed edge of the adjacent shared <u>access</u> .

2. Habitable Space Front Façade

For road fronting units; garages, carports, and other accessory buildings (excluding basement car parking and swimming pools) shall be located at least 1.2m further from the road boundary than the front facade of any ground level habitable space of that unit.

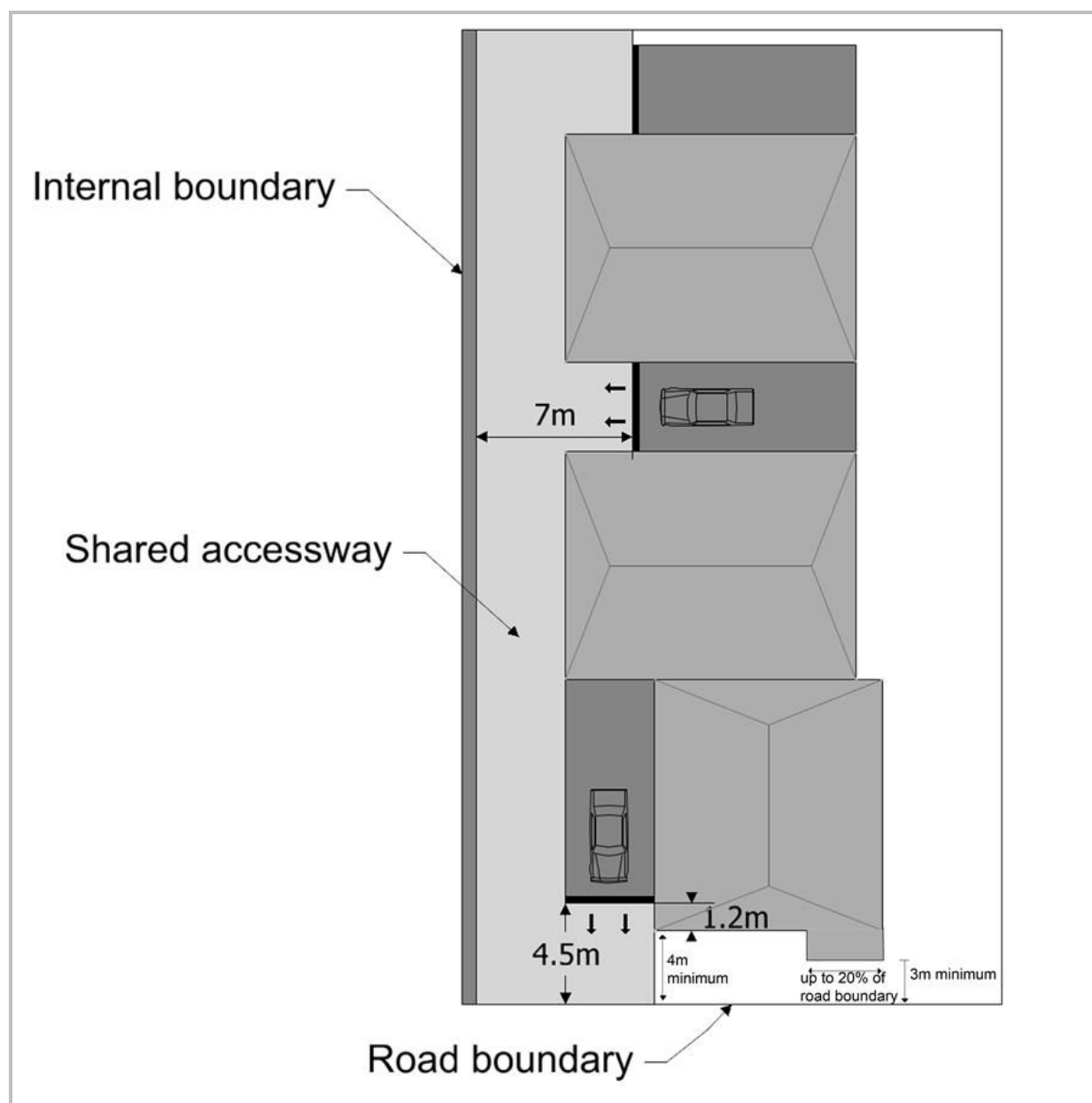


Figure 12 : Streetscene and access ways.

**Note:**

1. This diagram is an illustrative example only, showing one way the rule may be applied in the Residential Medium Density zone.
2. These setback distances apply where garage doors do not tilt or swing outwards.

### 14.3.3.9 Fences and screening structures

1. The maximum height of any fence in the setback from a road boundary on a local road shall be:

1.	Where at least 50% of the fence structure is visually transparent.	1.8m
2.	Where less than 50% of the fence structure is visually transparent.	1m

2. The maximum height of any fence in the setback from a road boundary on any collector road, or



arterial road - 1.8 metres.

3. 1. and 2. shall not apply to fences or other screening structures located on an internal boundary between two properties zoned residential or residential or commercial or industrial.

**Note:** For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building.

4. Parking areas shall be separated from road boundaries, conservation, open space, or adjoining residentially zoned sites by fencing that meets the requirements in 1. above.

Refer to Figure X.

#### 14.3.3.10 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1. Pathways

A sealed path from either the road boundary of the site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:

- a. a minimum clear width of 1.2 metres;
- b. a slope not exceeding 1:20;
- c. a cross fall of not more than 1:50;
- d. a slip resistant surface; and
- e. pathway lighting that is switched on from a light switch located at the door at the end of the path.

2. Primary pedestrian entrance door

A primary pedestrian entrance door to the residential unit with:

- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
- b. a maximum threshold of 20mm; and
- c. a external landing area that has a slip resistant surface.

3. Doors within the living space of the residential unit

All doorways to and within living space have:

- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
- b. a level transition and threshold (accepting difference in floor materials on either site of the door).

4. Corridors, hallways, and passageways within the residential unit

All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.

5. Door handles

All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.

6. Electrical switches

The centre of all electrical switches on walls, are at the same height as the centre of door handles.



7. Powerpoints, television, telephone and computer outlets  
All powerpoints, television, telephone and computer outlets are installed at a that same height throughout the residential unit at no less than 0.3 metres above the finished floor level.
8. Window controls  
All window controls are lever handles and are able to be operated with one hand.
9. Space around bed to support ease of movement  
Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.
10. Laundry space  
Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.
11. Kitchen  
The kitchen is not a residential thoroughfare.
12. Toilet
  - a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall. and
  - b. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
13. Shower
  - a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that has:
    - i. a level entry shower recess with minimum dimensions of 1.2 metres x 1.2metres;
    - ii. drainage of the shower recess located at the corner of a room;
    - iii. a clear space that provides for a 1.5 metre turning circle; and
    - iv. 800mm clear space beside the shower seat.
  - b. All shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
14. Slip resistant floors on bathrooms  
All bathrooms have slip resistant floor surfaces.
15. Multi-storey access  
All stairway walls have:
  - a. reinforced walls for future installation of a stair-lift or platform lift;
  - b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
  - c. a minimum clear width of 0.9 metres;
  - d. a straight design with no winder treads;
  - e. consistent tread depth with a minimum dimension of 0.31 metres;
  - f. consistent riser height with a minimum dimension of 0.18 metres;
  - g. no open risers; and
  - h. lighting with light switches at the top and bottom of the stairs.



Note: The following are recommended (but not mandatory) at time of construction.

16. Lever action door handles  
All door handles are lever action.
17. Tap fixtures  
All tap fixtures lever, push button, or electronic.

### **14.3.3.11 Energy and water efficient standards for new residential units**

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	<b>Feature</b>	<b>Sustainable Building Standards Requirements</b>
a.	Ceiling insulation.	<u>Insulation R value</u> 3.2.
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value</u> 0.31.
d.	Wall insulation.	<u>Insulation R value</u> 2.8.
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value</u> 2.2, 25mm XPS with 9mm fibre cement board glued to face.
f.	Ventilation.	<ol style="list-style-type: none"><li>i. Dedicated extraction <u>installed</u> in kitchen and bathrooms.</li><li>ii. Provision to vent a clothes drier to the outside of the residential unit.</li></ol>
g.	Water efficiency.	<u>WELS</u> 3 Star Shower. <u>WELS</u> 4 Star Toilets. <u>WELS</u> 4 Star Taps.
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

### **14.3.3.12 Building overhangs**

No internal floor area located above ground floor level shall project more than 800mm horizontally beyond the gross floor area at ground level.



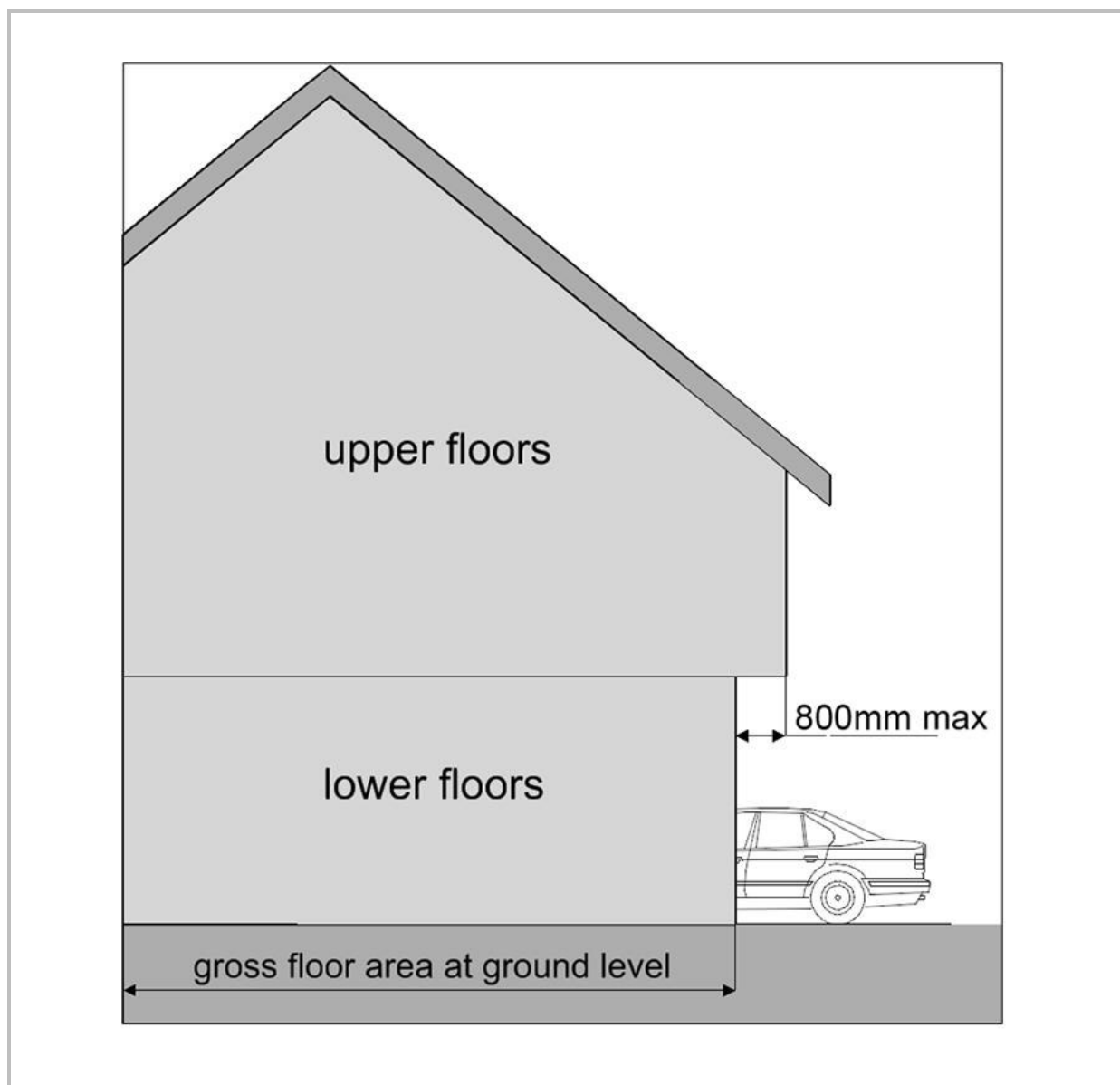


Figure 13 : Building overhangs.

**Note:** This diagram is an illustrative example only, showing a way the rule may be applied.

### 14.3.3.13 Minimum unit size

The minimum net floor area (including toilets and bathrooms, but excluding carparking, garaging or balconies) for any residential unit in a multi-unit social housing complex, and a multi-unit residential complex, and a minor dwelling unit shall be:

	Number of Bedrooms	Minimum <u>net floor area</u>
1.	Studio.	35m <sup>2</sup>
2.	1 Bedroom.	45m <sup>2</sup>
3.	2 Bedrooms.	70m <sup>2</sup>
4.	3 or more Bedrooms.	90m <sup>2</sup>



#### 14.3.3.14 Ground floor habitable space

1. Where the permitted height limit is 11 metres or less (refer to [Rule 14.3.3.2](#)) any residential unit fronting a road or public space shall have a habitable space located at the ground level, with at least 50 percent of all residential units within a development also having a habitable space located at the ground level.
2. Each of these habitable spaces located at the ground level shall have a minimum floor area of 12m<sup>2</sup> and a minimum internal dimension of three metres and be internally accessible to the rest of the unit.
3. Where the permitted height limit is over 11 metres (refer to [Rule 14.3.3.2](#)) a minimum of 50 percent of the ground floor area shall be occupied by habitable spaces and/or indoor communal living space. This area may include pedestrian access to lifts, stairs and foyers.

#### 14.3.3.15 Service, storage, and waste management spaces

1. Each residential unit shall be provided with:
  - a. an outdoor service space of 3m<sup>2</sup> and waste management area of 2.25m<sup>2</sup> with a minimum dimension of 1.5 metres; and
  - b. a single, indoor storage space of four cubic metres with a minimum dimension of one metre.
2. Any space designated for waste management, whether private or communal, shall not be located between the road boundary and any building room and shall be screened from adjoining sites, conservation or open space zones, roads, and adjoining outdoor living spaces to a height of 1.5 metres.
3. If a communal waste management area is provided within the site, the minimum required outdoor service space is 3m<sup>2</sup> for each residential unit.
4. If a communal waste management area is provided, it must be demonstrated to be:
  - a. of a sufficient size to accommodate the number and dimensions of bins required to meet the predicted volume of waste generated by the residential units;
  - b. accessible and safe for use by all residents; and
  - c. easily accessible for the collection of bins by waste management contractors.

#### 14.3.3.16 Acoustic insulation

Any new habitable space within any residential unit, traveller' accommodation, or retirement village:

1. Within 20 metres of the edge of the nearest marked traffic lane of a collector road; or
  2. Within 40 metres of the edge of the nearest marked traffic lane of an arterial road
- shall achieve an external sound insulation level D<sub>tr,2m,nTw</sub>.

**Note:** Compliance with this rule may be achieved by ensuring any construction is in accordance with



the acceptable solutions listed in [Appendix 14.10.1](#). In the Residential Medium Density Zone no alternative ventilation is required in situations where the rule is only met with windows closed. Alternatively, compliance with the rule can be achieved through certification by a qualified acoustic engineer that the design is capable of achieving compliance with the performance standard. Where no traffic lane is marked, the distances stated shall be measured from two metres on the roadward side of the formed kerb. The location of [collector roads](#) and [arterial roads](#) is identified in [Chapter 7 Transportation Appendix 7.12](#).

### **14.3.3.17 Minimum site density from development or redevelopment of residential units**

The minimum residential [site](#) density to be achieved when a [site](#) is developed or redeveloped with a [residential unit](#) or units shall be:

1. for [allotments](#) less than 400m<sup>2</sup> – not less than one [residential unit](#);
2. for [allotments](#) between 400m<sup>2</sup> and 650m<sup>2</sup> – not less than two [residential units](#);
3. for [allotments](#) between 650m<sup>2</sup> and 900m<sup>2</sup> – not less than three [residential units](#); and
4. for [allotments](#) over 900m<sup>2</sup> – not less than one [residential unit](#) per 300m<sup>2</sup>.

This rule is not required to be enforced on a [site](#) which prior to the Canterbury earthquakes of 2010 and 2011 was used for [residential activity](#) which will be demolished because the insurer(s) of that unit have determined that the [residential unit](#) was uneconomic to repair because of earthquake damage.

### **14.3.3.18 Water supply for fire fighting**

Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008), where by all [residential units](#) must be connected to the [Council's](#) urban reticulated system that provide sufficient fire fighting water supply.

## **14.3.4 Area specific activities and standards**

### **14.3.4.1 Restricted Discretionary Activities**

The activities listed below are restricted discretionary Activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [14.9](#) for each standard, as set out in the following table:

Activity		The <a href="#">Council's</a> discretion shall be limited to the following Matters:
RD1	<a href="#">Retail activity</a> with <a href="#">frontage</a> only to public <a href="#">access ways</a> identified	a. Urban design



Activity		The <b>Council's</b> discretion shall be limited to the following Matters:
	in Sumner Master Plan overlay area, <a href="#">Chapter 15 Commercial Zone Appendix 15.9.11</a> .	and Māori urban design principles - <a href="#">14.9.6</a> .
<b>RD2</b>	Non compliance with <a href="#">Rule 14.3.5.2 road boundary garage and building setback</a> , for <a href="#">sites with frontage</a> to Bealey Avenue, Fitzgerald Avenue or Deans Avenue South of Blenheim Road and Sumner Master Plan overlay area, shown in <a href="#">Chapter 15 Commercial Zone, Appendix 15.9.11</a> .  Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.	a. Street scene - <a href="#">road boundary building setback</a> , front doors fencing and planting - <a href="#">14.9.3</a> .
<b>RD3</b>	Non compliance with <a href="#">Rule 14.3.5.1 Area Specific Development Plan for West Wigram Special RNZAF Provisions</a> , shown on <a href="#">Figure 8</a> .	a. Specific Setback Provisions - Residential Suburban Zone Wigram - <a href="#">14.9.33</a>
<b>RD4</b>	Development in Area A, B and C of the Residential Medium Density Zone bounded by Madras Street, Canon Street, Packe Street and Purchas Street in, <a href="#">Chapter 15 Commercial Zone Appendix 15.9.7</a> .	a. Area specific development plans - <a href="#">14.9.28</a> .
<b>RD5</b>	Non Compliance with <a href="#">Rule 14.3.5.1 Area Specific Development Plans Deans Avenue Overlay, Sumner Master Plan Overlay Area</a> <a href="#">Chapter 15 Commerical Zone Appendix 15.9.11</a> .	a. Development Plans - <a href="#">14.9.28</a> . b. Development Plan Chapter 15 Appendix 15.11 - <a href="#">14.9.29</a> .

### 14.3.4.2 Discretionary Activities

The activity listed below is a Discretionary Activity.

Activity



<b>D1</b>	Retail and commercial activity in the Sumner Master Plan Overlay Area that does not have <u>frontage</u> to public access ways identified in the Sumner Master Plan Overlay area, <a href="#">Chapter 15 Commercial Zones Appendix 15.9.11</a>
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## 14.3.5 Area specific standards

### 14.3.5.1 Area specific development plans

1. This rule applies to:
  - a. Higher Height Limit overlay at Deans Avenue, and Sumner Master Plan Overlay Area- [Chapter 15 Commercial Zone Appendix 15.9.11](#).
  - b. Residential Medium Density Zone Wigram;
  - c. Sumner Master Plan Overlay Area.

2.		
	<b>Area</b>	<b>Standard</b>
1.	Higher <u>Height</u> Limit overlay at Deans Avenue.	<u>Sites</u> shall not have access to Deans Avenue other than via the proposed <u>road</u> to be located between 100m and 110m from the intersection of Moorhouse and Deans Avenue. As shown on <a href="#">Appendix 14.10.4 Development Plan Addington</a> .
2.	Residential Medium Density Zone Wigram shown on figure 8.	<u>Residential units</u> shall have their primary outdoor living area facing away from the aerodrome <u>site</u> . Windows to <u>living areas</u> which directly face the RNZAF Bequest Land shall be doubled glazed In addition, a 2m wide landscape strip and a close, solid and continuous 1.8m high fence shall be placed along the <u>boundary</u> of the RNZAF Bequest Land and be completed before any <u>residential units</u> are built.
3.	Sumner Master Plan Overlay Area .	<u>Retail activities</u> and <u>commercial services</u> shall be located along the identified <u>road frontages</u> in accordance with the Sumner Master Plan Overlay Area- <a href="#">Chapter 15 Commerical Zone Appendix 15.9.11</a> .

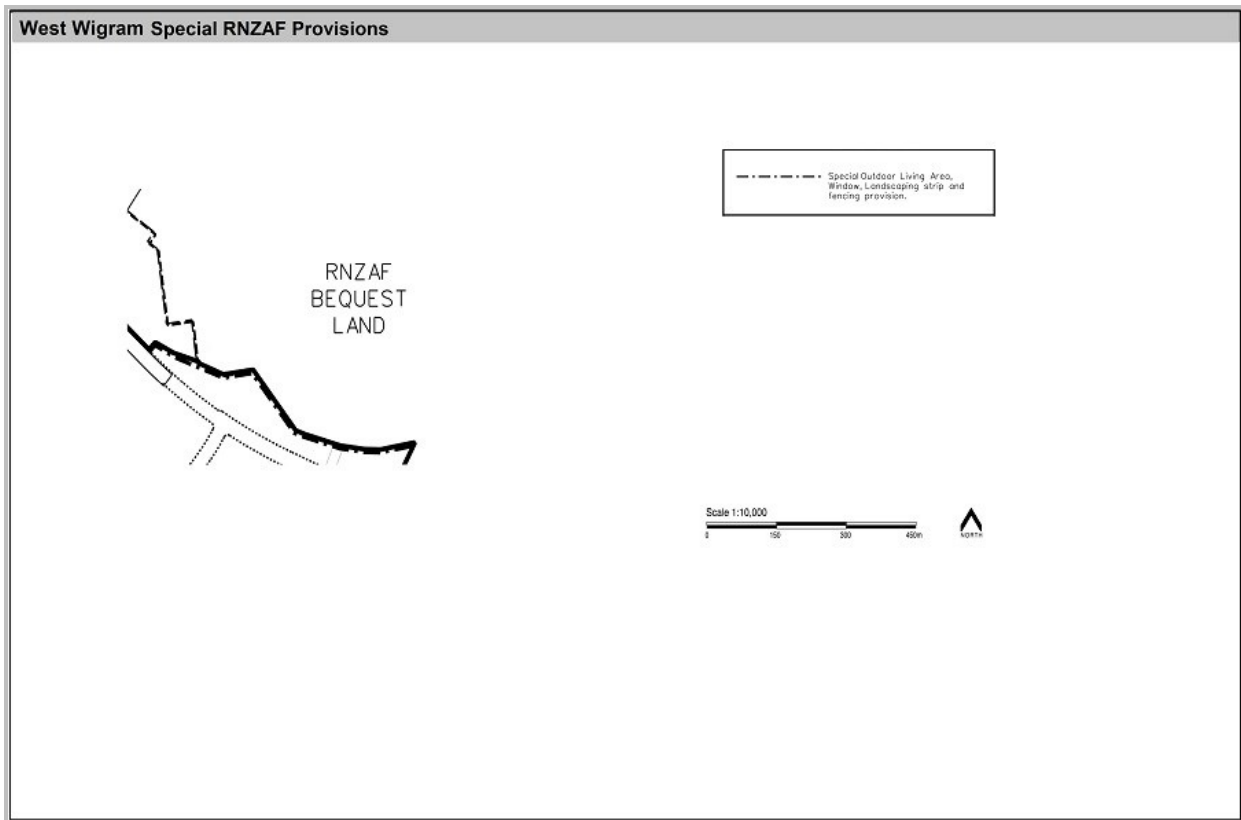


Figure 8 : West Wigram Special RNZAF Provisions.

#### 14.3.5.2 Road boundary garage and building setback

This rule applies to sites with frontage to Bealey Avenue, Fitzgerald Avenue or Deans Avenue South of Blenheim Road and the Sumner Master Plan Overlay Area, shown in [Chapter 15 Commercial Zone, Appendix 15.9.11](#)

1. For sites with frontage to Bealey Avenue, Fitzgerald Avenue or Deans Avenue South of Blenheim Road the road boundary setback shall be six metres.
2. Sumner Master Plan Overlay Area, shown in [Chapter 15 Commercial Zone, Appendix 15.9.11](#); and retail activities and commercial services with road frontage buildings; buildings shall:
  - a. be built up to the road frontage with buildings occupying all frontage not needed for vehicle access to the rear of the site;
  - b. provide a minimum of 60 percent and a maximum of 90 percent visually transparent glazing at the ground floor and a minimum of 20 percent and a maximum of 90 percent visually transparent glazing at each floor above the ground floor;
  - c. provide pedestrian access directly from the road boundary; and
  - d. provide veranda or other means of weather protection along the full width of the building where it has frontage to a road.
3. Sumner Master Plan Overlay Area, shown in [Chapter 15 Commercial Zone, Appendix 15.9.11](#); and retail and commercial services with frontage only to public access ways; buildings shall:
  - a. occupy the full public access way frontage of the site;
  - b. provide a minimum of 60 percent and a maximum of 90 percent of visually transparent glazing at the ground floor and a minimum of 20 percent and a maximum of 90 percent visually



- transparent glazing at each floor above the ground floor; and
- c. provide pedestrian access directly from the public access way.

## 14.4 Rules - Residential Banks Peninsula Zone

### 14.4.1 How to use the rules

- 14.4.1.1 The rules that apply to activities in the Residential Suburban, Residential Banks Peninsula, and Residential Conservation Zones are contained in:
- The Activity Status Tables (including Activity Specific Standards) in Rules [14.4.2.1](#), [14.4.2.2](#), [14.4.2.3](#), [14.4.2.4](#), [14.4.2.5](#), and [14.4.2.6](#); and
  - Built Form Standards in Rules [14.4.3.1](#), [14.4.3.2](#), [14.4.3.3](#), [14.4.3.4](#), [14.4.3.5](#), [14.4.3.6](#), [14.4.3.7](#), [14.4.3.8](#), and [14.4.3.9](#).
- 14.4.1.2 The rules that apply to activities within the Lyttelton Port Influences Area are contained in the Rules in [14.4.4.1](#), [14.4.4.2](#), [14.4.4.3](#), and [14.4.4.4](#).
- 14.4.1.3 The Activity Status Tables and Standards in the following Chapters (where relevant):
- |           |  |
|-----------|--|
| <b>5</b>  | Natural Hazards;                           |
| <b>6</b>  | General Rules and Procedures;              |
| <b>7</b>  | Transport;                                 |
| <b>8</b>  | Subdivision, Development and Earthworks;   |
| <b>9</b>  | Heritage and Natural Environment;          |
| <b>11</b> | Utilities, Energy and Infrastructure; and  |
| <b>12</b> | Hazardous Substances and Contaminated Land |

### 14.4.2 Activity status tables

#### 14.4.2.1 Permitted Activities

In the Residential Banks Peninsula Zone the activities listed below are permitted activities if they comply with any Activity Specific Standards set out in this table and the Built Form Standards in [Rule 14.4.3](#).

Activities may also be restricted discretionary, discretionary, non complying or prohibited as specified in Rules [14.4.2.3](#), [14.4.2.4](#), [14.4.2.5](#) and [14.4.2.6](#).

Activity		Activity specific standards
<b>P1</b>	<u>Residential Activities</u> that occur within a <u>residential unit</u> .	a. <b>Note:</b> for <u>residential activities</u> within the Lyttelton Port Influences Overlay Area refer to <a href="#">area specific standards 14.4.4</a> .
<b>P2</b>	Accommodation of travellers	There shall be:





Activity	Activity specific standards
for a tariff.	<ul style="list-style-type: none"> <li>a. a maximum of six travellers accommodated at any one time; and</li> <li>b. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u>.</li> </ul>
<b>P3</b> Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer.	There shall be: <ul style="list-style-type: none"> <li>a. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and</li> <li>b. at least one carer residing permanently within the <u>residential unit</u>.</li> </ul>
<b>P4</b> Conversion of an <u>elderly person's housing unit</u> existing at 6 December 2013, into a <u>residential unit</u> that may be occupied by any person(s) and without the need to be encumbered by a bond or other appropriate legal instrument.	Each converted unit shall have: <ul style="list-style-type: none"> <li>a. a minimum <u>gross floor area</u>, excluding terraces, <u>garages</u>, sun decks and verandahs, of 35m<sup>2</sup>; and</li> <li>b. a separate <u>outdoor living space</u> readily accessible from its <u>living area</u> that is at least 30m<sup>2</sup> with a minimum dimension of 3m.</li> </ul>
<b>P5</b> <u>Home Occupation</u> .	The <u>home occupation</u> shall limit: <ul style="list-style-type: none"> <li>a. the <u>gross floor area</u> of the <u>building</u> plus the area used for <u>outdoor storage area</u> occupied by the occupation to less than 40m<sup>2</sup>;</li> <li>b. the number of <u>FTE</u> employed persons, who reside permanently elsewhere than on the <u>site</u>, to one;</li> <li>c. any <u>retailing</u> to the sale of goods grown or produced on the <u>site</u>, or internet-based sales where no customer visits occur;</li> <li>d. the hours of operation to 50 hours per week;</li> <li>e. the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of:               <ul style="list-style-type: none"> <li>i. 0900 – 2100 Monday to Friday; and</li> <li>ii. 0900 – 1300 Saturday, Sunday and public holidays;</li> </ul> </li> <li>f. visitor or staff <u>parking area</u> to outside the <u>road boundary setback</u>;</li> <li>g. activity, where that activity is:               <ul style="list-style-type: none"> <li>i. open to visitors and clients; and</li> <li>ii. in a multiple level apartment complex; to the ground floor.</li> </ul> </li> </ul>



Activity		Activity specific standards
P6	<u>Pre-schools facility.</u>	<p>The facility shall:</p> <ul style="list-style-type: none"> <li>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>c. limit outdoor play areas and facilities to those that comply with the Group 1 acoustic standard for residential zones;</li> <li>d. limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>e. limit the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of 0700 – 2100;</li> <li>f. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and</li> <li>g. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</li> </ul> <p><b>Note:</b> See Figure 1.</p>
P7	<u>Veterinary Care Facility.</u>	<p>The facility shall:</p> <ul style="list-style-type: none"> <li>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>c. limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>d. limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100;</li> <li>e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or</li> </ul>



Activity		Activity specific standards
		<p>front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>;</p> <p>f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block; and</p> <p>g. limit the boarding of animals on the <u>site</u> to four.</p> <p><b>Note:</b> See Figure 1.</p>
P8	<u>Education activity.</u>	<p>The activity shall:</p> <p>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</p> <p>b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</p> <p>c. limit signage to a maximum area of 1m<sup>2</sup>;</p> <p>d. limit the hours of operation when the <u>site</u> is open to students, or clients, and deliveries to between the hours of:</p> <p>i. 0700 – 2100 Monday to Saturday; and</p> <p>ii. Closed Sunday and public holidays;</p> <p>e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and</p> <p>f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</p> <p><b>Note:</b> See Figure 1.</p>
P9	Temporary military or emergency service training activities.	a. NIL.
P10	Market gardens, community gardens, and garden allotments.	a. NIL.
P11	Storage of <u>heavy vehicles</u> .	a. No more than one vehicle shall be stored on the <u>site</u> .



Activity		Activity specific standards
<b>P12</b>	Dismantling, repair, or storage of motor vehicles and boats.	a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u> .
<b>P13</b>	Temporary lifting or moving of earthquake damaged <u>buildings</u> where there is non compliance with one or more of: <u>14.4.3.2</u> , <u>14.4.3.3</u> , <u>14.4.3.4</u> , <u>14.4.3.5</u> .	a. <u>Buildings</u> shall not be: <ul style="list-style-type: none"> <li>i. moved to within 1m of an internal <u>boundary</u> and/or within 3m of any <u>waterbody</u>, scheduled tree, listed heritage item, natural resources and <u>Council</u> owned structure, <u>archaeological site</u>, or the coastal marine area; and</li> <li>ii. lifted to a <u>height</u> exceeding 2.5m above the applicable recession plane or <u>height</u> control.</li> </ul> b. The <u>building</u> must be lowered back or moved back to its original position, or a position compliant with the <u>District Plan</u> or consistent with a resource consent, within eight weeks of the lifting or moving works having first commenced.           c. In all cases of a <u>building</u> being moved or lifted, the owners/occupiers of land adjoining the <u>sites</u> shall be informed of the work at least seven days prior to the lift or move of the <u>building</u> occurring. The information provided shall include details of a contact person, details of the lift or move, and the duration of the lift or move.           d. The <u>Council</u> 's Resource Consents Manager shall be notified of the lifting or moving the <u>building</u> at least seven days prior to the lift or move of the <u>building</u> occurring. The notification must include details of the lift or move, property address, contact details and intended start date.
<b>P14</b>	Heli-Landing areas.	a. <u>Sites</u> shall be greater than 3000m <sup>2</sup> in area. b. The number of flights shall not exceed 12 (24 movements) in any calendar year. c. The flights (movements) shall not take place on more than 5 days in any 1 month period. d. The flights (movements) shall not exceed three in any 1 week. e. Any movements shall only occur between 0800 and 1800 hours. f. No movements shall take place within 25m of any <u>residential unit</u> unless that <u>residential unit</u> is owned or occupied by the applicant. g. A log detailing the time and date of each



Activity		Activity specific standards
		<p>helicopter movement shall be maintained and made available for inspection by the Christchurch City Council when requested.</p>
<b>P15</b>	Repair or rebuild of <u>buildings</u> with cross leases, company leases or unit titles.	<p>Where the <u>building</u> footprint or <u>building</u> location is to be altered to enable the repair or rebuild of a <u>building</u> damaged by the Canterbury earthquakes of 2010 and 2011, and the existing <u>building</u> complies with zone Rules <a href="#">14.4.3.2</a>, <a href="#">14.4.3.5</a>, and <a href="#">14.4.3.6</a> repaired or relocated <u>buildings</u> need comply with zone Rules <a href="#">14.4.3.2</a>, <a href="#">14.4.3.5</a>, and <a href="#">14.4.3.6</a>.</p> <p>Clarification: If any of the above standards are not met, the activity status will be as specified in the relevant standard.</p> <p>a. Where the <u>building</u> footprint, or <u>building</u> location, is to be altered to enable the repair or rebuild of a <u>building</u> damaged by the Canterbury earthquakes of 2010 and 2011, and the existing <u>building</u> does not comply with zone Rules <a href="#">14.4.3.2</a>, <a href="#">14.4.3.5</a>, and <a href="#">14.4.3.6</a> repaired or relocated <u>buildings</u>: shall not increase non-compliance with zone Rules <a href="#">14.4.3.2</a>, <a href="#">14.4.3.5</a>, and <a href="#">14.4.3.6</a>.</p> <p>Clarification: If any of the above standards are not met or if there is increased non-compliance with the standards, the activity status will be as specified in the relevant standard.</p> <p>b. Where the repair or rebuild of a <u>building</u> damaged by the Canterbury Earthquakes of 2010 and 2011 will not alter the <u>building</u> footprint or location, repaired or relocated <u>buildings</u> need not comply with any of the built form standards.</p> <p>i. For any other reason, <u>buildings</u> need to comply with all relevant standards.</p> <p>Refer to <a href="#">Rule 8.2.3.1 of Chapter 8</a></p>

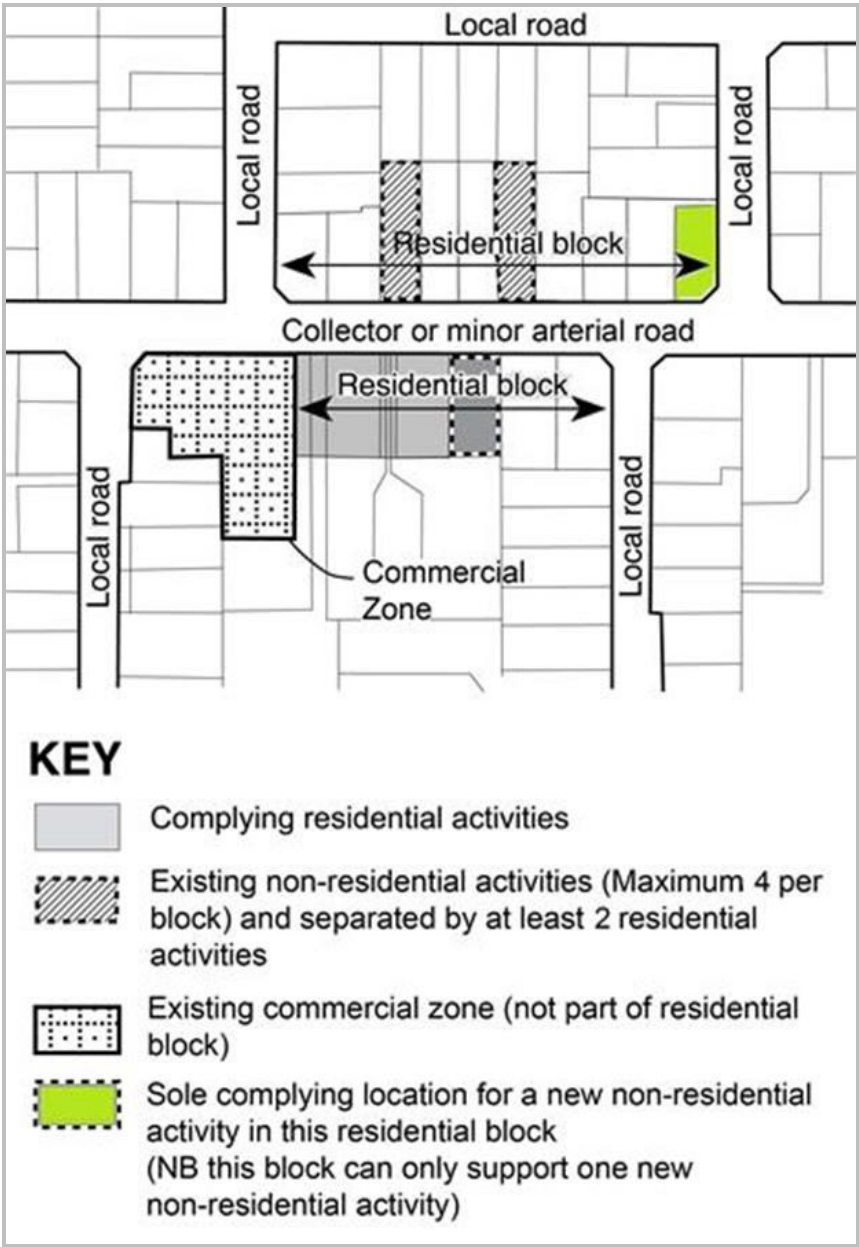


Figure 1 : Residential coherence

14.4.2.2 Controlled Activities

There are no controlled activities.

14.4.2.3 Restricted Discretionary Activities

The activities listed below are restricted discretionary activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in 14.9 for each standard, as set out in the following table.



Activity		The <b>Council's</b> discretion shall be limited to the following matters:
<b>RD1</b>	<u>Residential units</u> (including any <u>sleep-outs</u> ) containing more than 6 bedrooms in total.	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles – <a href="#">14.9.6</a>.</li> <li>b. Scale of activity - <a href="#">14.9.14</a>.</li> <li>c. Traffic generation access and safety - <a href="#">14.9.15</a>.</li> <li>d. Liquefaction susceptibility of the <u>site</u> and proposed development - <a href="#">14.9.20</a>.</li> </ul>
<b>RD2</b>	<p><u>Sensitive activities</u> and <u>building</u> within the Electricity Transmission Line Corridor:</p> <ol style="list-style-type: none"> <li>1. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities: <ul style="list-style-type: none"> <li>a. any new <u>sensitive activity</u> or additional <u>habitable space</u>;</li> <li>b. any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities; and</li> <li>c. any <u>sensitive activity</u>.</li> </ul> </li> <li>2. The centre of the transmission line is to be found by measuring a straight line from the centre of two adjoining support structures.</li> <li>3. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner.</li> <li>4. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent.</li> </ol> <p><b>Note:</b></p> <ol style="list-style-type: none"> <li>1. The transmission line corridor is shown on the <a href="#">Planning Maps</a> 9, 16, 21, 22, 23, 24, 26, 28, 29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49, 50, 51, 55, 56, 61, 62, 63, 69, 70, 78.</li> <li>2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines.</li> </ol>	<ul style="list-style-type: none"> <li>a. Electricity transmission line corridor - <a href="#">14.9.19</a>.</li> </ul>





Activity		The <b>Council's</b> discretion shall be limited to the following matters:
RD3	<u>Retirement villages.</u>	<p>a. Urban design and Māori urban design principles – <a href="#">14.9.6</a>.</p> <p>b. Scale of activity - <a href="#">14.9.14</a>.</p> <p>c. Traffic Generation access and Safety -<a href="#">14.9.15</a>.</p> <p><b>Note:</b> Geriatric hospice and hospital care are subject to the Health Care Facilities standards.</p>
RD4	Temporary lifting or moving of earthquake damaged <u>buildings</u> that does not meet the standards in <a href="#">Rule 14.4.2.1</a> P13.	<p>a. Temporary lifting or moving of earthquake damaged <u>buildings</u> - <a href="#">14.9.23</a>.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>
RD5	<p>Non compliance with one or more of the following Rules: <a href="#">14.4.3.6</a>, <a href="#">14.4.3.7</a>.</p> <p>Any application arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule:</p> <p>a. Street scene - <a href="#">14.9.3</a>;</p> <p>b. Life-stage, adaptive design and energy and water efficiency - <a href="#">14.9.21</a>.</p>
RD6	Non compliance with one or more of the following Rules: <a href="#">14.4.3.1</a> , <a href="#">14.4.3.2</a> , <a href="#">14.4.3.3</a> , <a href="#">14.4.3.4</a> , <a href="#">14.4.3.5</a> .	<p>As relevant to the breached rule:</p> <p>a. <u>Site</u> Density and <u>Site</u> Coverage - <a href="#">14.9.1</a>;</p> <p>b. <u>Building height</u> and daylight recession planes - <a href="#">14.9.2</a>;</p> <p>c. Minimum <u>building</u> window and <u>balcony setbacks</u> from internal <u>boundaries</u> - <a href="#">14.9.4</a>; and</p> <p>d. Lyttelton Port influences</p>



Activity		The <b>Council's</b> discretion shall be limited to the following matters:
		overlay - <a href="#">14.9.34</a> ;
<b>RD7</b>	Non compliance with <a href="#">Rule 14.4.3.9</a> .  Any application arising from this rule will only require the written approval of the New Zealand Fire Service to not be limited notified and shall not be fully publicly notified.	a. Water supply for fire fighting - <a href="#">14.9.25</a> .
<b>RD8</b>	<a href="#">Relocation of a building</a> .	a. <a href="#">Relocation of a building</a> - <a href="#">14.9.34</a> .
<b>RD9</b>	Non-compliance with <a href="#">Rule 14.4.2.1</a> P23.	a. Whether the any alteration to the <b>building</b> would impact on the amenity of adjoining properties.

#### 14.4.2.4 Discretionary Activities

The activities listed below are discretionary activities.

Activity	
<b>D1</b>	<a href="#">Home occupation</a> , <a href="#">education activities</a> , travellers accomodated for a tariff, care of non-resident children within a <a href="#">residential unit</a> , <a href="#">pre-school</a> facilities, <a href="#">veterinary care facilities</a> , storage of <a href="#">heavy vehicles</a> , camping grounds, show homes, and dismantling, repair or storage of motor vehicles and/or boats where it does not meet one or more of the permitted activity standards in <a href="#">Rule 14.4.2.1</a> P5, P6, P7, P8, P12.
<b>D2</b>	<a href="#">Place of assembly</a> (except for a Lyttelton Port Noise <a href="#">Sensitive Activity</a> within the Lyttelton Port Influences Overlay) where: <ol style="list-style-type: none"> <li>1. The minimum <a href="#">site</a> area is not less than 30m<sup>2</sup> per person;</li> <li>2. All outdoor areas associated with the activity are screened with a 1.8m high fence or solid planting which ensures privacy for adjoining <a href="#">sites</a>;</li> <li>3. The hours of operation are between 0700 – 2200 hours Monday to Sunday and public holidays; and</li> <li>4. There is no use of <a href="#">heavy vehicles</a> associated with the activity.</li> </ol>
<b>D3</b>	<a href="#">Health care facility</a> (except for a Lyttelton Port Noise <a href="#">Sensitive Activity</a> within the Lyttelton Port Influences Overlay) where: <ol style="list-style-type: none"> <li>1. The maximum floor area used for Health Care activities on any <a href="#">site</a> does not exceed 100m<sup>2</sup>; and</li> </ol>



Activity	
	2. There is no use of <u>heavy vehicles</u> associated with the activity.
<b>D4</b>	Retail where: <ol style="list-style-type: none"> <li>1. all outdoor areas associated with the activity are screened with a 1.8m high fence or solid planting which ensures privacy for adjoining <u>sites</u>;</li> <li>2. the hours of operation are between 0700 – 2200 hours Monday to Sunday and public holidays;</li> <li>3. the maximum floor area used for <u>retail activities</u> on any <u>site</u> does not exceed 50m<sup>2</sup>;</li> <li>4. the activity does not include trade or yard-based suppliers or <u>service stations</u>; and</li> <li>5. there is no use of <u>heavy vehicles</u> associated with the activity.</li> </ol>
<b>D5</b>	Emergency service facilities.
<b>D6</b>	All other non- <u>residential activities</u> not otherwise listed in these tables.

#### 14.4.2.5 Non Complying Activities

The activities listed below are a non complying activity.

Activity	
<b>NC1</b>	Any activity not provided as a permitted, controlled, restricted discretionary, discretionary or prohibited activity.

#### 14.4.2.6 Prohibited Activities

There are no prohibited activities.

### 14.4.3 Built form standards

#### 14.4.3.1 Site density

Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	Area/Location	Standard
1.	Residential Banks Peninsula Zone.	400m <sup>2</sup>
2.	Residential Banks Peninsula Zone – Diamond Harbour Density Overlay.	600m <sup>2</sup>



	Area/Location	Standard
3.	10 Pages Road, Lyttelton (described as Lot 2 DP 52500).	Five or fewer <u>residential units</u> in total may be erected on the <u>site</u> .
4.	10 Harmans Road, Lyttelton (described as Lot 1 DP 71436).	One <u>residential unit</u> per 5000m <sup>2</sup> .

### 14.4.3.2 Building height

1. The maximum height of any building shall be seven metres.
  2. The maximum height of any accessory buildings shall be 4.5 metres.
- Note:** See the permitted height exceptions contained within the definition of height.

### 14.4.3.3 Site coverage

The maximum percentage of the net site area of any site covered by buildings excluding:

1. fences, walls and retaining walls;
2. eaves and roof overhangs up to 600 millimetres in width from the wall of a building;
3. uncovered swimming pools up to 800 millimetres in height above ground level; and
4. decks, terraces, balconies, porches, verandahs, bay or box windows (supported or cantilevered) which:
  - a. are no more than 800 millimetres above ground level and are uncovered or unroofed; or
  - b. where greater than 800 millimetres above ground level and/or covered or roofed, are in total no more than 6m<sup>2</sup> in area for any one site;

shall be 35 percent.

### 14.4.3.4 Minimum building setback from side and rear internal boundaries

The minimum building setback from side and rear internal boundaries shall be:

1.

a.	Side internal <u>boundaries</u> .	One of 1.5m and one of 2m.
b.	Rear internal <u>boundaries</u> .	2m

2. There shall be no minimum setback from internal boundaries for accessory buildings where the length of any wall within the setbacks specified in 1. is less than six metres.

### 14.4.3.5 Daylight recession planes

No part of any building shall project beyond a building envelope contained by a 45 degree recession plane measured at any point 2.0 metres above any adjoining site boundary, that is not a road



boundary.

### 14.4.3.6 Building setbacks from road boundaries

Minimum building setback from road boundaries shall be as follows:

	Applicable to	Standard
1.	Residential Banks Peninsula Zone where a <u>garage</u> contains a vehicle entrance way which generally faces a <u>road</u> .	5m
2.	All other <u>buildings</u> in the Residential Banks Peninsula zone.	3m

### 14.4.3.7 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

#### 1. Pathways

A sealed path from either the road boundary of the site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:

- a minimum clear width of 1.2metres;
- a slope not exceeding 1:20;
- a cross fall of not more than 1:50;
- a slip resistant surface; and
- pathway lighting that is switched on from a light switch located at the door at the end of the path.

#### 2. Primary pedestrian entrance door

A primary pedestrian entrance door to the residential unit with:

- a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
- a maximum threshold of 20mm; and
- a external landing area that has a slip resistant surface.

#### 3. Doors within the living space of the residential unit:

All doorways to and within living space have:

- a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
- a level transition and threshold (accepting difference in floor materials on either site of the door).

#### 4. Corridors, hallways, and passageways within the residential unit:

All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.

#### 5. Door handles

All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.



6. Electrical switches  
The centre of all electrical switches on walls, are at the same height as the centre of door handles.
7. Powerpoints, television, telephone and computer outlets  
All powerpoints, television, telephone and computer outlets are installed at a that same height throughout the residential unit at no less than 0.3 metres above the finished floor level.
8. Window controls  
All window controls are lever handles and are able to be operated with one hand.
9. Space around bed to support ease of movement  
Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.
10. Laundry space  
Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.
11. Kitchen  
The kitchen is not a residential thoroughfare.
12. Toilet
  - a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall.
  - b. and
  - c. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
13. Shower
  - a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that has:
    - i. a level entry shower recess with minimum dimensions of 1.2 metres x 1.2metres;
    - ii. drainage of the shower recess located at the corner of a room;
    - iii. a clear space that provides for a 1.5 metre turning circle; and
    - iv. 800mm clear space beside the shower seat.
  - b. All shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
14. Slip resistant floors on bathrooms  
All bathrooms have slip resistant floor surfaces.
15. Multi-storey access  
All stairway walls have:
  - a. reinforced walls for future installation of a stair-lift or platform lift;
  - b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
  - c. a minimum clear width of 0.9 metres;  
(diagram)



- d. a straight design with no winder treads;
- e. consistent tread depth with a minimum dimension of 0.31 metres;
- f. consistent riser height with a minimum dimension of 0.18 metres;
- g. no open risers; and
- h. lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

- 16. Lever action door handles  
All door handles are lever action.
- 17. Tap fixtures  
All tap fixtures lever, push button, or electronic.

#### **14.4.3.8 Energy and water efficient standards for new residential units**

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value 3.2.</u>
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value 0.31.</u>
d.	Wall insulation.	<u>Insulation R value 2.8.</u>
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value 2.2</u> , 25mm XPS with 9mm fibre cement board glued to the face.
f.	Ventilation.	<ul style="list-style-type: none"> <li>i. Dedicated extraction <u>installed</u> in kitchen and bathrooms.</li> <li>ii. Provision to vent a clothes drier to the outside of the residential unit.</li> </ul>
g.	Water efficiency.	<u>WELS 3 Star Shower.</u> <u>WELS 4 Star Toilets.</u> <u>WELS 4 Star Taps.</u>
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.





### 14.4.3.9 Water supply for fire fighting

1. Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS: 4509:2008), whereby:
  - a. All residential units must be connected to the Council's urban reticulated system that provides sufficient fire fighting water supply; or
  - b. Where a reticulated water supply compliant with SNZ PAS:4509:2008 is not available to serve the residential unit, or the only supply available is the controlled restricted rural type water supply which is not compliant with SNZ PAS:4509:2008 water supply and access to water supplies for fire fighting that is in compliance with the rule 2. below must be provided.
2. Each residential unit shall have a sprinkler system installed (to an improved standard in accordance with SNZ PAS:4509:2008) in the building plumbed to ensure 7000 litres of water is always available to the sprinkler system in the event of a fire.

## 14.4.4 Area specific activities and standards

### 14.4.4.1 Port Influences Overlay Area Permitted Activities

	Activity	Area Specific Standards
P1.	Extension to an existing <u>habitable space</u> or the erection of a new <u>habitable space</u> associated with an existing <u>residential unit</u> where the combined <u>gross floor area</u> of the <u>habitable space</u> does not exceed 40m <sup>2</sup> within a 10 year continuous period.	a. Compliance with <a href="#">Rule 14.4.4.4.</a>
P2.	Replacement for an existing <u>residential unit</u> where the combined gross floor area of the <u>habitable space</u> does not exceed the combined gross floor area of the <u>habitable spaces</u> contained in the previous <u>residential unit</u> by more than 40m <sup>2</sup> within a 10 year continuous period.	a. Compliance with <a href="#">Rule 14.4.4.4.</a>

### 14.4.4.2 Port Influences Overlay Area Restricted Discretionary Activities

	Activity	The <u>Council's</u> discretion shall be limited to the following matters
RD1	Extension to an existing <u>habitable space</u> or the erection of a new	a. Port





	<p><b>Activity</b></p> <p><u>habitable space</u> associated with an existing <u>residential unit</u> where the combined gross floor area of the <u>habitable space</u> exceeds 40m<sup>2</sup> within a 10 year continuous period with a <u>no complaints covenant</u> that complies with <a href="#">Rule 14.4.4.4</a>.</p> <p>Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.</p>	<p><b>The Council's discretion shall be limited to the following matters</b></p> <p>Influences Overlay - <a href="#">14.9.34</a>.</p>
<b>RD2</b>	<p>Replacement <u>residential unit</u> for an existing <u>residential unit</u> where the combined gross floor area of the <u>habitable space</u> exceeds the combined gross floor area of the <u>habitable space</u> contained in the previous <u>residential unit</u> by more than 40m<sup>2</sup> within a 10 year continuous period with a <u>no complaints covenant</u>, that complies with <a href="#">Rule 14.4.4.4</a>.</p> <p>Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.</p>	

#### **14.4.4.3 Port Influences Overlay Area Non Complying Activities**

	<b>The activities listed below are a Non Complying Activity.</b>
<b>NC1</b>	<p>Extension under <a href="#">Rule 14.4.4.1</a> (P1) that does not comply with <a href="#">Rule 14.4.4.4</a>.</p> <p>Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.</p>
<b>NC2</b>	<p>Replacement under <a href="#">Rule 14.4.4.1</a> (P2) that does not comply with <a href="#">Rule 14.4.4.4</a>.</p> <p>Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.</p>
<b>NC3</b>	<p>Extension to an existing <u>habitable space</u> or the erection of a new <u>habitable space</u> associated with an existing <u>residential unit</u> where the combined gross floor area of the <u>habitable space</u> exceeds 40m<sup>2</sup> within a 10 year continuous period that:</p>



	<p><b>The activities listed below are a Non Complying Activity.</b></p> <ol style="list-style-type: none"> <li>1. does not have a <u>no complaints covenant</u>; or</li> <li>2. does not comply with <a href="#">Rule 14.4.4.4</a>; or</li> <li>3. a does not have a <u>no complaints covenant</u> and does not comply with <a href="#">Rule 14.4.4.4</a>.</li> </ol> <p>Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.</p>
<b>NC4</b>	<p>Replacement <u>residential unit</u> for an existing <u>residential unit</u> where the combined <u>gross floor area</u> of the <u>habitable space</u> exceeds the combined gross floor area of the <u>habitable space</u> contained in the previous <u>residential unit</u> by more than 40m<sup>2</sup> within a 10 year continuous period that:</p> <ol style="list-style-type: none"> <li>1. does not have a <u>no complaints covenant</u> ; or</li> <li>2. does not comply with <a href="#">Rule 14.4.4.4</a>; or</li> <li>3. a does not have a <u>no complaints covenant</u> and does not comply with <a href="#">Rule 14.4.4.4</a>.</li> </ol> <p>Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.</p>
<b>NC5</b>	<p>New noise <u>sensitive activities</u>.</p> <p>Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.</p>

#### **14.4.4.4 Port Influences Overlay Area Built Form Standards**

New habitable space or extensions to existing habitable space shall have an internal sound design level of 40dBA L<sub>dn</sub> (5 day) with ventilating windows or with windows and doors closed and mechanical ventilation installed and operating.

**Note:** Refer to [Appendix 14.10.2](#) on how to determine the appropriate internal design sound level.

## **14.5 Rules - Residential Conservation Zones**

### **14.5.1 How to use the rules**

- 14.2.1.1 The rules that apply to activities in the Residential Conservation Zone are contained in:
  - a. The Activity Status Tables (incl. Activity Specific Standards) in Rules [14.5.2.1](#), [14.5.2.2](#), [14.5.2.3](#), [14.5.2.4](#), [14.5.2.5](#), and [14.5.2.6](#); and
  - b. Built Form Standards in Rules [14.5.3.1](#), [14.5.3.2](#), [14.5.3.3](#), [14.5.3.4](#), [14.5.3.5](#), [14.5.3.6](#), [14.5.3.7](#), [14.5.3.8](#), and [14.5.3.9](#).
- 14.2.1.2 The rules that apply to activities within the Lyttelton Port Influences Overlay Area are contained in [14.5.4.1](#), [14.5.4.2](#), [14.5.4.3](#), and [14.5.4.4](#).



14.2.1.3 The Activity Status Tables and Standards in the following Chapters (where relevant):

- 5 Natural Hazards;
- 6 General Rules and Procedures;
- 7 Transport;
- 8 Subdivision, Development and Earthworks;
- 9 Heritage and Natural Environment;
- 11 Utilities, Energy and Infrastructure; and
- 12 Hazardous Substances and Contaminated Land

## 14.5.2 Activity status tables

### 14.5.2.1 Permitted Activities

In the Residential Banks Peninsula Zone the activities listed below are permitted activities if they comply with any Activity Specific Standards set out in this table and the Built Form Standards in [Rule 14.5.3](#).

Activities may also be restricted discretionary, discretionary, non complying or prohibited as specified in Rules [14.5.2.3](#), [14.5.2.4](#), [14.5.2.5](#), and [14.5.2.6](#).

Activity		Activity specific standards
<b>P1</b>	<u>Residential Activities</u> that occur within a <u>residential unit</u> .	a. <b>Note:</b> for <u>residential activities</u> within the Lyttelton Port Influences Overlay Area refer to <a href="#">area specific standards 14.4.4</a> .
<b>P2</b>	Accommodation of travellers for a tariff.	There shall be: <ul style="list-style-type: none"> <li>a. a maximum of six travellers accommodated at any one time; and</li> <li>b. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u>.</li> </ul>
<b>P3</b>	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer.	There shall be: <ul style="list-style-type: none"> <li>a. a maximum of 4 non-resident children being cared for in return for monetary payment to the carer at any one time; and</li> <li>b. at least one carer residing permanently within the <u>residential unit</u>.</li> </ul>
<b>P4</b>	Conversion of an elderly persons housing unit existing at 6 December 2013, into a <u>residential unit</u> that may be occupied by any	Each converted unit shall have: <ul style="list-style-type: none"> <li>a. a minimum <u>gross floor area</u>, excluding terraces, <u>garages</u>, sun decks and verandahs, of 35m<sup>2</sup>; and</li> </ul>



Activity		Activity specific standards
	person(s) and without the need to be encumbered by a bond or other appropriate legal instrument.	<ul style="list-style-type: none"> <li>b. a separate <u>outdoor living space</u> readily accessible from its <u>living area</u> that is at least 30m<sup>2</sup> with a minimum dimension of 3m.</li> </ul>
P5	<u>Home Occupation.</u>	<p><u>Home occupation</u> shall limit:</p> <ul style="list-style-type: none"> <li>a. the <u>gross floor area</u> of the building plus the area used for <u>outdoor storage area</u> occupied by the occupation to less than 40m<sup>2</sup>;</li> <li>b. the number of <u>FTE</u> employed persons, who reside permanently elsewhere than on the <u>site</u>, to one;</li> <li>c. any <u>retailing</u> to the sale of goods grown or produced on the <u>site</u>, or internet-based sales where no customer visits occur;</li> <li>d. the hours of operation to 50 hours per week;</li> <li>e. the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ul style="list-style-type: none"> <li>i. 0900 – 2100 Monday to Friday; and</li> <li>ii. 0900 – 1300 Saturday, Sunday and public holidays;</li> </ul> </li> <li>f. visitor or staff <u>parking area</u> to outside the <u>road boundary setback</u>; and</li> <li>g. activity, where that activity is: <ul style="list-style-type: none"> <li>i. open to visitors and clients; and</li> <li>ii. in a multiple level apartment complex; to the ground floor.</li> </ul> </li> </ul>
P6	<u>Pre-schools facility.</u>	<p>The facility shall:</p> <ul style="list-style-type: none"> <li>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>c. limit outdoor play areas and facilities to those that comply with the Group 1 acoustic standard for residential zones;</li> <li>d. limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>e. limit the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of:</li> </ul>



Activity		Activity specific standards
		<p>i. 0700 – 2100 Monday to Friday; and</p> <p>ii. 0700 – 1300 Saturday, Sunday and public holidays;</p> <p>f. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and</p> <p>g. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</p> <p><b>Note:</b> See Figure 1.</p>
P7	<u>Veterinary Care Facility.</u>	<p>The facility shall:</p> <p>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</p> <p>b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</p> <p>c. limit signage to a maximum area of 1m<sup>2</sup>;</p> <p>d. limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100;</p> <p>e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>;</p> <p>f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block; and</p> <p>g. limit the boarding of animals on the <u>site</u> to four.</p> <p><b>Note:</b> See Figure 1.</p>



Activity	Activity specific standards
<p><b>P8</b> <u>Education activity.</u></p>	<p>The activity shall:</p> <ol style="list-style-type: none"> <li>only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>limit the hours of operation when the <u>site</u> is open to students, or clients, and deliveries to between the hours of: <ol style="list-style-type: none"> <li>0700 – 2100 Monday to Saturday, and</li> <li>Closed Sunday and public holidays;</li> </ol> </li> <li>only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u> is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u> and have <u>frontage</u> to the same <u>road</u>; and</li> <li>only locate on residential blocks where there are no more than two non-<u>residential activity</u> already within that block.</li> </ol> <p><b>Note:</b> See Figure 1.</p>
<p><b>P9</b> Temporary military or emergency service training activities.</p>	<p>a. NIL.</p>
<p><b>P10</b> Market gardens, community gardens, and garden <u>allotments</u>.</p>	<p>a. NIL.</p>
<p><b>P11</b> Storage of <u>heavy vehicles</u>.</p>	<p>a. No more than one vehicle shall be stored on the <u>site</u>.</p>
<p><b>P12</b> Dismantling, repair, or storage of motor vehicles and boats.</p>	<p>a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u>.</p>
<p><b>P13</b> Temporary lifting or moving of earthquake damaged <u>buildings</u> where there is non compliance with one or more of: <a href="#">14.5.3.2</a>, <a href="#">14.5.3.3</a>, <a href="#">14.5.3.4</a>.</p>	<p>a. <u>Buildings</u> shall not be:</p> <ol style="list-style-type: none"> <li>moved to within 1m of an internal <u>boundary</u> and/or within 3m of any <u>waterbody</u>, scheduled tree, listed heritage item, natural resources and <u>Council</u> owned structure, <u>archaeological site</u>, or the coastal marine</li> </ol>



Activity		Activity specific standards
		<p>area;</p> <p>ii. lifted to a <u>height</u> exceeding 2.5m above the applicable recession plane or <u>height</u> control.</p> <p>b. The <u>building</u> must be lowered back or moved back to its original position, or a position compliant with the <u>District Plan</u> or consistent with a resource consent, within eight weeks of the lifting or moving works having first commenced.</p> <p>c. In all cases of a <u>building</u> being moved or lifted, the owners/occupiers of land adjoining the <u>sites</u> shall be informed of the work at least seven days prior to the lift or move of the <u>building</u> occurring. The information provided shall include details of a contact person, details of the lift or move, and the duration of the lift or move.</p> <p>d. The <u>Council's</u> Resource Consents Manager shall be notified of lifting or moving the <u>building</u> at least seven days prior to the lift or move of the <u>building</u> occurring. The notification must include details of the lift or move, property address, contact details and intended start date.</p>
P14	Heli-Landing areas.	<p>a. <u>Sites</u> shall be greater than 3000m<sup>2</sup> in area.</p> <p>b. The number of flights shall not exceed 12 (24 movements) in any calendar year.</p> <p>c. The flights (movements) shall not take place on more than five days in any one month period.</p> <p>d. The flights (movements) shall not exceed three in any one week.</p> <p>e. Any movements shall only occur between 0800 and 1800 hours.</p> <p>f. No movements shall take place within 25m of any <u>residential unit</u> unless that <u>residential unit</u> is owned or occupied by the applicant.</p> <p>g. A log detailing the time and date of each helicopter movement shall be maintained and made available for inspection by the Christchurch City Council when requested.</p>



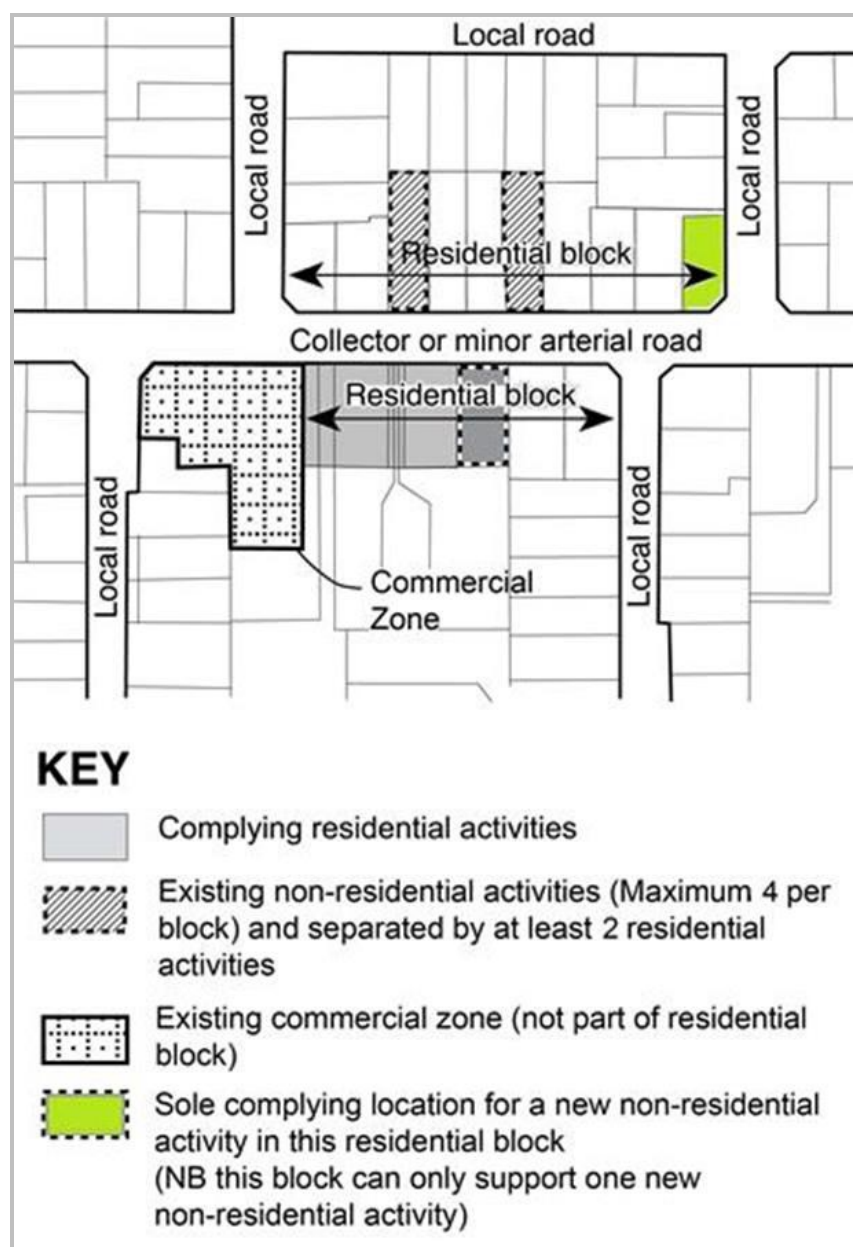


Figure 1 : Residential coherence.

### 14.5.2.2 Controlled Activities

There are no controlled activities.

### 14.5.2.3 Restricted Discretionary Activities

The activities listed below are Restricted Discretionary Activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [14.9](#) for each standard, as set out in the following table.



Activity		The <b>Council's</b> discretion shall be limited to the following matters:
<b>RD1</b>	<u>Residential units</u> (including any <u>sleep-outs</u> ) containing more than six bedrooms in total.	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles – <a href="#">14.9.6</a>.</li> <li>b. Scale of activity - <a href="#">14.9.14</a>.</li> <li>c. Traffic generation access and safety - <a href="#">14.9.15</a>.</li> <li>d. Liquefaction susceptibility of <u>site</u> and development - <a href="#">14.9.20</a>.</li> </ul>
<b>RD2</b>	<p><u>Sensitive activities</u> and <u>building</u> within the Electricity Transmission Line Corridor</p> <ol style="list-style-type: none"> <li>1. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities: <ul style="list-style-type: none"> <li>a. any new <u>sensitive activity</u> or additional <u>habitable space</u>;</li> <li>b. any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities;</li> <li>c. any <u>sensitive activity</u>.</li> </ul> </li> <li>2. The centre of the transmission line is to be found by measuring a straight line from the centre of two adjoining support structures.</li> <li>3. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner.</li> <li>4. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent.</li> </ol> <p>Note:</p> <ol style="list-style-type: none"> <li>1. The transmission line corridor is shown on the <a href="#">Planning Maps</a> 9, 16, 21, 22, 23, 24, 26, 28,29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49,50, 51, 55, 56, 61, 62, 63, 69, 70, 78.</li> <li>2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines.</li> </ol>	<ul style="list-style-type: none"> <li>a. Electricity Transmission Line Corridor - <a href="#">14.9.19</a>.</li> </ul>



Activity		The <b>Council's</b> discretion shall be limited to the following matters:
<b>RD3</b>	<u>Retirement villages</u> .	<p>a. Urban design and Māori urban design principles – <a href="#">14.9.6</a>.</p> <p>b. Scale of activity - <a href="#">14.9.14</a>.</p> <p>c. Traffic Generation access and Safety - <a href="#">14.9.15</a>.</p> <p><b>Note:</b> Geriatric hospice and hospital care are subject to the Health Care Facilities standards.</p>
<b>RD4</b>	Temporary lifting or moving of earthquake damaged <u>buildings</u> that does not meet the standards in <a href="#">Rule 14.5.2.1</a> P13.	<p>a. Temporary lifting or moving of earthquake damaged <u>buildings</u> - <a href="#">14.9.23</a>.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>
<b>RD5</b>	<p>Non compliance with Rules <a href="#">14.5.3.2</a>, <a href="#">14.5.3.6</a>, <a href="#">14.5.3.7</a>.</p> <p>Any application arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule:</p> <p>a. Street scene - <a href="#">14.9.3</a>.</p> <p>b. Life-stage, adaptive design and energy and water efficiency - <a href="#">14.9.21</a>.</p> <p>c. Rainwater tanks for new <u>residential units</u> that use water from listed streams and bores - <a href="#">14.9.22</a>.</p>
<b>RD6</b>	Non Compliance with Rules <a href="#">14.5.3.1</a> , <a href="#">14.5.3.2</a> , <a href="#">14.5.3.3</a> , <a href="#">14.5.3.4</a> , and <a href="#">14.5.3.9</a> .	<p>As relevant to the breached rule:</p> <p>a. <u>Site</u> density and <u>site</u> coverage - <a href="#">14.9.1</a>.</p> <p>b. <u>Building height</u> and daylight recession planes - <a href="#">14.9.2</a>.</p> <p>c. Minimum <u>building</u> window and <u>balcony setbacks</u> from internal <u>boundaries</u> -</p>



		<p>The <b>Council's</b> discretion shall be limited to the following matters:</p> <p><a href="#">14.9.4.</a></p> <p>d. Lyttelton Port influences overlay - <a href="#">14.9.34.</a></p>
RD7	<p>Non compliance with <a href="#">Rule 14.5.3.8.</a></p> <p>Any application arising from this rule will only require the written approval of the New Zealand Fire Service to not be limited notified and shall not be fully publicly notified.</p>	<p>a. Water Supply for Fire Fighting - <a href="#">14.9.25.</a></p>
RD8	<p><u>Relocation of a building.</u></p>	<p>a. <u>Relocation of a building</u> - <a href="#">14.9.17.</a></p>

#### 14.5.2.4 Discretionary Activities

The activities listed below are a Discretionary activity.

Activity	
D1	<p><u>Home occupation, education activities</u>, travellers accomodated for a tariff, care of non-resident children within a <u>residential unit</u>, <u>pre-school facilities</u>, <u>veterinary care facilities</u>, storage of <u>heavy vehicles</u>, and dismantling, repair or storage of motor vehicles and/or boats where it does not meet one or more of the permitted activity standards in <a href="#">Rule 14.5.2.1</a> P5, P6, P7, P8, P11,and P12.</p>
D2	<p><u>Place of assembly</u> (except for a Lyttelton Port Noise <u>Sensitive Activity</u> within the Lyttelton Port Influences Overlay) where:</p> <ol style="list-style-type: none"> <li>1. The minimum <u>site</u> area is not less than 30m<sup>2</sup> per person;</li> <li>2. All outdoor areas associated with the activity are screened with a 1.8m high fence or solid planting which ensures privacy for adjoining <u>sites</u>;</li> <li>3. The hours of operation are between 0700 – 2200 hours Monday to Sunday and public holidays; and</li> <li>4. There is no use of <u>heavy vehicles</u> associated with the activity.</li> </ol>
D3	<p><u>Health care facility</u> (except for a Lyttelton Port Noise <u>Sensitive Activity</u> within the Port Influences Overlay) where:</p> <ol style="list-style-type: none"> <li>1. the maximum floor area used for Health Care activities on any <u>site</u> does not exceed 100m<sup>2</sup>;</li> <li>2. there is no use of <u>heavy vehicles</u> associated with the activity.</li> </ol>
D4	<p>Retail where:</p>



Activity	
	<ol style="list-style-type: none"> <li>1. All outdoor areas associated with the activity are screened with a 1.8m high fence or solid planting which ensures privacy for adjoining <u>sites</u>;</li> <li>2. The hours of operation are between 0700 – 2200 hours Monday to Sunday and public holidays;</li> <li>3. The maximum floor area used for <u>retail activities</u> on any <u>site</u> does not exceed 50m<sup>2</sup>;</li> <li>4. Does not include trade or yard-based suppliers or <u>service stations</u>; and</li> <li>5. There is no use of <u>heavy vehicles</u> associated with the activity.</li> </ol>
<b>D5</b>	Emergency service facilities.
<b>D6</b>	All other non- <u>residential activities</u> not otherwise listed in these tables.

### 14.5.2.5 Non Complying Activities

The activities listed below are a Non Complying Activity.

Activity	
<b>NC1</b>	Any activity not provided as a permitted, controlled, restricted discretionary, discretionary or prohibited activity.

### 14.5.2.6 Prohibited Activities

There are no Prohibited activities.

## 14.5.3 Built form standards

### 14.5.3.1 Site density

Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	<u>Site Density</u>	Standard
1.	Residential Conservation Zone Lyttelton.	250m <sup>2</sup>
2.	Residential Conservation Zone Akaroa.	400m <sup>2</sup>

### 14.5.3.2 Building height

1. The maximum height of any building shall be seven metres.



2. The maximum height of any accessory buildings shall be 4.5 metres.

**Note:** See the permitted height exceptions contained within the definition of height.

### 14.5.3.3 Daylight recession planes

No part of any building shall project beyond a building envelope contained by a 45 degree recession plane measured at any point 2.0 metres above any adjoining site boundary, that is not a road boundary.

### 14.5.3.4 Minimum setback from side internal boundaries

1. The minimum setback from side internal boundaries shall be 1.5 metres – one side internal boundary setback may be reduced to NIL where the written approval has been obtained from the owner and occupier of the site adjoining the relevant boundary.
2. There shall be no minimum setback from internal boundaries for accessory buildings where the length of any wall within the setbacks specified in 1. is less than six metres.

### 14.5.3.5 Building setbacks from road boundaries

1. In the setback from the front boundary on front sites no part of any wall of a building facing the road boundary shall be more than three metres either side of the line of sight connecting that part of each of the nearest buildings either side of the subject property closest to the road frontage.
2. In the setback from the front boundary, on corner sites no part of any wall of a building shall be more than three metres either side of a line from that part of each of the nearest buildings along both road frontages drawn parallel to the road boundaries and projected in a straight line to the point of intersection.

### 14.5.3.6 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1. Pathways

A sealed path from either the road boundary of the site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:

- a. a minimum clear width of 1.2metres;
- b. a slope not exceeding 1:20;
- c. a cross fall of not more than 1:50;
- d. a slip resistant surface; and



- e. pathway lighting that is switched on from a light switch located at the door at the end of the path.
2. Primary pedestrian entrance door  
A primary pedestrian entrance door to the residential unit with:
  - a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
  - b. a maximum threshold of 20mm; and
  - c. a external landing area that has a slip resistant surface.
3. Doors within the living space of the residential unit  
All doorways to and within living space have:
  - a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
  - b. a level transition and threshold (accepting difference in floor materials on either site of the door).
4. Corridors, hallways, and passageways within the residential unit  
All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.
5. Door handles  
All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.
6. Electrical switches  
The centre of all electrical switches on walls, are at the same height as the centre of door handles.
7. Powerpoints, television, telephone and computer outlets  
All powerpoints, television, telephone and computer outlets are installed at the same height throughout the residential unit at no less than 0.3 metres above the finished floor level.
8. Window controls  
All window controls are lever handles and are able to be operated with one hand.
9. Space around bed to support ease of movement  
Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.
10. Laundry space  
Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.
11. Kitchen  
The kitchen is not a residential thoroughfare.
12. Toilet
  - a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall; and
  - b. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
13. Shower
  - a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that has:





- i. a level entry shower recess with minimum dimensions of 1.2 metres x 1.2metres;
    - ii. drainage of the shower recess located at the corner of a room;
    - iii. a clear space that provides for a 1.5 metre turning circle; and
    - iv. 800mm clear space beside the shower seat.
  - b. All shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
14. Slip resistant floors on bathrooms  
All bathrooms have slip resistant floor surfaces.
15. Multi-storey access  
All stairway walls have:
- a. reinforced walls for future installation of a stair-lift or platform lift;
  - b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
  - c. a minimum clear width of 0.9 metres;
  - d. a straight design with no winder treads;
  - e. consistent tread depth with a minimum dimension of 0.31 metres;
  - f. consistent riser height with a minimum dimension of 0.18 metres;
  - g. no open risers; and
  - h. lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

16. Lever action door handles  
All door handles are lever action.
17. Tap fixtures  
All tap fixtures lever, push button, or electronic.

### 14.5.3.7 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value 3.2.</u>
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value 0.31.</u>
d.	Wall insulation.	<u>Insulation R value 2.8.</u>
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value 2.2</u> , 25mm XPS with 9mm fibre cement board glued to face.



f.	Ventilation.	<ul style="list-style-type: none"> <li>i. Dedicated extraction <u>installed</u> in kitchen and bathrooms.</li> <li>ii. Provision to vent a clothes drier to the outside of the residential unit.</li> </ul>
g.	Water efficiency.	<u>WELS 3 Star Shower.</u> <u>WELS 4 Star Toilets.</u> <u>WELS 4 Star Taps.</u>
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

### 14.5.3.8 Water supply for fire fighting

1. Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS: 4509:2008), whereby:
  - a. All residential units must be connected to the Council's urban reticulated system that provides sufficient fire fighting water supply; or
  - b. Where a reticulated water supply compliant with SNZ PAS:4509:2008 is not available to serve the residential unit, or the only supply available is the controlled restricted rural type water supply which is not compliant with SNZ PAS:4509:2008 water supply and access to water supplies for fire fighting that is in compliance with the rule 2. below must be provided.
2. Each residential unit shall have a sprinkler system installed (to an improved standard in accordance with SNZ PAS:4509:2008) in the building plumbed to ensure 7000 litres of water is always available to the sprinkler system in the event of a fire.

### 14.5.3.9 Site coverage

The maximum percentage of the of the net site area of any site covered by buildings excluding:

1. fences, walls and retaining walls;
2. eaves and roof overhangs of up to 600 millimetres in width from the wall of a building;
3. uncovered swimming pools of up to 800 millimetres in height above ground level; and
4. decks, terraces, balconies, porches, verandahs, bay or box windows (supported or cantilevered) which:
  - a. are no more than 800 millimetres above ground level and are uncovered or unroofed; or
  - b. where greater than 800 millimetres above ground level and/or covered or roofed, are in total no more than 6m<sup>2</sup>s in area for any one site;

shall be:

Area	Standard
Lyttelton.	60%



Akaroa.	35%
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## **14.5.4 Area specific activities and standards**

### **14.5.4.1 Port Influences Overlay Area - Permitted Activities**

Refer to [Rule 14.4.4.1](#)

### **14.5.4.2 Port Influences Overlay Area - Restricted Discretionary Activities**

Refer to [Rule 14.4.4.2](#)

### **14.5.4.3 Port Influences Overlay Area - Non Complying Activities**

Refer to [Rule 14.4.4.3](#)

### **14.5.4.4 Port Influences Overlay Area - Built Form Standards**

Refer to [Rule 14.4.4.4](#)

## **14.6 Rules - New Neighbourhood Zones**

### **14.6.1 How to use the rules**

- 14.6.1.1 The rules that apply to activities in the New Neighbourhood Zones are contained in:
- The Activity Status tables, Activity Specific Standards in Rules [14.6.2.1](#), [14.6.2.2](#), [14.6.2.3](#), [14.6.2.4](#), [14.6.2.5](#), and [14.6.2.6](#); and
  - Built Form Standards in Rules [14.6.3.1](#), [14.6.3.2](#), [14.6.3.3](#), [14.6.3.4](#), [14.6.3.5](#), [14.6.3.6](#), [14.6.3.7](#), [14.6.3.8](#), [14.6.3.9](#), [14.6.3.10](#), [14.6.3.11](#), [14.6.3.12](#), [14.6.3.13](#), [14.6.3.14](#), [14.6.3.15](#), [14.6.3.16](#), [14.6.3.17](#), [14.6.3.18](#), and [14.6.3.19](#); and
- 14.6.1.2 The Activity Status Tables and Standards in the following Chapters (where relevant):
- |           |  |
|-----------|--|
| <b>5</b>  | Natural Hazards;                           |
| <b>6</b>  | General Rules and Procedures;              |
| <b>7</b>  | Transport;                                 |
| <b>8</b>  | Subdivision, Development and Earthworks;   |
| <b>9</b>  | Heritage and Natural Environment;          |
| <b>11</b> | Utilities, Energy and Infrastructure; and  |
| <b>12</b> | Hazardous Substances and Contaminated Land |

### **14.6.2 Activity status table**



### 14.6.2.1 Permitted Activities

In the New Neighbourhood Zone the activities listed below are permitted activities if they comply with any Activity Specific Standards set out in this table and the Built Form Standards in [Rule 14.6.3](#).

Activities may also be restricted discretionary, discretionary, non complying or prohibited as specified in Rules [14.6.2.3](#), [14.6.2.4](#), [14.6.2.5](#), and [14.6.2.6](#).

Activity		Activity specific standards
<b>P1</b>	<u>Residential Activities</u> that occur within a <u>residential unit</u> .	a. NIL.
<b>P2</b>	Travellers accommodated for tariff within a <u>residential unit</u> .	There shall be: a. a maximum of six travellers accommodated at any one time; and b. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u> .
<b>P3</b>	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer.	There shall be: a. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and b. at least one carer residing permanently within the <u>residential unit</u> .
<b>P4</b>	Relocation of a <u>residential unit</u> .	a. NIL.
<b>P5</b>	<u>Home Occupation</u> .	The <u>home occupation</u> shall limit: a. the <u>gross floor area</u> of the <u>building</u> plus the area used for <u>outdoor storage area</u> occupied by the occupation to less than 40m <sup>2</sup> ; b. the number of <u>FTE</u> employed persons, who reside permanently elsewhere than on the <u>site</u> , to one; c. any <u>retailing</u> shall be limited to the sale of goods grown or produced on the <u>site</u> , or internet-based sales where no customer visits occur; d. the hours of operation to 50 hours per week; e. the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: i. 0900 – 2100 Monday to Friday; and ii. 0900 – 1300 Saturday, Sunday and public holidays; f. visitor or staff <u>parking area</u> to outside the <u>road boundary</u>



Activity		Activity specific standards
		<p><u>setback</u>;</p> <p>g. signage to a maximum area of 1m<sup>2</sup>; and</p> <p>h. activity, where that activity is:</p> <ol style="list-style-type: none"> <li>open to visitors and clients; and</li> <li>in a multiple level apartment complex; to the ground floor.</li> </ol>
P6	<u>Pre-schools facility.</u>	<p>The facility shall:</p> <ol style="list-style-type: none"> <li>only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>limit outdoor play areas and facilities to those that comply with the Group 1 acoustic standard for residential zones;</li> <li>limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>limit the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ol style="list-style-type: none"> <li>0700 – 2100 Monday to Friday; and</li> <li>0700 – 1300 Saturday, Sunday and public holidays.</li> </ol> </li> <li>only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and</li> <li>only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</li> </ol> <p><b>Note:</b> See Figure 1.</p>
P7	<u>Health Care Facility.</u>	<p>The facility shall:</p> <ol style="list-style-type: none"> <li>only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100;</li> <li>only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the</li> </ol>



Activity		Activity specific standards
		<p>same <u>road</u>; and</p> <p>f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</p>
P8	<u>Veterinary Care Facility.</u>	<p>The facility shall:</p> <p>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</p> <p>b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</p> <p>d. limit signage to a maximum area of 1m<sup>2</sup>;</p> <p>c. limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100;</p> <p>d. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>;</p> <p>e. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block; and</p> <p>f. limit the boarding of animals on the <u>site</u> to four.</p> <p><b>Note:</b> See Figure 1.</p>
P9	<u>Education activity.</u>	<p>The activity shall:</p> <p>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</p> <p>b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</p> <p>c. limit signage to a maximum area of 1m<sup>2</sup>;</p> <p>d. limit the hours of operation when the <u>site</u> is open to students, or clients, and deliveries to between the hours of:</p> <p>i. 0700 – 2100 Monday to Saturday; and</p> <p>ii. Closed Sunday and public holidays;</p> <p>e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and</p> <p>f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</p>



Activity		Activity specific standards
		<b>Note:</b> See Figure 1.
<b>P10</b>	Temporary military or emergency service training activities.	a. NIL.
<b>P11</b>	Market gardens, community gardens, and garden <u>allotments</u> .	a. NIL.
<b>P12</b>	Storage of <u>heavy vehicles</u> .	a. No more than one vehicle shall be stored on the <u>site</u> .
<b>P13</b>	Dismantling, repair, or storage of motor vehicles and boats.	a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u> .
<b>P14</b>	<u>Places of Assembly</u> .	<p>The activity shall:</p> <ul style="list-style-type: none"> <li>a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available;</li> <li>b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m<sup>2</sup>;</li> <li>c. limit signage to a maximum area of 1m<sup>2</sup>;</li> <li>d. limit the hours of operation when the <u>site</u> is open to visitors, or clients, and deliveries to between the hours of: <ul style="list-style-type: none"> <li>i. 0700 – 2100 Monday to Saturday; and</li> <li>ii. Closed Sunday and public holidays (except churches and church halls);</li> </ul> </li> <li>e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>;</li> <li>f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.</li> </ul> <p><b>Note:</b> See Figure 1.</p>



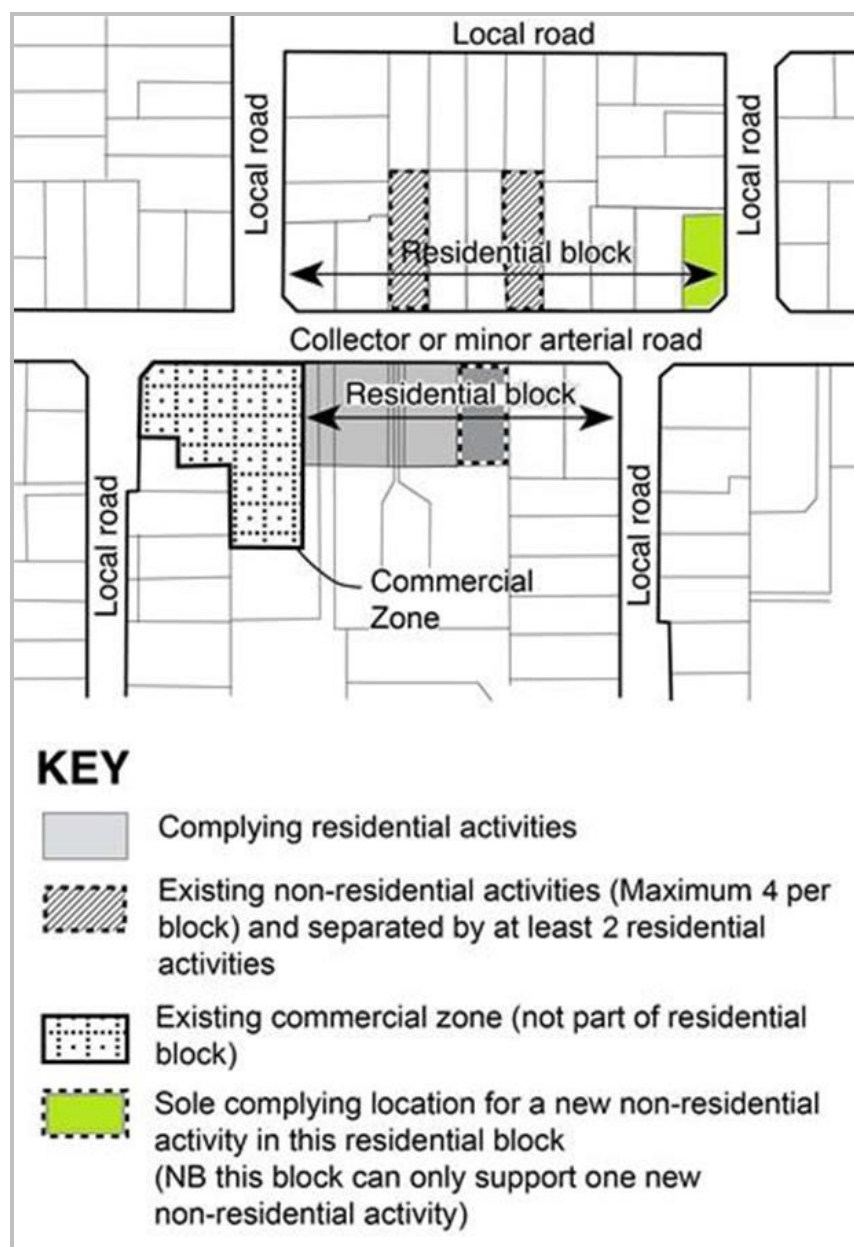


Figure 1 : Residential coherence.

### 14.6.2.2 Controlled Activities

There are no controlled activities.

### 14.6.2.3 Restricted Discretionary Activities

The activities listed below are restricted discretionary activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in 14.9 for each standard, as set out in the following table.



Activity		The Council's discretion shall be limited to the following matters:
RD1	Residential units (including any <u>sleep-outs</u> ) containing more than six bedrooms in total.	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles – <a href="#">14.9.6</a>.</li> <li>b. Scale of activity - <a href="#">14.9.14</a>.</li> <li>c. Traffic generation access and safety - <a href="#">14.9.15</a>.</li> <li>d. Liquefaction susceptibility of the <u>site</u> and proposed development - <a href="#">14.9.20</a>.</li> </ul>
RD2	Student hostels owned or operated by a secondary or <u>tertiary education and research activity</u> containing less than six bedrooms.	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles – <a href="#">14.9.6</a>.</li> <li>b. Scale of activity - <a href="#">14.9.14</a>.</li> <li>c. Liquefaction susceptibility of the <u>site</u> and proposed development - <a href="#">14.9.20</a>.</li> </ul>
RD3	Creation of stormwater drainage ponding areas within 3km of the edge of the Christchurch International Airport runways.	<ul style="list-style-type: none"> <li>a. Stormwater Ponding areas within 3km of Christchurch International Airport - <a href="#">14.9.18</a>.</li> </ul>
RD4	<u>Sensitive activities</u> and <u>building</u> within the Electricity Transmission Line Corridor: <ul style="list-style-type: none"> <li>a. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities:               <ul style="list-style-type: none"> <li>i. any new <u>sensitive activity</u> or additional <u>habitable space</u>; and</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>a. Electricity transmission line corridor - <a href="#">14.9.19</a>.</li> </ul>



Activity		The <b>Council's</b> discretion shall be limited to the following matters:
	<ul style="list-style-type: none"> <li>ii. any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities;</li> <li>iii. any <u>sensitive activity</u>.</li> <li>b. The centre of the transmission line is to be found by measuring a straight line from the centre of two adjoining support structures.</li> <li>c. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner.</li> <li>d. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent.</li> </ul> <p><b>Note:</b></p> <ul style="list-style-type: none"> <li>1. The transmission line corridor is shown on the <a href="#">Planning Maps</a> 9, 16, 21, 22, 23, 24, 26, 28, 29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49, 50, 51, 55, 56, 61, 62, 63, 69, 70, 78.</li> <li>2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines.</li> </ul>	
<b>RD5</b>	<u>Retirement villages.</u>	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles – <a href="#">14.9.6.</a></li> <li>b. Scale of activity - <a href="#">14.9.14.</a></li> <li>c. Traffic generation access and safety - <a href="#">14.9.15.</a></li> </ul>
<b>RD6</b>	<u>Convenience activities</u> where: <ul style="list-style-type: none"> <li>1. the <u>site</u> is located on the corner of a <u>minor arterial road</u> that intersects with either a <u>minor arterial</u> or <u>collector road</u>;</li> <li>2. the total area occupied by <u>retailing</u> on the <u>site</u> is no more than 40m<sup>2</sup> <u>public floor area</u>;</li> <li>3. the activity does not include the sale of alcohol;</li> </ul>	<ul style="list-style-type: none"> <li>a. Urban design and Māori urban design principles – <a href="#">14.9.6.</a></li> <li>b. Scale of activity - <a href="#">14.9.14.</a></li> <li>c. Non residential</li> </ul>



Activity	<p>4. signage is limited to no more than 1m<sup>2</sup> and shall be within the <u>road boundary setback</u>;</p> <p>5. the hours of operation when the <u>site</u> is open to business visitors or clients are limited to between the hours of 0700 – 2200 Monday to Sunday and public holidays; and</p> <p>6. no on-site <u>parking area</u> for visitors or service purposes is to be provided.</p>	<p><b>The <u>Council's</u> discretion shall be limited to the following matters:</b></p> <p>hours of operation - <a href="#">14.9.16</a>.</p> <p>d. Traffic generation access and safety - <a href="#">14.9.15</a>.</p>
RD7	<p><u>Building height</u> of between 11m and 12m on all <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process only.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. <u>Building height</u> and daylight recession planes - <a href="#">14.9.2</a>.</p>
RD8	<p><u>Building height</u> of between 8m and 9m on all <u>sites</u> not created by the Comprehensive Land Use and Subdivision consent process.</p>	<p>a. <u>Building height</u> and daylight recession planes - <a href="#">14.9.2</a>.</p>
RD9	<p><u>Site</u> coverage of between 40% and 45% on all <u>sites</u> not created by the Comprehensive Land Use and Subdivision consent process.</p>	<p>a. <u>Site</u> density and <u>site</u> coverage - <a href="#">14.9.1</a>.</p>
RD10	<p><u>Outdoor Living Space</u> with an area between 35m<sup>2</sup> and 60m<sup>2</sup> for a <u>residential unit</u> at the Ground Floor.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. <u>Outdoor Living Space</u> - <a href="#">14.9.5</a>.</p>
RD11	<p><u>Outdoor Living Space</u> with a minimum dimension of between 2m and 4m for a <u>residential unit</u> at the Ground floor .</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. <u>Outdoor Living Space</u> - <a href="#">14.9.5</a>.</p>
RD12	<p><u>Outdoor Living Space</u> with an area less than 10m<sup>2</sup> for a <u>residential unit</u> above ground floor.</p> <p>Any application arising from this rule will not require</p>	<p>a. <u>Outdoor Living Space</u> - <a href="#">14.9.5</a>.</p>



Activity		The <b>Council's</b> discretion shall be limited to the following matters:
	written approvals and shall not be publicly or limited notified.	
<b>RD13</b>	<p><u>Outdoor Living Space</u> with a minimum dimension of less than 2m for a <u>residential unit</u> above ground floor.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	a. <u>Outdoor Living Space</u> - <a href="#">14.9.5</a> .
<b>RD14</b>	<p>Non compliance with one or more of the following Rules: <a href="#">14.6.3.8</a>, <a href="#">14.6.3.9</a>, <a href="#">14.6.3.10</a>, <a href="#">14.6.3.11</a>, <a href="#">14.6.3.13</a>, <a href="#">14.6.3.14</a>, <a href="#">14.6.3.15</a>, <a href="#">14.6.3.16</a>, <a href="#">14.6.3.17</a>, and <a href="#">14.6.3.18</a>.</p> <p>Any applications arising from these rules will not require written approvals and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule:</p> <ul style="list-style-type: none"> <li>a. Ground floor <u>habitable space</u> - <a href="#">14.9.10</a>.</li> <li>b. Streetscene – <u>road boundary</u>, <u>building setback</u>, front doors, fencing and planting - <a href="#">14.9.3</a>.</li> <li>c. Service storage and waste management spaces - <a href="#">14.9.11</a>.</li> <li>d. Minimum unit size - <a href="#">14.9.9</a>.</li> <li>e. Life-stage, adaptive design and energy and water efficiency - <a href="#">14.9.21</a>.</li> </ul>
<b>RD15</b>	<p>Non compliance with one or more of the following Rules: <a href="#">14.6.3.5</a>, <a href="#">14.6.3.6</a>.</p>	<p>As relevant to the breached rule:</p> <ul style="list-style-type: none"> <li>a. <u>Building height</u> and daylight recession planes - <a href="#">14.9.2</a></li> <li>b. Minimum <u>building window</u> and <u>balcony setbacks</u> from internal <u>boundaries</u> - <a href="#">14.9.4</a></li> </ul>
<b>RD16</b>	<u>Building</u> between 4.0m and 4.5m from the <u>road boundary</u>	a. Streetscene - <u>road</u>



Activity	The <b>Council's</b> discretion shall be limited to the following matters:
<p>on South side of <u>road</u> oriented East - West.</p> <p>(Refer to Figure 9 for explanatory diagram of oriented East – West)</p> <p>Any Comprehensive subdivision and land use consent application as specified in Chapter 8 arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p><u>boundary</u>, <u>building setback</u>, front doors, fencing and planting - <a href="#">14.9.3</a></p>
<p><b>RD17</b> <u>Building</u> between 3.5m and 4m from the <u>road boundary</u> on all <u>roads</u> that are not on South side of <u>road</u> oriented East - West.</p> <p>(Refer to Figure 9 for explanatory diagram of oriented East - West)</p> <p>Any Comprehensive subdivision and land use consent application as specified in <a href="#">Chapter 8</a> arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. Street scene - <u>road boundary</u>, <u>building setback</u>, front doors, fencing and planting - <a href="#">14.9.3</a></p>
<p><b>RD18</b> Non compliance with <a href="#">Rule 14.6.3.19</a>.</p> <p>Any application arising from this rule will only require the written approval of the New Zealand Fire Service to not be limited notified and shall not be fully publicly notified.</p>	<p>a. Water supply for fire fighting - <a href="#">14.9.25</a></p>
<p><b>RD19</b> Construction of a <u>residential unit</u> on a <u>site</u> created under Rules <a href="#">8.4.2.1</a> RD3 and <a href="#">8.4.2.2</a> D3.</p>	<p>a. Urban design and Maori urban design principles – <a href="#">14.9.6</a>.</p> <p>b. Building Typology - <a href="#">8.5.4.5</a>.</p>

#### 14.6.2.4 Discretionary Activities

The activities listed below are a discretionary activities.

Activity
<p><b>D1</b> <u>Home occupation</u>, student hostels, <u>pre-schools facilities</u>, <u>health care facilities</u>, <u>education activities</u>, and conversion of an <u>elderly person's housing unit</u> into a <u>residential</u></p>



unit, travellers accommodated for a tariff in a residential unit, care of non-resident children within a residential unit, veterinary care facilities, and show homes where it does not meet one or more of the Activity Specific Standards for permitted activities.

### 14.6.2.5 Non Complying Activities

The activities listed below are a non complying activity.

Activity	
<b>NC1</b>	Any activity not provided as a permitted, controlled, restricted discretionary, discretionary or prohibited activity.
<b>NC2</b>	Non Compliance with <a href="#">Rule 14.6.3.1 Site Density</a> .
<b>NC3</b>	More than 3 storeys within <u>buildings</u> on <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process.
<b>NC4</b>	Minimum front façade <u>height</u> on <u>buildings</u> on <u>sites</u> created by the Comprehensive Subdivision and Land Use consent process as specified in <a href="#">Chapter 8</a> of less than 4m.
<b>NC5</b>	<u>Site</u> coverage that exceeds 45% <u>sites</u> that have not received a comprehensive subdivision and land use consent as specified in <a href="#">Chapter 8</a> .

### 14.6.2.6 Prohibited Activities

There are no prohibited activities.

## 14.6.3 Built form standards

### 14.6.3.1 Site Density

Each residential unit shall be contained within its own separate site. The site shall have minimum net site area as follows:

		Standard
1.	Where a comprehensive subdivision and land use consent has been granted.	As required to accommodate the consented <u>residential unit</u> .
2.	Where a comprehensive subdivision and land use consent has not been granted.	300m <sup>2</sup> ; Corner <u>site</u> 400m <sup>2</sup> .
3.	<u>Social housing residential unit</u> .	There shall be no minimum <u>net site area</u> for a <u>site</u>





		<p><b>Standard</b></p> <p>for any <u>residential unit</u> that is part of a multi-unit residential complex.</p>
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### 14.6.3.2 Building height, minimum number of storeys (North Halswell only) maximum number of storeys and minimum façade height

Maximum height of any building shall be:

		<b>Standard</b>
1.	<u>Height</u> all <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process only.	11m
2.	<u>Height</u> all <u>sites</u> not created by the Comprehensive Land Use and Subdivision consent process.	8m
3.	Maximum number of storeys within <u>buildings</u> on <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process.	3
4.	Minimum front façade <u>height</u> on <u>buildings</u> on <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process.	4m
5.	Minimum number of storeys of residential <u>buildings</u> in North Halswell directly facing the <u>Key Activity Centre</u> .	2

**Note:** See the permitted height exceptions contained within the definition of height.

### 14.6.3.3 Site Coverage

The maximum percentage of the net site area for sites that have not received a comprehensive resource consent covered buildings shall be 40 percent.

### 14.6.3.4 Outdoor living space

- For residential units with two more bedrooms outdoor living space shall be provided on site for each residential unit, and shall not be occupied by parking or access. The required outdoor living space can be in a mix of private and communal areas, at the ground level or in balconies, within the following dimensions:

Minimum total area for each <u>residential unit</u> .	Minimum private area.	Minimum dimension private area when provided	Minimum dimension private area when provided	Minimum dimension of communal space.	<u>Accessibility</u> of communal space.	General <u>accessibility</u> for each <u>residential unit</u> .	Minimum required <u>outdoor living space</u>
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		at <u>ground level</u> .	by a <u>balcony</u> .				<u>ground level</u> for the entire <u>site</u> .
30m <sup>2</sup>	16m <sup>2</sup>	4m	1.5m	4m	Accessible by all units.	At least one private <u>outdoor living space</u> shall be accessible from a <u>living area</u> of the <u>residential unit</u> .	50%

2. For one bedroom units or studios on the ground floor outdoor living space shall be provided, and shall not be occupied by parking or access within the following dimensions:

Minimum total private area for each <u>residential unit</u> .	Minimum dimension private area when provided at <u>ground level</u> .
16m <sup>2</sup>	4m

3. For one bedroom units or studios entirely at an upper level outdoor living space shall be provided within the following dimensions. The required outdoor living space can be in a mix or private and communal areas, at the ground level or in balconies, within the following dimensions:

Minimum total private area for each <u>residential unit</u> .	Minimum private <u>balcony</u> dimensions.
16m <sup>2</sup>	6m <sup>2</sup> area.  1.5m dimension.

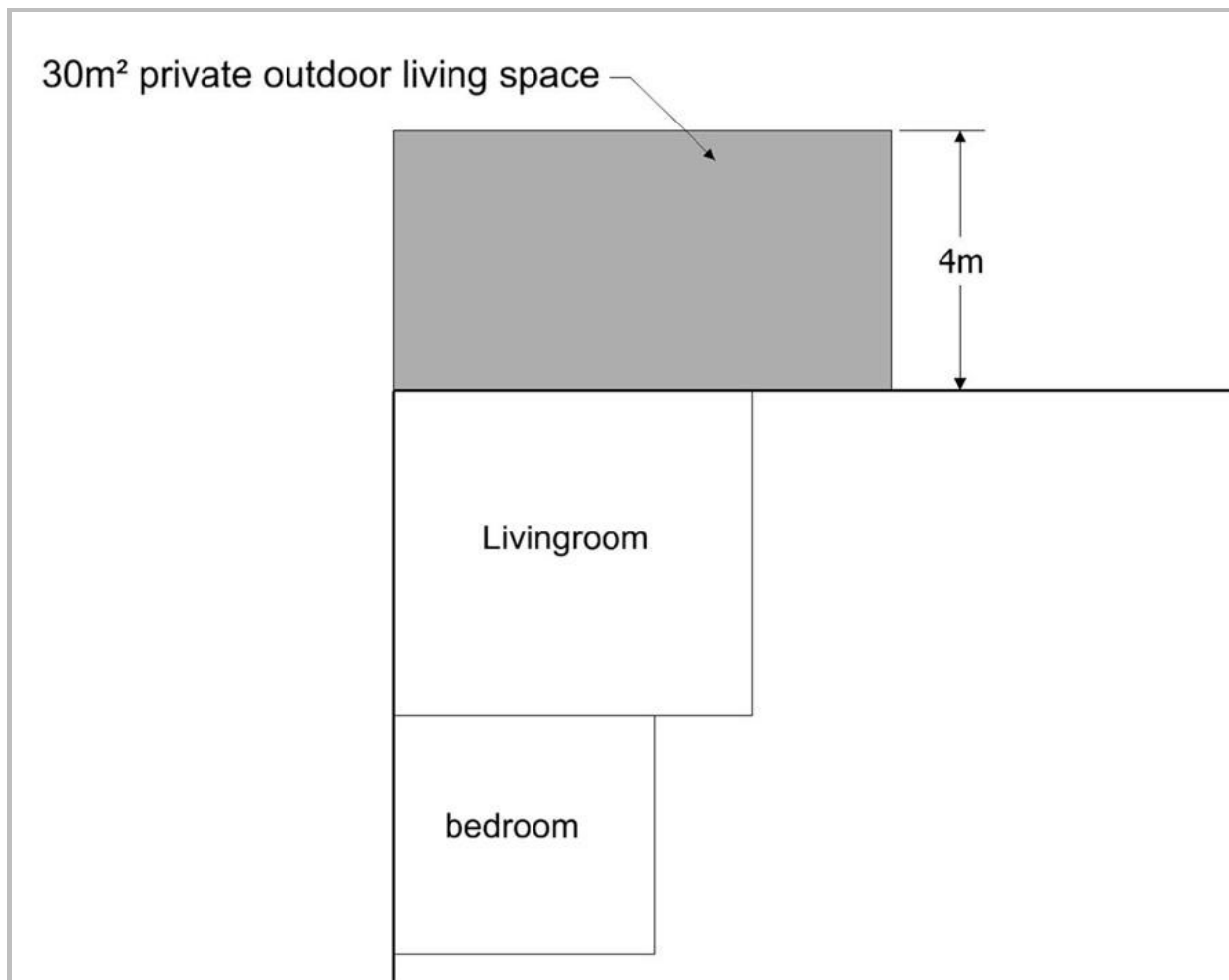


Figure 10 : Outdoor living space

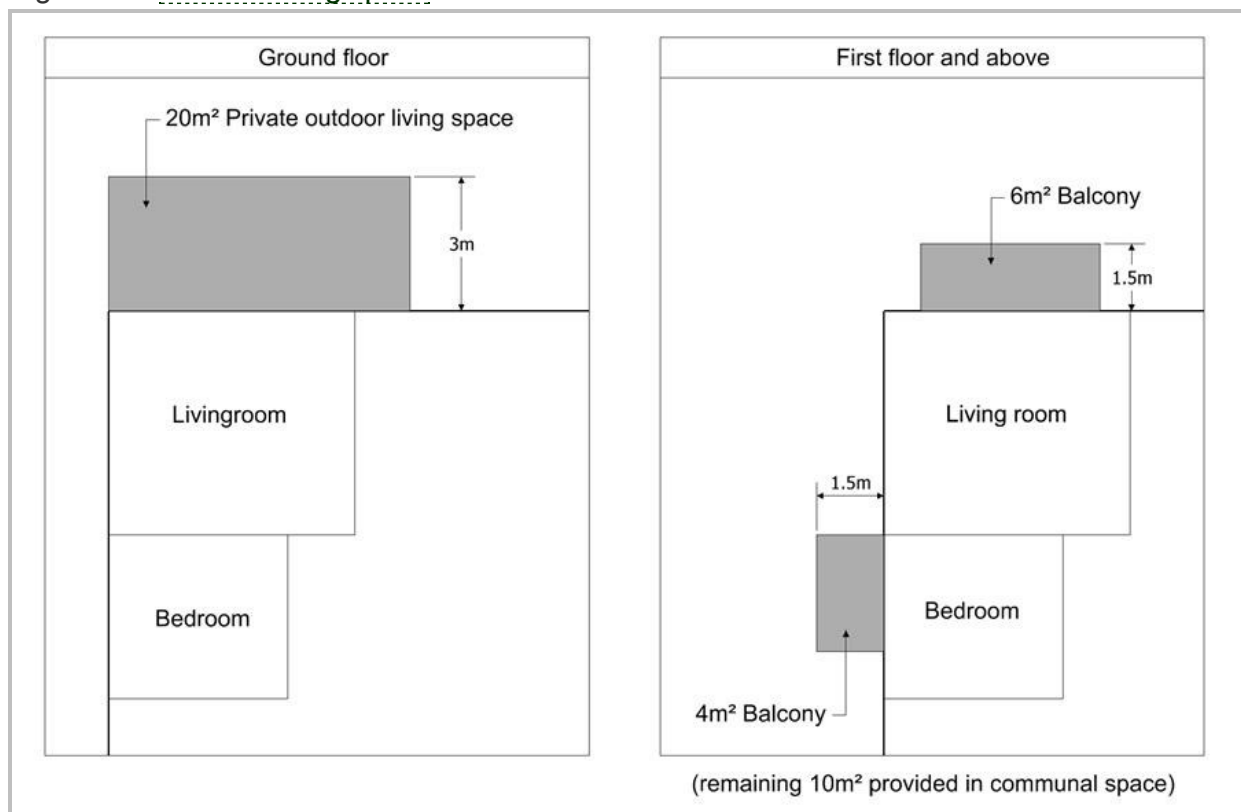


Figure 11 : Outdoor living space



**Note:**

1. This diagram is an illustrative example only, showing one way the rule may be applied
2. For two storey units, allocation of space could be spread over both levels, e.g. 24m<sup>2</sup> at ground level and 6m<sup>2</sup> as a balcony at first floor.

### 14.6.3.5 Daylight recession planes

- a. Buildings shall not project beyond a building envelope constructed by recession planes, as shown in [Appendix 14.10.2](#) Diagram A , from points 2.3 metres above:
  - i. internal boundaries; or
  - ii. where an internal boundary of a site abuts an access lot or access strip the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access lot or access strip or any combination of these areas; or
  - iii. where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.
- b. Where the building is located in an overlay that has a permitted height of more than 11 metres, the recession plane measurement shall commence from points 2.3 metres above internal boundaries and continue on the appropriate angle to points 11 metres above ground level, at which point the recession plane becomes vertical.

Refer to [Appendix 14.10.2](#) for permitted intrusions.

- c. Where sites are located within a Floor Level and Fill Management Area, recession plane breaches created by the need to raise floor levels will not require the written consent of other persons and shall be non-notified.

### 14.6.3.6 Minimum building setback internal boundaries

The minimum building setback from internal boundaries shall be:

1.	All <u>buildings</u> not listed below	1.8m
2.	Where residential <u>buildings</u> on adjoining <u>sites</u> have a ground floor window of a <u>habitable space</u> located within 1.8m of the common internal <u>boundary</u> .	1.8m from that neighbouring window for a minimum length of 2m either side of the window – refer diagram below.
3.	All other <u>accessory buildings</u> where the total length of walls or parts of the <u>accessory building</u> within 1.8m of each internal <u>boundary</u> does not exceed 10.1m in length.	NIL
4.	<u>Buildings</u> that share a common wall along an internal <u>boundary</u> .	NIL
5.	All other <u>buildings</u> where the internal <u>boundary</u> of the <u>site</u> adjoins an <u>access</u> or	1m



	part of an <u>access</u> .	
--	----------------------------	--

Refer to [Figure 3](#).

**Note:** This diagram is an illustrative example only, showing one way the rule may be applied (refer to full rule for application of 1.8m separation).

### 14.6.3.7 Minimum setback and distance to ground level for windows and balconies

The minimum setback for a living area window from an internal boundary shall be 4m. Note where the window is adjacent to an accessway the setback shall be measured from the far side of the accessway.

### 14.6.3.8 Planting in the road boundary setback

The full length of the road frontage, not used as a vehicle or pedestrian access, shall be planted to a depth of two metres.

### 14.6.3.9 Fencing in the road boundary setback

The maximum height of any fence in the setback from the road frontage with a local road shall be one metre.

### 14.6.3.10 Parking areas

Parking areas shall be separated from adjoining roads by either planting, fences, or a combination thereof. Where separation is by way of fencing the minimum height of fencing shall be 1.2 metres.

### 14.6.3.11 Garages

Garages and carports shall not comprise more than 50 percent of any ground floor elevation viewed from any one road road boundary on any one site and shall not be more than 6.5 metres wide. For garages with the vehicle door generally facing a shared access or road boundary the minimum garage setback shall be 5.5 metres from the shared access or road kerb.

### 14.6.3.12 Road boundary building setback, fencing and planting

	Situation / location	Permitted
1.	South side of a <u>road</u> oriented East – West.  (Refer to the following figure for explanatory diagram of oriented East – West.)	4.5m

	Situation / location	Permitted
2.	All other <u>road boundaries</u> New Neighbourhood North Halswell Zone.	3m
3.	All other <u>road boundaries</u> .	4m

Except: where a garage has a vehicle door generally facing a road or an access the minimum garage setback shall be 5.5 metres from the road boundary or shared access (not including access lots).

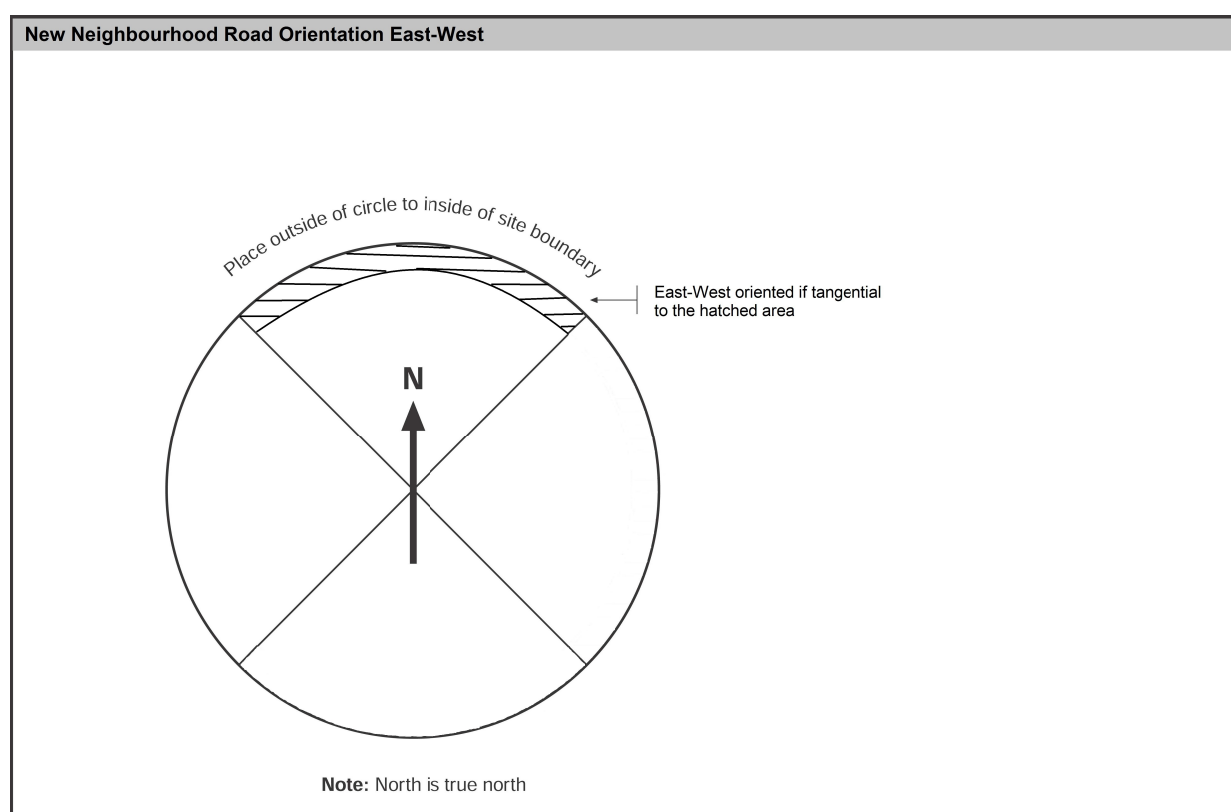


Figure 14 : New neighbourhood road orientation East-West.

### 14.6.3.13 Ground floor habitable space and overlooking of the street

1. Each residential unit, except for loft units, shall have a habitable space at the ground floor.
2. Each of the habitable space located at the ground floor shall have a minimum floor area of 12m<sup>2</sup>, a minimum internal dimension of three metres and be internally accessible to the rest of the unit.
3. Each ground floor habitable space shall provide a total window area of at least 4m<sup>2</sup> that overlooks the setback from the road boundary.

### 14.6.3.14 Front doors

Front doors shall be clearly visible from the primary street.



### **14.6.3.15 Service, storage, and waste management spaces**

1. Each residential unit shall be provided with:
  - a. an outdoor service space of 3m<sup>2</sup> and waste management area of 2.25m<sup>2</sup> with a minimum dimension of 1.5 metres; and
  - b. a single, indoor storage space of 4m<sup>3</sup> with a minimum dimension of one metre.
2. Any space designated for waste management, whether private or communal, shall not be located between the road boundary and any habitable space and shall be screened from adjoining sites, conservation or open space zones, roads, and adjoining outdoor living spaces to a height of 1.5 metres.
3. If a communal waste management area is provided within the site, the minimum required outdoor service space is 3m<sup>2</sup> for each residential unit.
4. If a communal waste management area is provided, it must be demonstrated to be:
  - a. of a sufficient size to accommodate the number and dimensions of bins required to meet the predicted volume of waste generated by the residential units;
  - b. accessible and safe for use by all residents; and
  - c. easily accessible for the collection of bins by waste management contractors.

### **14.6.3.16 Minimum unit size, and mix of units**

1. The minimum net floor area (including toilets and bathrooms, but excluding carparking, garaging or balconies) for any residential unit shall be:

	<b>Number of Bedrooms</b>	<b>Area</b>
1.	Studio.	35m <sup>2</sup>
2.	1 Bedroom.	45m <sup>2</sup>
3.	2 Bedrooms.	70m <sup>2</sup>
4.	3 or more Bedrooms.	90m <sup>2</sup>

### **14.6.3.17 Life-stage inclusive and adaptive design for new residential units**

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1. Pathways  
A sealed path from either the road boundary of site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:





- a. a minimum clear width of 1.2metres;
  - b. a slope not exceeding 1:20;
  - c. a cross fall of not more than 1:50;
  - d. a slip resistant surface; and
  - e. pathway lighting that is switched on from a light switch located at the door at the end of the path.
2. Primary pedestrian entrance door  
A primary pedestrian entrance door to the residential unit with:
    - a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
    - b. a maximum threshold of 20mm; and
    - c. a external landing area that has a slip resistant surface.
  3. Doors within the living space of the residential unit  
All doorways to and within living space have:
    - a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
    - b. a level transition and threshold (accepting difference in floor materials on either site of the door).
  4. Corridors, hallways, and passageways within the residential unit  
All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.
  5. Door handles  
All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.
  6. Electrical switches  
The centre of all electrical switches on walls, are at the same height as the centre of door handles.
  7. Powerpoints, television, telephone and computer outlets  
All powerpoints, television, telephone and computer outlets are installed at a that same height throughout the residential unit at no less than 0.3 metres above the finished floor level.
  8. Window controls  
All window controls are lever handles and are able to be operated with one hand.
  9. Space around bed to support ease of movement  
Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.
  10. Laundry space  
Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.
  11. Kitchen  
The kitchen is not a residential thoroughfare.
  12. Toilet
    - a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall.
    - b. and



- c. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.

13. Shower

- a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that has:
  - i. a level entry shower recess with minimum dimensions of 1.2 metres x 1.2metres;
  - ii. drainage of the shower recess located at the corner of a room;
  - iii. a clear space that provides for a 1.5 metre turning circle; and
  - iv. 800mm clear space beside the shower seat.
- b. All shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.

14. Slip resistant floors on bathrooms

All bathrooms have slip resistant floor surfaces.

15. Multi-storey access

All stairway walls have:

- a. reinforced walls for future installation of a stair-lift or platform lift;
- b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
- c. a minimum clear width of 0.9 metres;
- d. a straight design with no winder treads;
- e. consistent tread depth with a minimum dimension of 0.31 metres;
- f. consistent riser height with a minimum dimension of 0.18 metres;
- g. no open risers; and
- h. lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

16. Lever action door handles

All door handles are lever action.

17. Tap fixtures

All tap fixtures lever, push button, or electronic.

### 14.6.3.18 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value</u> 3.2.
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.



c.	Windows.	Thermally broken double glazing <u>insulation R value</u> 0.31.
d.	Wall insulation.	<u>Insulation R value</u> 2.8.
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value</u> 2.2, 25mm XPS with 9mm fibre cement board glued to face.
f.	Ventilation.	<ul style="list-style-type: none"> <li>i. Dedicated extraction <u>installed</u> in kitchen and bathrooms.</li> <li>ii. Provision to vent a clothes drier to the outside of the residential unit.</li> </ul>
g.	Water efficiency.	<u>WELS</u> 3 Star Shower. <u>WELS</u> 4 Star Toilets. <u>WELS</u> 4 Star Taps.
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

### 14.6.3.19 Water supply for fire fighting

Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008), where by all residential units must be connected to the Council's urban reticulated system that provide sufficient fire fighting water supply.

## 14.7 Rules - Enhanced Development Mechanism

### 14.7.1 How to use these rules and duration of rules

- 14.7.1.1 The rules that define where the enhanced development mechanism can be used are contained in [Rule 14.7.3](#).
- 14.7.1.2 The activity status tables, and built form standards in Rules [14.7.2.1](#), [14.7.2.2](#), [14.7.2.3](#) and [14.7.4.1](#), [14.7.4.2](#), [14.7.4.3](#), [14.7.4.4](#), [14.7.4.5](#), [14.7.4.6](#), [14.7.4.7](#), [14.7.4.8](#), [14.7.4.9](#), [14.7.4.10](#), [14.7.4.11](#), [14.7.4.12](#), [14.7.4.13](#), [14.7.4.14](#), and [14.7.4.15](#) determine the activity status of the of resource consent application to use the enhanced development mechanism.
- 14.7.1.3 The information that is required for resource consent applications is set out in [Rule 14.7.5](#).
- 14.7.1.4 The Enhanced Development Mechanism specified in sub-Chapter 14.7 shall cease to have effect on 31st December 2018.



## 14.7.2 Activity status tables

### 14.7.2.1 Restricted Discretionary Activities

The activities listed below are Restricted Discretionary Activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [14.9](#) for each standard, as set out in the following table.

Activity		The <b>Council's</b> discretion shall be limited to the following matters:
<b>RD1</b>	<p><u>Residential activities</u> that comply with all qualifying standards in Rules: <a href="#">14.7.3</a> and are not in breach of the built form standards in Rules: <a href="#">14.7.4.1</a>, <a href="#">14.7.4.2</a>, <a href="#">14.7.4.3</a>, <a href="#">14.7.4.4</a>, <a href="#">14.7.4.5</a>, <a href="#">14.7.4.6</a>, <a href="#">14.7.4.7</a>, <a href="#">14.7.4.8</a>, <a href="#">14.7.4.9</a>, <a href="#">14.7.4.10</a>, <a href="#">14.7.4.11</a>, <a href="#">14.7.4.12</a>, <a href="#">14.7.4.13</a>, <a href="#">14.7.4.14</a>.</p> <p>Resource consent applications in relation to this rule shall not be publicly or limited notified.</p>	<p>a. Assessment matters for restricted discretionary activities – Enhanced Development Mechanism and Community Housing Redevelopment Mechanism - <a href="#">14.9.37</a>.</p>
<b>RD2</b>	<p><u>Residential activities</u> that comply with all qualifying standards in Rule: <a href="#">14.7.3</a> but do not comply with one or more of the built form standards in Rules: <a href="#">14.7.4.1</a>, <a href="#">14.7.4.2</a>, <a href="#">14.7.4.3</a>, <a href="#">14.7.4.4</a>, <a href="#">14.7.4.5</a>, <a href="#">14.7.4.6</a>, <a href="#">14.7.4.7</a>, <a href="#">14.7.4.8</a>, <a href="#">14.7.4.9</a>, <a href="#">14.7.4.10</a>, <a href="#">14.7.4.11</a>, <a href="#">14.7.4.12</a>, <a href="#">14.7.4.13</a>, <a href="#">14.7.4.14</a>.</p> <p>Resource consent applications in relation to these rules shall not be publicly or limited notified.</p>	<p>a. Assessment matters for restricted discretionary activities – Enhanced Development Mechanism and Community Housing Redevelopment Mechanism - <a href="#">14.9.37</a>.</p> <p>b. As relevant to the breached rules:</p> <ul style="list-style-type: none"> <li>i. <u>Site</u> density and <u>site</u> coverage - <a href="#">14.9.1</a>.</li> <li>ii. <u>Building height</u> and daylight recession planes - <a href="#">14.9.2</a>.</li> <li>iii. Street scene - <u>road boundary</u>, <u>building setback</u>, front doors, fencing and planting - <a href="#">14.9.3</a>.</li> <li>iv. Minimum <u>building</u>, <u>window</u> and <u>balcony setbacks</u> from internal</li> </ul>



<p><b>Activity</b></p>		<p>The <b>Council's</b> discretion shall be limited to the following matters:</p> <ul style="list-style-type: none"> <li><u>boundaries</u> - <a href="#">14.9.4.</a></li> <li>v. <u>Outdoor living space</u> - <a href="#">14.9.5.</a></li> <li>vi. Minimum unit size and unit mix - <a href="#">14.9.9.</a></li> <li>vii. Ground floor <u>habitable space</u> - <a href="#">14.9.10.</a></li> <li>viii. Service storage and waste management spaces - <a href="#">14.9.11.</a></li> <li>ix. Tree and garden planting - <a href="#">14.9.12.</a></li> <li>x. Acoustic insulation - <a href="#">14.9.13.</a></li> <li>xi. Traffic generation and access safety - <a href="#">14.9.15.</a></li> <li>xii. Life-stage, adaptive design and energy and water efficiency - <a href="#">14.9.21.</a></li> </ul>
<p><b>RD3</b></p>	<p>Non compliance with <a href="#">Rule 14.7.4.15.</a></p> <p>Any application arising from this rule will only require the written approval of the New Zealand Fire Service to not be limited notified and shall not be fully publicly notified.</p>	<p>a. Water Supply for Fire Fighting - <a href="#">14.9.25.</a></p>

### 14.7.2.2 Discretionary Activities

The activities listed below are discretionary activities.

Activity	
<p><b>D1</b></p>	<p><u>Residential activities</u> where part of the <u>site</u>, but not all of the <u>site</u> complies with all of the location qualifying standards in <a href="#">Rule 14.7.3-4</a>, and complies with all other qualifying standards in <a href="#">Rule 14.7.3.</a></p>

### 14.7.2.3 Non Complying Activities



The activities listed below are non-complying activities.

Activity	
<b>NC1</b>	<u>Residential activities</u> that do not comply with Zoning Qualifying Standards in <a href="#">Rule 14.7.3-1</a> .
<b>NC2</b>	<u>Residential activities</u> that do not comply with <u>Site</u> Size Qualifying Standards in <a href="#">Rule 14.7.3-2</a> .
<b>NC3</b>	<u>Residential activities</u> that do not comply with Housing Yield Qualifying Standards in <a href="#">Rule 14.7.3-3</a> .
<b>NC4</b>	Use of the Enhanced Development Mechanism within the area of the development plan contained in Chapter 15 - Commercial, <a href="#">Appendix 15.9.7</a>

### 14.7.3 Qualifying standards

Sites shall comply with the following Qualifying Standards:

1. Zoning Qualifying Standards

Qualifying sites shall be located in the Residential Suburban Density Transition Zone and the Residential Medium Density Zone.

2. Site Size Qualifying Standards

Qualifying sites shall be:

- a. Of a size greater than 1500m<sup>2</sup> and less than 10,000m<sup>2</sup>; and
- b. In one continuous block of land.

3. Housing Yield Qualifying Standards

Comprehensive development of a site shall deliver a minimum density of 30 households per hectare (one unit per 330m<sup>2</sup>), and a maximum density of 65 households per hectare (one unit per 150m<sup>2</sup>).

4. Location Qualifying Standards

a. Accessibility Criteria

Qualifying sites shall lie fully within all of the following four criteria:

i. 800 metres EDM walking distance of:

- A Central City Business Zone as at 6 December 2013;
- B Central City Mixed Use Zone as at 6 December 2013;
- C an area that was zoned Business 2 in the Christchurch City District Plan as at 6 December 2013; and
- D an EDM qualifying supermarket; and

ii. 800 metres EDM walking distance of:

- A either a primary or intermediate school; and



- B 400 metres EDM walking distance of an Open Space 2 zone or an Open Space 1 zone that has an area greater than 4,000m<sup>2</sup>; and
- C 600 metres EDM walking distance of an EDM core public transport route.
- D For a. – c. where the walking route is bisected by an arterial road in [Chapter 7 Transport Appendix 17.12](#), the EDM walking distance shall be measured at a formal pedestrian crossing point.

b. Constraint Criteria

c. No part of a qualifying site shall lie within:

- i. Special Amenity Areas (Special Amenity Area) indentified in the City Plan as at 6 December 2013; or
- ii. 400 metres of the boundary of an Industrial - Heavy zone; or
- iii. The tsunami inundation area; or
- iv. The Riccarton wastewater interceptor catchment.

**Note:**

1. The Council shall maintain a publicly accessible database of all of the above criteria categories for the purposes of administering the rules.
2. Constraint criteria iv shall apply until such time as asset improvement works remove this constraint criteria.
3. The Tsunami Inundation area is set out in Environment Canterbury Report number R12/38 “Modelling coastal inundation in Christchurch and Kaiapoi from a South American Tsunami using topography from after the 2011 February Earthquake (2012), NIWA

## **14.7.4 Built form standards**

Comprehensive development under the Enhanced Development Mechanism shall comply with the following standards:

### **14.7.4.1 Building Height**

Within 15 metres of the site boundary, the maximum height of any building shall be 8 metres where the site adjoins the Residential Suburban Zone. Across the rest of the proposal area the maximum building height shall be 11 metres.

### **14.7.4.2 Daylight recession planes**

Buildings shall not project beyond a building envelope constructed by recession planes from points 2.3 metres above boundaries with other sites as shown in [Appendix 14.10.2](#), Diagram C except that:

1. where an internal boundary of a site abuts an access lot, access strip, or access to a rear lot, the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access lot, access strip, or access to a rear lot or any combination of these areas;
2. where buildings on adjoining sites have a common wall along an internal boundary the recession





planes shall not apply along that part of the boundary covered by such a wall.

**Note:** The level of internal boundaries shall be measured from filled ground level except where the site on the other side of the internal boundary is at a lower level, then that lower level shall be adopted.

### **14.7.4.3 Street Scene**

Buildings shall be set back a minimum of 4.5 metres from road boundaries, other than where a site has a road boundary that is subject to another standard in this Plan, except that:

1. where a garage has a vehicle door facing a road the garage door shall be set back a minimum of 4.5 metres unless the garage door(s) provided tilt or swing outwards, in which case the garage door shall be set back a minimum of 5.5 metres;
2. where a garage has the vehicle door facing a shared access way, the garage door shall be set back a minimum of seven metres measured from the garage door to the furthest formed edge of the adjacent shared access unless the garage door(s) provided tilt or swing outwards, in which case the garage door shall be set back a minimum of eight metres;
3. for residential units fronting the street; garages, carports, and other accessory buildings (excluding basement car parking and swimming pools) shall be located at least 1.2 metres further from the road boundary than the front facade of any ground level habitable space of that unit.

### **14.7.4.4 Separation from neighbours**

1. Buildings that adjoin an access lot, access strip, or access to a rear site shall be set back a minimum of one metre from that part of an internal boundary of a site.
2. Accessory buildings which face the ground floor window of a habitable space on an adjoining site shall be set back a minimum of 1.8 metres from that neighbouring window for a minimum length of two metres either side of the window.
3. In all other instances buildings shall be set back a minimum of 1.8 metres from internal boundaries of a site.

except that:

- a. No setback is required from an access lot or access strip on the same site, provided that any windows on the ground floor facing and within one metre of the access lot or access strip are non-opening;
  - b. Other than provided in 2. above, no setback for accessory buildings is required, provided the total length of walls or parts of accessory buildings facing and located within the setback is less than nine metres;
  - c. No setback is required along that part of an internal boundary where buildings on adjoining sites have a common wall along the internal boundary; and
  - d. No setback is required for basements, provided that any part of a basement located within 1.8 metres of an internal boundary is wholly below ground level.
4. Parts of a balcony or any window of a living area at first floor level or above shall not be located within four metres of an internal boundary of a site, except that this shall not apply to a window at an angle of 90 degrees or greater to boundary, or a window or balcony which begins within 1.2 metres of ground level (such as above a garage which is partly below ground level).



#### **14.7.4.5 Minimum unit size, and mix of units**

1. The minimum net floor area (including toilets and bathrooms, but excluding carparking, garaging, or balconies) for any residential unit in a multi-unit social housing complex, and a multi-unit residential complex, and a minor dwelling unit shall be:

	<b>Number of Bedrooms</b>	Minimum <u>net floor area</u>
1.	Studio.	35m <sup>2</sup>
2.	1 Bedroom.	45m <sup>2</sup>
3.	2 Bedrooms.	70m <sup>2</sup>
4.	3 or more Bedrooms.	90m <sup>2</sup>

2. Where six or more residential units are proposed as part of a multi-unit social housing complex or a multi-unit residential complex, there shall be a mix of at least two unit size types ranging across one, two, three or more bedrooms. No unit size type shall account for more than two thirds of the overall number of units on a site.

#### **14.7.4.6 Ground floor habitable space**

1. Any residential unit facing a road or public space, unless built over an access way, shall have a habitable space located at ground level.
2. At least 50 percent of all residential units within a comprehensive development shall have a habitable space located at the ground level.

Each habitable space located at the ground level shall have a minimum floor area of 12m<sup>2</sup> and a minimum internal dimension of three metres.

#### **14.7.4.7 Outdoor living space**

1. For residential units with two or more bedrooms a minimum of 30m<sup>2</sup> of outdoor living space shall be provided on site for each residential unit, and shall not be occupied by parking or access. The required outdoor living space can be in a mix of private and communal areas, at the ground level or in balconies provided that:
  - a. Each unit shall have private outdoor living space of at least 16m<sup>2</sup> in total. The balance of the outdoor living space required for each residential unit may be provided as communal space;
  - b. Private outdoor living space shall have a minimum dimension of four metres when provided at ground level and a minimum dimension of 1.5 metres when provided by a balcony;



- c. At least one private outdoor living space shall be directly accessible from a living area of that unit;
  - d. Outdoor living space provided as a communal space shall be accessible for use by all units and shall have a minimum dimension of four metres; and
  - e. 50 percent of the outdoor living space required across the entire site shall be provided at ground level.
2. For one bedroom residential units on the ground floor a minimum of 16m<sup>2</sup> private outdoor living space with a minimum dimension of four metres shall be provided on site for each residential unit, and shall not be occupied by parking or access.
  3. For one bedroom residential units entirely at an upper level at total of 16m<sup>2</sup> of outdoor living space shall be provided on site for each residential unit provided that:
    - a. one space can be a private balcony with a minimum area of 6m<sup>2</sup> and a minimum dimension of 1.5 metres;
    - b. the balance 10m<sup>2</sup> can be provided in a communal space.

#### **14.7.4.8 Service, storage, and waste management spaces**

1. Each residential unit shall be provided with:
  - a. an outdoor service space and waste management area of 5m<sup>2</sup> with a minimum dimension of 1.5 metres; and
  - b. a single, indoor storage space of 4m<sup>3</sup> with a minimum dimension of one metre.
2. Any space designated for waste management, whether private or communal, shall not be located between the road boundary and any habitable space and shall be screened from sites, conservation or open space zones, roads, and adjoining outdoor living spaces to a height of 1.5 metres.

Except that:

3. if a communal waste management area is provided within the site:
  - a. the minimum required outdoor service space may be reduced to 3m<sup>2</sup> for each residential unit; and
  - b. it must be demonstrated to be:
    - i. of a sufficient size to accommodate the number and dimensions of bins required to meet the predicted volume of waste generated by the residential units;
    - ii. accessible and safe for use by all residents; and
    - iii. easily accessible for the collection of bins by waste management contractors

#### **14.7.4.9 Landscaping and tree planting**

1. A minimum of 20 percent of the site shall be provided for landscaping (which may include private or communal outdoor living space).
2. A tree shall be planted inside the site adjacent to the road boundary for every 10 metres of road



boundary, or part thereof.

3. In addition to the trees required by rule 2. above, all sites shall be planted with a minimum of one tree for every 250 square metre of gross site area (prior to subdivision), or part thereof.
4. All trees shall be of a species capable of reaching a minimum height at maturity of four metres and shall be not less than 1.5 metres high at the time of planting.

#### 14.7.4.10 Acoustic Insulation

Any habitable space within a residential unit which is within:

1. 40 metres of the edge of the nearest marked traffic lane of an arterial road, or a railway line; or
2. 20 metres of the edge of the nearest marked traffic lane of a collector road as defined in [Chapter 7 Transportation Appendix 7.12](#) shall achieve an external sound insulation level  $D_{tr,2m,nTw}$ .

**Note:**

1. Compliance with this rule may be achieved by ensuring any construction is in accordance with the acceptable solutions listed in [Appendix 14.10.1](#) - Measurement and Assessment of Noise. No alternative ventilation is required in situations where the rule is only met with windows closed. Alternatively, compliance with the rule can be achieved through certification by a qualified acoustic engineer that the design is capable of achieving compliance with the performance standard.
2. Where no traffic lane is marked, the distances stated shall be measured from two metres on the road ward side of the formed kerb.

#### 14.7.4.11 Parking space numbers

1. A minimum of one car parking space shall be provided for each residential unit.
2. Parking areas shall be screened on internal boundaries by landscaping, wall(s), fence(s), or a combination of these to a minimum height of 1.5 metres from any adjoining site. Where this screening is by way of landscaping it shall be for a minimum depth of 1.5 metres.
3. A minimum of one cycle space shall be provided at ground level for each residential unit except where parking for that unit is provided in a garage.

**Note:** this development standard applies in place of any equivalent minimum or maximum car or cycle parking requirement for the underlying zone in [Chapter 7 Transportation](#) of this Plan.

#### 14.7.4.12 Maximum building coverage within Enhanced Development Mechanism proposal areas

The maximum percentage of the gross area covered by buildings within proposals using the Enhanced Development Mechanism shall be 40 percent.



#### 14.7.4.13 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1. Pathways

A sealed path from either the road boundary of the site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:

- a. a minimum clear width of 1.2metres;
- b. a slope not exceeding 1:20;
- c. a cross fall of not more than 1:50;
- d. a slip resistant surface; and
- e. pathway lighting that is switched on from a light switch located at the door at the end of the path.

2. Primary pedestrian entrance door

A primary pedestrian entrance door to the residential unit with:

- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
- b. a maximum threshold of 20mm; and
- c. a external landing area that has a slip resistant surface.

3. Doors within the living space of the residential unit

All doorways to and within living space have:

- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
- b. a level transition and threshold (accepting difference in floor materials on either site of the door).

4. Corridors, hallways, and passageways within the residential unit

All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.

5. Door handles

All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.

6. Electrical switches

The centre of all electrical switches on walls, are at the same height as the centre of door handles.

7. Powerpoints, television, telephone and computer outlets

All powerpoints, television, telephone and computer outlets are installed at a that same height throughout the residential unit at no less than 0.3 metres above the finished floor level.

8. Window controls

All window controls are lever handles and are able to be operated with one hand.

9. Space around bed to support ease of movement

Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.



10. Laundry space  
Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.
11. Kitchen  
The kitchen is not a residential thoroughfare.
12. Toilet
  - a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall.
  - b. and
  - c. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
13. Shower
  - a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that has:
    - i. a level entry shower recess with minimum dimensions of 1.2 metres x 1.2metres;
    - ii. drainage of the shower recess located at the corner of a room;
    - iii. a clear space that provides for a 1.5 metre turning circle; and
    - iv. 800mm clear space beside the shower seat.
  - b. All shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
14. Slip resistant floors on bathrooms  
All bathrooms have slip resistant floor surfaces.
15. Multi-storey access  
All stairway walls have:
  - a. reinforced walls for future installation of a stair-lift or platform lift;
  - b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
  - c. a minimum clear width of 0.9 metres;
  - d. a straight design with no winder treads;
  - e. consistent tread depth with a minimum dimension of 0.31 metres;
  - f. consistent riser height with a minimum dimension of 0.18 metres;
  - g. no open risers; and
  - h. lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

16. Lever action door handles  
All door handles are lever action.
17. Tap fixtures  
All tap fixtures lever, push button, or electronic.

#### **14.7.4.14 Energy and water efficient standards for new residential units**



All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value</u> 3.2.
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value</u> 0.31.
d.	Wall insulation.	<u>Insulation R value</u> 2.8.
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value</u> 2.2, 25mm XPS with 9mm fibre cement board glued to face.
f.	Ventilation.	<ul style="list-style-type: none"> <li>i. Dedicated extraction <u>installed</u> in kitchen and bathrooms.</li> <li>ii. Provision to vent a clothes drier to the outside of the residential unit.</li> </ul>
g.	Water efficiency.	<u>WELS</u> 3 Star Shower. <u>WELS</u> 4 Star Toilets. <u>WELS</u> 4 Star Taps.
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

#### **14.7.4.15 Water supply for fire fighting**

Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008), where by all residential units must be connected to the Council's urban reticulated system that provide sufficient fire fighting water supply.

#### **14.7.5 Information requirements for applications**

Any application for resource consent using the Enhanced Development Mechanism must include a detailed 'design statement' (prepared by an expert suitably qualified in Architecture or Urban Design).

### **14.8 Rules - Community Housing Redevelopment Mechanism**





## 14.8.1 How to use the rules

- 14.8.1.1 The areas that show where the Community Housing Redevelopment Mechanism (CHRM) shown on [Planning Maps](#) 18, 23, 24, 25, 26, 29, 30, 31, 32, 33, 37 and 45.
- 14.8.1.2 The activity status tables, and built form standards in Rules [14.8.2.1](#), [14.8.2.2](#), [14.8.3.1](#), [14.8.3.2](#), [14.8.3.3](#), [14.8.3.4](#), [14.8.3.5](#), [14.8.3.6](#), [14.8.3.7](#), [14.8.3.8](#), [14.8.3.9](#), [14.8.3.10](#), [14.8.3.11](#), [14.8.3.12](#), [14.8.3.13](#), [14.8.3.14](#), [14.8.3.15](#), [14.8.3.16](#), and [14.8.3.17](#) determine the activity status of the of resource consent application to use the Community Housing Redevelopment Mechanism.
- 14.8.1.3 The information that is required for resource consent applications is set out in [Rule 14.8.4](#).

## 14.8.2 Activity status tables

### 14.8.2.1 Restricted Discretionary Activities

The activities listed below are Restricted Discretionary Activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [14.9](#) for each standard, as set out in the following table.

Activity		The <b>Council's</b> discretion shall be limited to the following matters:
<b>RD1</b>	Proposals to use the Community Housing Redevelopment Mechanism on <u>sites</u> located within the <u>CHRM</u> areas shown on <a href="#">Planning Maps</a> 18, 23, 24, 25, 26, 29, 30, 31, 32, 33, 37 and 45 that are not in breach of the development standards in Rules: <a href="#">14.8.3.1</a> , <a href="#">14.8.3.2</a> , <a href="#">14.8.3.3</a> , <a href="#">14.8.3.4</a> , <a href="#">14.8.3.5</a> , <a href="#">14.8.3.6</a> , <a href="#">14.8.3.7</a> , <a href="#">14.8.3.8</a> , <a href="#">14.8.3.9</a> , <a href="#">14.8.3.10</a> , <a href="#">14.8.3.11</a> , <a href="#">14.8.3.12</a> , <a href="#">14.8.3.13</a> , <a href="#">14.8.3.14</a> , <a href="#">14.8.3.16</a> , <a href="#">14.8.3.17</a> .	a. Assessment Matters for Restricted Discretionary Activities – Enhanced Development Mechanism and Community Housing Redevelopment Mechanism - <a href="#">14.9.37</a> .
<b>RD2</b>	Proposals to use the Community Housing Redevelopment	a. Assessment



Activity

Mechanism on sites located within the CHRM areas shown on Planning Maps 18, 23, 24, 25, 26, 29, 30, 31, 32, 33, 37 and 45 but do not comply with one or more of the built form standards in Rules: [14.8.3.1](#), [14.8.3.2](#), [14.8.3.3](#), [14.8.3.4](#), [14.8.3.5](#), [14.8.3.6](#), [14.8.3.7](#), [14.8.3.8](#), [14.8.3.9](#), [14.8.3.10](#), [14.8.3.11](#), [14.8.3.12](#), [14.8.3.13](#), [14.8.3.14](#), [14.8.3.16](#), [14.8.3.17](#).

The Council's discretion shall be limited to the following matters:

Matters for Restricted Discretionary Activities – Enhanced Development Mechanism and Community Housing Redevelopment Mechanism – [14.9.37](#).

- b. As relevant to the breached rules:
  - i. Site density and site coverage – [14.9.1](#).
  - ii. Building height and daylight recession planes – [14.9.2](#).
  - iii. Street scene – road boundary building setback, front doors, fencing and planting – [14.9.3](#).
  - iv. Minimum building, window and balcony setbacks from internal boundaries – [14.9.4](#).
  - v. Outdoor living space – [14.9.5](#).
  - vi. Minimum unit size and unit



Activity		<p><b>The <u>Council's</u> discretion shall be limited to the following matters:</b></p> <ul style="list-style-type: none"> <li>mix - <a href="#">14.9.9.</a></li> <li>vii. Ground floor <u>habitable space</u> - <a href="#">14.9.10.</a></li> <li>viii. Service storage and waste management spaces - <a href="#">14.9.11.</a></li> <li>ix. Tree and garden planting - <a href="#">14.9.12.</a></li> <li>x. Acoustic insulation - <a href="#">14.9.13.</a></li> <li>xi. Traffic generation and access safety - <a href="#">14.9.15.</a></li> <li>xii. Life-stage, adaptive design and energy and water efficiency - <a href="#">14.9.21.</a></li> </ul>
<b>RD3</b>	<p>Non compliance with <a href="#">Rule 14.8.3.15.</a></p> <p>Any application arising from this rule will only require the written approval of the New Zealand Fire Service to not be limited notified and shall not be fully publicly notified.</p>	<p>a. Water Supply for Fire Fighting - <a href="#">14.9.25.</a></p>

Resource consent applications in relation to these rules shall not be publicly or limited notified.

### 14.8.2.2 Non Complying Activities

The activities listed below are a non complying activity.



Activity	
<b>NC1</b>	Proposals to use the Community Housing Redevelopment Mechanism on <u>sites</u> not located within the within the <u>CHRM</u> areas shown on the planning maps.
<b>NC2</b>	Proposals to use the Community Housing Redevelopment Mechanism that do not comply with <a href="#">Rule 14.8.3.13</a> .
<b>NC3</b>	Proposals to use the Community Housing Redevelopment Mechanism that do not comply with <a href="#">Rule 14.8.3.14</a> .
<b>NC4</b>	Proposals to use the Community Housing Redevelopment Mechanism that do not comply with <a href="#">Appendix 14.10.3</a> .

## 14.8.3 Built form standards

### 14.8.3.1 Building height

Within 15 metres of the site boundary, the maximum height of any building shall not exceed 8m where the site adjoins the Suburban Residential Zone and the Suburban Residential Density Transition Zone. Across the rest of the proposal area the maximum building height shall not exceed 11 metres.

### 14.8.3.2 Daylight recession planes

Buildings shall not project beyond a building envelope constructed by recession planes from points 2.3 metres above boundaries with other sites as shown in [Appendix 14.10.2](#), Diagram C, except that:

1. where an internal boundary of a site abuts an access lot, access strip, or access to a rear lot, the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access lot, access strip, or access to a rear lot or any combination of these areas; and
2. where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.

**Note:** The level of internal boundaries shall be measured from filled ground level except where the site on the other side of the internal boundary is at a lower level, then that lower level shall be adopted.

### 14.8.3.3 Street scene

Buildings shall be set back a minimum of 4.5 metres from road boundaries, other than where a site has a road boundary that is subject to another standard in this Plan, except that:

1. where a garage has a vehicle door facing a road the garage door shall be set back a minimum of 4.5 metres unless the garage door(s) provided tilt or swing outwards, in which case the garage door shall be set back a minimum of 5.5 metres;
2. where a garage has the vehicle door facing a shared access way, the garage door shall be set back a minimum of seven metres measured from the garage door to the furthest formed edge of the adjacent shared access unless the garage door(s) provided tilt or swing outwards, in which case the garage door shall be set back a minimum of eight metres;
3. for residential units fronting the street; garages, carports, and other accessory buildings



- (excluding basement car parking and swimming pools) shall be located at least 1.2 metres further from the road boundary than the front facade of any ground level habitable space of that unit; and
4. on properties fronting Emmet Street the setback shall be 6.5 metres.

#### **14.8.3.4 Separation from neighbours**

1. Buildings that adjoin an access lot, access strip, or access to a rear site shall be set back a minimum of one metre from that part of an internal boundary of a site.
2. Accessory buildings which face the ground floor window of a habitable space on an adjoining site shall be set back a minimum of 1.8 metres from that neighbouring window for a minimum length of two metres either side of the window.
3. In all other instances buildings shall be set back a minimum of 1.8 metres from internal boundaries of a site.

except that:

- a. No setback is required from an access lot or access strip on the same site, provided that any windows on the ground floor facing and within one metre of the access lot or access strip are non-opening;
- b. Other than provided in 2. above, no setback for accessory buildings is required, provided the total length of walls or parts of accessory buildings facing and located within the setback is less than 9 metres;
- c. No setback is required along that part of an internal boundary where buildings on adjoining sites have a common wall along the internal boundary;
- d. No setback is required for basements, provided that any part of a basement located within 1.8 metres of an internal boundary is wholly below ground level;
- e. Parts of a balcony or any window of a living area at first floor level or above shall not be located within four metres of an internal boundary of a site, except that this shall not apply to a window at an angle of 90 degrees or greater to the boundary, or a window or balcony which begins within 1.2 metres of ground level (such as above a garage which is partly below ground level).

#### **14.8.3.5 Minimum unit size, and mix of units**

1. The minimum net floor area (including toilets and bathrooms, but excluding car parking, garaging or balconies) for any residential unit in a multi-unit social housing complex, and a multi-unit residential complex and a minor dwelling unit shall be:

	<b>Number of Bedrooms</b>	<b>Minimum <u>net floor area</u></b>
1.	Studio.	35m <sup>2</sup>
2.	1 Bedroom.	45m <sup>2</sup>



	<b>Number of Bedrooms</b>	<b>Minimum <u>net floor area</u></b>
3.	2 Bedrooms.	70m <sup>2</sup>
4.	3 or more Bedrooms.	90m <sup>2</sup>

- Where six or more residential units are proposed as part of a multi-unit social housing complex or a multi-unit residential complex, there shall be a mix of at least two unit size types ranging across one, two, three or more bedrooms. No unit size type shall account for more than two thirds of the overall number of units on a site.

### **14.8.3.6 Ground floor habitable space**

- Any residential unit facing a road or public space, unless built over an access way, shall have a habitable space located at ground level.
- At least 50 percent of all residential units within a comprehensive development shall have a habitable space located at the ground level.
- Each habitable space located at the ground level shall have a minimum floor area of 12m<sup>2</sup> and a minimum internal dimension of three metres.

### **14.8.3.7 Outdoor living space**

- For residential units with two or more bedrooms a minimum of 30m<sup>2</sup> of outdoor living space shall be provided on site for each residential unit, and shall not be occupied by parking or access. The required outdoor living space can be in a mix of private and communal areas, at the ground level or in balconies provided that:
  - Each unit shall have private outdoor living space of at least 16m<sup>2</sup> in total. The balance of the outdoor living space required for each residential unit may be provided as communal space;
  - Private outdoor living space shall have a minimum dimension of four metres when provided at ground level and a minimum dimension of 1.5 metres when provided by a balcony;
  - At least one private outdoor living space shall be directly accessible from a living area of that unit;
  - Outdoor living space provided as a communal space shall be accessible for use by all units and shall have a minimum dimension of four metres; and
  - 50 percent of the outdoor living space required across the entire site shall be provided at ground level.
- For one bedroom residential units on the ground floor a minimum of 16m<sup>2</sup> private outdoor living space with a minimum dimension of four metres shall be provided on site for each residential unit, and shall not be occupied by parking or access.
- For one bedroom residential units entirely at an upper level at total of 16m<sup>2</sup> of outdoor living space shall be provided on site for each residential unit provided that:
  - one space can be a private balcony with a minimum area of 6m<sup>2</sup> and a minimum dimension of 1.5 metres; and



- b. the balance 10m<sup>2</sup> can be provided in a communal space.

#### **14.8.3.8 Service, storage, and waste management spaces**

1. Each residential unit shall be provided with:
  - a. an outdoor service space and waste management area of 5m<sup>2</sup> with a minimum dimension of 1.5 metres; and
  - b. a single, indoor storage space of four metres cubed with a minimum dimension of one metre.
2. Any space designated for waste management, whether private or communal, shall not be located between the road boundary and any habitable space and shall be screened from adjoining sites, conservation or open space zones, roads, and adjoining outdoor living spaces to a height of 1.5 metres.

Except that:

3. if a communal waste management area is provided within the site:
  - a. the minimum required outdoor service space may be reduced to 3m<sup>2</sup> for each residential unit; and
  - b. it must be demonstrated to be:
    - i. of a sufficient size to accommodate the number and dimensions of bins required to meet the predicted volume of waste generated by the residential units;
    - ii. accessible and safe for use by all residents; and
    - iii. easily accessible for the collection of bins by waste management contractors.

#### **14.8.3.9 Landscaping and tree planting**

1. A minimum of 20 percent of the site shall be provided for landscaping (which may include private or communal outdoor living space).
2. A tree shall be planted inside the site adjacent to the road boundary for every 10 metres of road boundary, or part thereof.
3. In addition to the trees required by rule 2. above, all sites shall be planted with a minimum of one tree for every 250m<sup>2</sup> of gross site area (prior to subdivision), or part thereof.
4. All trees shall be of a species capable of reaching a minimum height at maturity of four metres and shall be not less than 1.5 metres high at the time of planting.

#### **14.8.3.10 Acoustic insulation**

Any habitable space within a residential unit which is within:

1. 40 metres of the edge of the nearest marked traffic lane of a minor arterial, or major arterial road, or a railway line; or
2. 20 metres of the edge of the nearest marked traffic lane of a collector road as defined [Chapter 7](#)





[Transportation Appendix 7.12](#) shall achieve an [external sound insulation level Dtr,2m,nTw](#).

**Note:** Compliance with this rule may be achieved by ensuring any construction is in accordance with the acceptable solutions listed in [Appendix 14.10.1](#). No alternative ventilation is required in situations where the rule is only met with windows closed. Alternatively, compliance with the rule can be achieved through certification by a qualified acoustic engineer that the design is capable of achieving compliance with the performance standard.

Where no traffic lane is marked, the distances stated shall be measured from two metres on the road ward side of the formed kerb.

#### 14.8.3.11 Parking space numbers

1. A minimum of one car parking space shall be provided for each [residential unit](#).
2. [Parking areas](#) shall be screened on internal [boundaries](#) by [landscaping](#), wall(s), fence(s), or a combination of these to a minimum [height](#) of 1.5 metres from any adjoining [site](#). Where this screening is by way of [landscaping](#) it shall be for a minimum depth of 1.5 metres.
3. A minimum of one cycle space shall be provided at [ground level](#) for each [residential unit](#), except where parking for that unit is provided in a [garage](#).

**Note:** this development standard applies in place of any equivalent minimum or maximum car or cycle parking requirement for the underlying zone in [Chapter 7 Transportation](#) of this Plan.

#### 14.8.3.12 Maximum building coverage

The maximum percentage of the gross area covered by [buildings](#) within proposals using the Community Housing Redevelopment Mechanism shall be 40 percent.

#### 14.8.3.13 Community housing site size

[Sites](#) shall be:

1. of a size greater than 1500m<sup>2</sup> and less than 10,000m<sup>2</sup>; and
2. in one continuous block of land.

#### 14.8.3.14 Community housing unit proportion and yield

1. Proposals to use the CHRM shall demonstrate that [community housing units](#) will comprise:
  - a. at least one third of the [residential unit](#) yield; or
  - b. a quantity equal to the amount of [community housing units](#) on the application [site](#) either occupied or unoccupied at 6 December 2013.  
whichever is the greater.



2. Comprehensive development of a site under the CHRM shall deliver a minimum density of 30 households per hectare (one unit per 330m<sup>2</sup>), and a maximum density of 65 households per hectare (one unit per 150m<sup>2</sup>).

#### 14.8.3.15 Water supply for fire fighting

Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008), where by all residential units must be connected to the Council's urban reticulated system that provides sufficient fire fighting water supply.

#### 14.8.3.16 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1. Pathways

A sealed path from either the road boundary of the site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:

- a. a minimum clear width of 1.2metres;
- b. a slope not exceeding 1:20;
- c. a cross fall of not more than 1:50;
- d. a slip resistant surface; and
- e. pathway lighting that is switched on from a light switch located at the door at the end of the path.

2. Primary pedestrian entrance door

A primary pedestrian entrance door to the residential unit with:

- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
- b. a maximum threshold of 20mm; and
- c. a external landing area that has a slip resistant surface.

3. Doors within the living space of the residential unit

All doorways to and within living space have:

- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
- b. a level transition and threshold (accepting difference in floor materials on either site of the door).

4. Corridors, hallways, and passageways within the residential unit

All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.

5. Door handles

All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.

6. Electrical switches



The centre of all electrical switches on walls, are at the same height as the centre of door handles.

7. Powerpoints, television, telephone and computer outlets

All powerpoints, television, telephone and computer outlets are installed at a that same height throughout the residential unit at no less than 0.3 metres above the finished floor level.

8. Window controls

All window controls are lever handles and are able to be operated with one hand.

9. Space around bed to support ease of movement

Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.

10. Laundry space

Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.

11. Kitchen

The kitchen is not a residential thoroughfare.

12. Toilet

a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall.

b. and

c. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.

13. Shower

a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that has:

i. a level entry shower recess with minimum dimensions of 1.2 metres x 1.2metres;

ii. drainage of the shower recess located at the corner of a room;

iii. a clear space that provides for a 1.5 metre turning circle; and

iv. 800mm clear space beside the shower seat.

b. All shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.

14. Slip resistant floors on bathrooms

All bathrooms have slip resistant floor surfaces.

15. Multi-storey access

All stairway walls have:

a. reinforced walls for future installation of a stair-lift or platform lift;

b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;

c. a minimum clear width of 0.9 metres;

d. a straight design with no winder treads;

f. consistent tread depth with a minimum dimension of 0.31 metres;



- g. consistent riser height with a minimum dimension of 0.18 metres;
- h. no open risers; and
- i. lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

- 16. Lever action door handles  
All door handles are lever action.
- 17. Tap fixtures  
All tap fixtures lever, push button, or electronic.

### 14.8.3.17 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value 3.2.</u>
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value 0.31.</u>
d.	Wall insulation.	<u>Insulation R value 2.8.</u>
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value 2.2</u> , 25mm XPS with 9mm fibre cement board glued to face.
f.	Ventilation.	<ul style="list-style-type: none"> <li>i. Dedicated extraction <u>installed</u> in kitchen and bathrooms.</li> <li>ii. Provision to vent a clothes drier to the outside of the residential unit.</li> </ul>
g.	Water efficiency.	<u>WELS 3 Star Shower.</u> <u>WELS 4 Star Toilets.</u> <u>WELS 4 Star Taps.</u>
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

### 14.8.4 Information requirements for applications



Any application for resource consent using the Community Housing Redevelopment Mechanism must include a detailed 'design statement' (prepared by an expert suitably qualified in Architecture or Urban Design).

## **14.9 Matters of Discretion**

In considering whether or not to grant consent, the Council shall have regard to the following assessment matters.

### **14.9.1 Site density and site coverage**

Whether the infringement is appropriate to its context taking into account:

1. The balance of open space and buildings within the Residential Medium Density Zone, or the maintenance of a lower density, open, landscaped residential character within the Residential Suburban Zone;
2. Any visual dominance of the street resulting from a proposed building's incompatible scale;
3. Any loss of privacy, access to sunlight and daylight or opportunities for views in the Residential Banks Peninsula and Residential Conservation Zones; and
4. Any reduction in site density that is accompanied by the proposed building complying with other built form standards so that the outcome is a small building that is in proportion with a small site.

### **14.9.2 Building height and daylight recession planes**

Whether the increased height or recession plane intrusion would result in buildings that:

1. remain compatible with the scale of other buildings anticipated in the area; or
2. do not compromise the amenity of adjacent properties;

taking into account:

- a. The visual dominance of proposed buildings on the outlook from adjacent sites, roads and public open space in the surrounding area, which is out of character with the local environment;
- b. Overshadowing of adjoining sites resulting in reduced sunlight and daylight admission to internal and external living spaces beyond that anticipated by the recession plane, and where applicable the horizontal containment requirements for the zone;
- c. Any potential loss of sunlight admission to internal living spaces in winter with regard to energy utilisation;
- d. Any loss of privacy through being over-looked from neighbouring buildings;
- e. Whether development on the adjoining site, such as large building setbacks, location of outdoor living spaces, or separation by land used for vehicle access, reduces the need for protection of adjoining sites from overshadowing;
- f. The ability to mitigate any adverse effects of increased height or recession plane breaches through increased separation distances between the building and adjoining sites, the provision



of screening or any other methods; and

- g. Within a Floor Level and Fill Management Area, whether the recession plane infringement is the minimum necessary in order to achieve the required minimum floor level.

### **14.9.3 Street scene - road boundary building setback, front doors, fencing and planting**

Whether the development will engage with and contribute to the street, access lane or adjacent open space to make them lively, safe, and attractive public places, taking into account:

1. In relation to the Road Boundary Setback:
  - a. Necessity in order to allow more efficient, practical and/or pleasant use of the remainder of the site or the long-term protection of significant trees, listed heritage buildings, or natural features on the site;
  - b. The visibility of the building's internal habitable spaces and their ability to provide passive surveillance to the street;
  - c. The ability to provide opportunities for garden and tree planting in the vicinity of road boundaries;
  - d. The openness of the site to the street;
  - e. The adverse effects of the building intrusion into the street scene or reduction of screening on the outlook and privacy of people on adjoining sites;
  - f. The compatibility of the building, parking or outdoor storage area with the appearance, layout and scale of other buildings and sites in the surrounding area, and in particular whether the proposed building is consistent with the road boundary setback of existing buildings in the vicinity;
  - g. The size, form, proportions, roof line, style, external materials and colour of the proposed building, and whether they are similar to or in keeping with those of existing buildings on the site; and
  - h. The relevance of other factors in the surrounding environment in reducing the adverse effects, such as existing wide road widths, street plantings and the orientation of existing buildings on adjoining sites.

And

2. In relation to Garages and Driveways:
  - a. Alternative practical locations that are available on the site for the location of the garage, without intruding into the street scene;
  - b. The ability to provide adequate parking and manoeuvring space for vehicles clear of the road in respect of traffic and pedestrian safety;
  - c. The dominance of the garage when viewed from the street;
  - d. In relation to road boundary Planting and Fencing;
  - e. Increased opportunities for tree and garden planting in the remainder of the site;
  - f. The ability to screen parking and outdoor storage areas from adjoining roads by alternative means;
  - g. Contribution to the character, visual appropriateness, or suitability of reduction in visual transparency to the site or area;





- h. Contribution of a reduction in visual transparency to levels of privacy, security, or acoustic insulation where the residential unit has its primary outdoor living area between the unit and the road and/or the road carries high volumes of traffic;
- i. Variety in terms of incorporating steps, changes in height, materials, incorporation of landscaping;
- j. Avoidance of presentation of a blank, solid facade to the street; and
- k. Any reduction in public surveillance over open space areas that may lead to or promote unsafe or insecure environments.

#### **14.9.4 Minimum building, window and balcony setbacks from internal boundaries**

Whether the site layout and use of spaces maintains adequate levels of privacy and outlook, taking into account:

1. in relation to the amenity of occupants:
  - a. the need to enable an efficient, practical and/or pleasant use of the remainder of the site;
  - b. requirements for the long term protection of significant trees or natural features on the site;
  - c. the need to provide opportunities for garden and tree plantings around buildings;
  - d. unique or exceptional site specific circumstances that would result in a situation where compliance with the standards would have an unduly restrictive impact on the ability to develop the site;
  - e. the need to provide future occupants with adequate levels of privacy from neighbouring sites;
  - f. the need to provide future occupants with adequate levels of daylight and outlook from internal living spaces;
2. in relation to the amenity of neighbours and users of adjacent public spaces:
  - a. where a building on an adjacent site already has windows of habitable spaces located in close proximity to the boundary, other factors that may mitigate the effects on privacy of the reduced setback such as offsetting windows or planting to minimise overlooking;
  - b. adjacent less sensitive areas such as driveways, parking or service areas;
  - c. adequate separation distance from any existing direct facing windows or balconies (on adjoining sites or within the site) can ensure appropriate levels of privacy are maintained;
  - d. any adverse effects of the proximity or bulk of the building in terms of loss of access to daylight on adjoining sites; and
  - e. any adverse effects of the proximity or bulk of the building, in terms of visual dominance by buildings of the outlook from adjoining sites and buildings, which is out of character with the local environment.

#### **14.9.5 Outdoor living space**

Whether the level, location or configuration of outdoor living space will adversely affect the ability of the site to provide for the needs of occupants, taking into account:

1. In relation to the amount of Outdoor Living Space:





- a. alternative provision of publicly available space on, or in close proximity to, the site to meet the needs of occupants now and in the future;
  - b. the size of the residential unit and the demands of the likely number of occupants now and in the future; and
  - c. compensation by alternative space within buildings with access to ample sunlight and fresh air.
2. In relation to the location and configuration of Outdoor Living Space:
- a. allocation between private and communal outdoor living spaces within the site to meet the current and future needs of occupants of the site;
  - b. easy accessibility of outdoor living space to all occupants of the site;
  - c. design of communal space to clearly signal that it is for communal use;
  - d. where the communal outdoor/indoor spaces are not continuous on a large site, the ability of the spaces to meet the needs of occupants and provide a high level of residential amenity;
  - e. in the Residential Suburban Zone where the outdoor living space is split into more than one space, the range of recreational functions and accessibility from habitable spaces; and
  - f. the adverse effects of any additional loss of mature on-site vegetation and/or spaciousness of the area.

### 14.9.6 Urban design and Māori urban design principles

New developments shall be assessed against the five main Urban Design, Appearance and Amenity matters set out in the table below with the Council needing to be satisfied that the proposal makes positive a contribution under each.

Consideration will also be given where appropriate to Māori urban design principles of Whanautanga, Kotahitanga, Wairuatanga, Mauritanga, Orangatanga, Manaakitanga, Kaitiakitanga, Rangatiratanga and Mātauranga.

The Key Criteria represent components which the Council will need to balance up in coming to a conclusion about the particular Assessment Matter. The importance of particular aspects will vary from site to site. For example, a site adjacent to a heritage building will have greater importance for a site under 1b) than one without, in the same way that 5b) would be a central consideration if a site lay along a high volume pedestrian or cycle route.

**Scale:** City context and character

<b>Assessment matters</b> "Whether the Council is satisfied that the development..."	<b>Key criteria for demonstration of assessment matter</b> "The development design..."
1. reinforces or complements the scale and character anticipated for the surrounding area and other built, natural, heritage and	a. is in keeping or complementary to the context, including subdivision patterns, scale and form of buildings, building materials and design styles, landscape qualities, and environmental conditions.



<b>Assessment matters</b> "Whether the Council is satisfied that the development..."	<b>Key criteria for demonstration of assessment matter</b> "The development design..."
cultural features.	<ul style="list-style-type: none"> <li>b. does not visually dominate any protected physical, natural, heritage (including mature trees) or cultural features (Ngai Tahu manawhenua cultural markers and local stories), which contribute to the identity or sense of place.</li> <li>c. retains or adapts character features, including reuse or renovation of existing buildings and landscape features on the site, including sightlines, site contours and trees.</li> <li>d. provides for large scale indigenous endemic tree planting that contributes to neighbourhood amenity.</li> </ul>

**Scale:** Relationship to street and public open spaces

<b>Assessment matters</b> "Whether the Council is satisfied that the development..."	<b>Key criteria for demonstration of assessment matter</b> "The development design..."
2. engages with and contributes to the street, and any access lanes or adjacent open space to make them lively, safe and attractive public, or publically accessible, places.	<ul style="list-style-type: none"> <li>a. is well articulated including variation in building form and materials and the avoidance of blank, monotonous and over-repetitious facades, or facades that are dominated by garaging.</li> <li>b. incorporates Whanautanga, this refers to notions of membership and participation within communities. The design of spaces must encourage community participation, membership and not isolate its members.</li> <li>c. incorporates Crime Prevention Through Environmental Design (CPTED) principles, illustrated by: <ul style="list-style-type: none"> <li>i. orientation of buildings toward the street.</li> <li>ii. the placement of active living areas, such as the kitchen and living room, to face the street and public or shared open spaces, particularly at ground level.</li> <li>iii. transparent boundary treatments in key locations to enable passive surveillance of the street or open space.</li> <li>iv. generous areas of glazing across the building frontages., particularly at ground</li> </ul> </li> </ul>



<p><b>Assessment matters</b></p> <p>"Whether the Council is satisfied that the development..."</p>	<p><b>Key criteria for demonstration of assessment matter</b></p> <p>"The development design..."</p> <p>level.</p> <ul style="list-style-type: none"> <li>v. identifiable pedestrian entrances directly accessible from the street (or access way).</li> <li>vi. pedestrian entrances that are highlighted through the use of projecting canopies, differentiated ground treatment, planting or other entry markers.</li> <li>d. clearly demarcates public and private space.</li> <li>e. orients corner buildings towards all adjacent streets and public open spaces, with the corner itself being emphasised as a visual landmark.</li> </ul>
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**Scale:** Built form and amenity of the site

<p><b>Assessment matters</b></p> <p>"Whether the Council is satisfied that the development..."</p>	<p><b>Key criteria for demonstration of assessment matter</b></p> <p>"The development design..."</p>
<p>3. is designed to minimise the visual bulk of the buildings and provide a human scale.</p>	<ul style="list-style-type: none"> <li>a. separates blocks of buildings within the site.</li> <li>b. is domestic in nature.</li> <li>c. limits the <ul style="list-style-type: none"> <li>i. length of continuous roof ridgelines</li> <li>ii. long blank or bulky elevations (including those dominated by garage doors)</li> <li>iii. over-repetition of building forms</li> </ul> </li> <li>d. utilises projections and/or recesses, such as balconies and deep window and door sills, to break up elevations.</li> <li>e. uses modulation, glazing and architectural detailing, including variations in material and colour for human scale.</li> </ul>

**Scale:**

<p><b>Assessment matters</b></p> <p>"Whether the Council is satisfied that the development..."</p>	<p><b>Key criteria for demonstration of assessment matter</b></p> <p>"The development design..."</p>
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4. provides a high level of internal and external amenity for occupants, neighbours and public.	<ul style="list-style-type: none"> <li>a. balances outlook, sunlight and weather protection with privacy in the site layout, orientation and internal layouts.</li> <li>b. orientates and screens windows and balconies on upper levels to limit direct overlooking of adjacent dwellings and their outdoor living space.</li> <li>c. provides outdoor spaces that are functional extensions of the internal living spaces.</li> <li>d. includes tree and garden planting that are indigenous and endemic particularly in regard to street frontage, building entrances, boundaries, accessways, and car parking and stormwater management areas.</li> <li>e. has communal spaces, where provided, that are <ul style="list-style-type: none"> <li>i. consolidated to create accessible, usable and attractive areas</li> <li>ii. located or designed to restrict noise levels, light spill and loss of privacy on other residents and neighbours.</li> </ul> </li> <li>f. provides environmental efficiency measures, including passive solar design principles for natural lighting, heating and ventilation, reduced energy consumption, climate appropriate/low-input planting and efficient water use and management.</li> </ul>
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**Scale:** Access, parking and service

<b>Assessment matters</b> "Whether the Council is satisfied that the development..."	<b>Key criteria for demonstration of assessment matter</b> "The development design..."
5. provides for good access and integration of space for parking and servicing.	<ul style="list-style-type: none"> <li>a. provides connections to the street network with vehicle, cycle and pedestrian routes that maintain or enhance physical and visual links to the neighbourhood</li> <li>b. integrates vehicle access, car parking and garaging in a way that is safe for pedestrians and cyclists as well as vehicles, and does not dominate the development, particularly when viewed from the street and open spaces.</li> <li>c. provides for storage and service space, including for washing lines, rubbish and recycling bins, in a manner which: <ul style="list-style-type: none"> <li>i. is readily accessible, conveniently located, safe and/or secure to use by building occupants.</li> <li>ii. is located and designed to minimise adverse effects on occupants, neighbours and public spaces.</li> <li>iii. is suitable to accommodate a typical range of maintenance and recreational equipment such as bicycles.</li> </ul> </li> </ul>



<b>Assessment matters</b> "Whether the Council is satisfied that the development..."	<b>Key criteria for demonstration of assessment matter</b> "The development design..."
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### 14.9.7 Minor residential units

Whether the minor residential unit is appropriate to its context taking into account:

1. Location of the minor residential unit so that it is visually hidden from the road leaving the site with a similar street scene to that of a single residential unit;
2. The adverse visual effects associated with parking and access of any additional driveway to accommodate the minor residential unit on the street-scene;
3. The size and visual appearance of the minor residential unit and its keeping with the existing level of buildings in rear gardens or rear sections surrounding the site;
4. The consistency of the number of bedrooms and level of occupancy with a single large residential unit;
5. The convenience of the location of outdoor living space in relation the respective residential units; and
6. The adequacy of size and dimension of the outdoor living space to provide for the amenity needs of future occupants.

### 14.9.8 Building overhangs

Whether an increased overhang is appropriate taking into account:

1. any positive visual interest in the street scene;
2. the level of passive surveillance within, into or across the site;
3. how the overhang might be used to help to clearly define and shelter a pedestrian entrance or front door;
4. any compromise to the ability to provide associated landscaping;
5. avoidance of a long, dark covered driveway area; and
6. avoidance of a poor visual appearance of a 'top heavy' building that has large unsupported cantilevered elements.

### 14.9.9 Minimum unit size and unit mix

1. In considering under sized units, whether the reduced unit size is appropriate taking into account:
  - a. the floorspace available and the internal layout and their ability to support the amenity of current and future occupants;
  - b. other on-site factors that would compensate for a reduction in unit sizes e.g. communal facilities;
  - c. scale of adverse effects associated with a minor reduction in size in the context of the overall



- residential complex on the site; and
  - d. needs of any social housing tenants.
2. In considering unit mix whether, the mix is appropriate taking into account:
- a. marginal reductions arising from the way in which the standard is calculated;
  - b. the diversity in unit sizes available in the surrounding area;
  - c. the necessity to meet the specific needs of future social housing tenants; and
  - d. unique or exceptional site specific circumstances that would result in a situation where compliance with the standards would have an unduly restrictive impact on the ability to develop the site.

### **14.9.10 Ground floor habitable space**

Whether:

1. Any reduction in habitable space at ground floor level compromises the surveillance of outdoor living spaces, service areas or other uses of the building's ground floor area;
2. The proposal is visually dominated by garaging and parking areas at ground floor level; and
3. An alternative site arrangement is available that satisfactorily provides for residential amenity whilst ensuring ground floor level passive surveillance of adjoining roads and spaces.

### **14.9.11 Service, storage, and waste management spaces**

Whether there is sufficient useful and functional service, waste management, and storage space, taking into account:

1. in relation to the amount of space:
  - a. the adequacy of the amount of space to store rubbish and recycling, whether communal, outdoor or indoor; and
  - b. the adequacy of the volume of space provided for personal storage.
2. in relation to the configuration of space:
  - a. the convenience of the location of rubbish and recycling space for residents;
  - b. how the lack of screening of any outdoor service space will adversely affect the visual amenity within the site and of any adjoining site, activity, or the street scene;
  - c. the size and flexibility of the residential unit layout to provide other indoor storage options where an indoor storage space is not provided for each unit; and
  - d. the adequacy, accessibility and convenience of alternative storage areas provided on the site where indoor storage space is not provided for each residential unit.

### **14.9.12 Tree and garden planting**

Whether there is sufficient tree and garden planting to provide a balance between buildings and hard surfacing, taking into account:

1. The effect of any reduced tree planting in terms of the scale and visual appearance or dominance of the buildings on the site;



2. Visibility of the site from adjoining sites and the likely effect of any reduction in tree planting standards for the amenity of neighbouring sites;
3. Any compensating factors for reduced tree planting, including the nature of planting proposed, or the location of activities (including heritage items) on the site;
4. The use of indigenous species endemic to the area;
5. The visual appearance of the site in terms of the length of road frontage or any unusual characteristics of the site;
6. The adverse effect of the reduced tree planting on the Garden City image and the quality of the amenity of the site and neighbourhood;
7. The ability to retain large existing trees have been retained on the site so that overall the site provides a visual balance between buildings and landscaping, despite a reduction in the actual number of trees; and
8. The tree planting provided is evenly distributed across the site.

### **14.9.13 Acoustic insulation**

Whether a reduction in acoustic insulation is appropriate taking into account:

1. A reduced level of acoustic insulation may be acceptable due to mitigation of adverse noise impacts through other means, e.g. screening by other structures, or distance from noise sources;
2. There is an ability to meet the appropriate levels of acoustic insulation through alternative technologies or materials; and
3. The provision of a report from an acoustic specialist provides evidence that the level of acoustic insulation is appropriate to ensure the amenity of present and future residents of the site.

### **14.9.14 Scale of activity**

Whether the scale of activities and their impact on residential character and amenity are appropriate, taking into account:

1. The compatibility of the scale of the activity and the proposed use of the buildings with the scale of other buildings and activities in the surrounding area;
2. The potential adverse effects of over dominance on the character of respective living environments or special amenity areas within them;
3. In the Residential Suburban Zones, any adverse effects on existing character on the site defined by tree and garden plantings;
4. The ability of the site to remain dominated by residential activity, rather than by activities which are not associated with or incidental to residential activity on the site;
5. The meeting of the needs of residents principally within the surrounding living environment through the activity;
6. The adverse effects of additional staff, visitor and resident trips on the character of the surrounding living environment; and
7. The need for the additional employment as an integral and necessary part of other activities being undertaken on the site and its assistance in providing alternative home-based employment and income-generating opportunities for residents or occupiers of the site;





### **14.9.15 Traffic generation and access safety**

Whether the traffic generated is appropriate to the residential character, amenity, safety and efficient functioning of the access and road network taking into account:

1. in the case of effects on residential character and amenity:
  - a. any adverse effects in terms of noise and vibration from vehicles entering and leaving the site or adjoining road, and their incompatibility with the noise levels acceptable in the respective living environments;
  - b. any adverse effects in terms of glare from headlights of vehicles entering and leaving the site or adjoining road on residents or occupants of adjoining residential sites;
  - c. any reduction in the availability of on-street parking for residents, occupants or visitors to adjoining residential sites to the point that it becomes a nuisance;
  - d. any adverse effects in terms of fumes from vehicles entering or leaving the site, on residents or occupiers of adjoining residential sites; and
  - e. the ability to mitigate any adverse effects of the additional traffic generation such as through the location and design of vehicle crossings, parking and loading areas or through the provision of screening and other factors that will reduce the effect of the additional traffic generation, such as infrequency of the activity, or limited total time over which the traffic movements occur;
2. in the case of the safe and efficient functioning of the road network:
  - a. any cumulative effect of traffic generation from the activity in conjunction with traffic generation from other activities in the vicinity;
  - b. adverse effects of the proposed traffic generation on activities in the surrounding living environment;
  - c. consistency of levels of traffic congestion or reduction in levels of traffic safety with the classification of the adjoining road;
  - d. the variance in the rate of vehicle movements throughout the week and coincidence of peak times with peak traffic movements on the wider network; and
  - e. the location of the proposed access points in terms of road and intersection efficiency and safety, and the adequacy of existing or alternative access points.

### **14.9.16 Non-residential hours of operation**

Whether the hours of operation are appropriate in the context of the surrounding residential environment taking into account:

1. Traffic or pedestrian movements which are incompatible with the character of the surrounding residential area;
2. As for traffic generation Rule 9.2.20 1.- 3. inclusive;
3. Any adverse effects of pedestrian activity as a result of the extended hours of operation, in terms of noise, disturbance and loss of privacy, which is inconsistent with the respective living environments;
4. Any adverse effects of the extended hours of operation on the surrounding residential area, in



terms of loss of security as a result of people other than residents frequenting the area; and

5. The ability to avoid, remedy or appropriately mitigate any adverse effects of the extended hours of operation; and other factors which may reduce the effect of the extended hours of operation, such as infrequency of the activity or limited total hours of operation.

### **14.9.17 Relocation of buildings**

Whether the relocation of the building is appropriate taking into account:

1. The likely appearance of the building upon restoration or alteration;
2. The compatibility of the building with buildings on adjoining properties and in the vicinity;
3. The exterior materials used, and their condition and quality;
4. The period required for restoration work to be undertaken; and
5. Any requirements to impose a bond or other condition to ensure completion of restoration work to an acceptable standard.

### **14.9.18 Stormwater ponding areas within three kilometres of Christchurch International Airport**

Whether the form of the stormwater ponding area is appropriate taking into account:

1. The attractiveness of the proposed ponding area to birdlife that might pose a bird strike risk to the operation of Christchurch International Airport;
2. Whether a management plan has been developed that demonstrates there will be ongoing operation and maintenance of the stormwater system to minimise bird strike risk for the life of the stormwater system, and whether that plan has been developed in consultation with Christchurch International Airport Limited; and
3. That the treatment of the stormwater ponding areas also incorporates a minimum of 80 per cent indigenous planting endemic to the area.

### **14.9.19 Electricity transmission line corridor**

Whether the health and safety of the community and the security of electricity supply is provided for taking into account:

1. The risk to the structure and functioning of the transmission line;
2. The effects on the ability of the transmission line owner (or an authorised agent) to operate, maintain and upgrade the high-voltage transmission network;
3. The proximity of buildings to electrical hazards;
4. The risk of electrical hazards affecting public safety, and/or risk of property damage;
5. The risk of electrical faults causing disruption to electrical supply;
6. The extent of earthworks required, and use of mobile machinery near the transmission line corridor which may put the line at risk;
7. The risk of electrical hazards due to the mature height of any associated vegetation, including within landscaped areas;



8. The location and orientation of buildings in relation to transmission lines to minimise visual effects from transmission lines;
9. The risk of generating radio interference or earth potential rise; and
10. The extent of compliance with NZECP34:2001.

### **14.9.20 Liquefaction susceptibility of the site and proposed development**

Whether adequate consideration has been given to the potential for lateral spread when determining the activities and the layout proposed for those activities on the site.

### **14.9.21 Life-stage, adaptive design and energy and water efficiency**

Whether, taking into account practicality and the cost of compliance with the standards:

1. a healthy living environment for the immediate and future occupants is provided for;
2. energy use reduction is provided for;
3. the building is able to be easily adapted to suit the changing life stages and physical needs of the occupants;
4. alternative solutions are proposed that provide the same outcomes sought; and
5. the needs of specialist housing complexes (e.g. retirement villages) are provided for.

### **14.9.22 Rainwater tanks for new residential units that use water from the listed streams**

Whether there is an alternative method of detaining and reusing the stormwater onsite.

### **14.9.23 Temporary lifting or moving of earthquake damaged buildings**

Whether the temporary lifting or moving of the earthquake damaged building is appropriate taking into account:

1. The effect of reduced proximity on the amenity and/or operation of any neighbouring sites, water way, coastal marine area, archaeological site, or protected tree;
2. The duration of time that the building will intrude upon the recession plane;
3. Any adverse effects on adjoining owners or occupiers relating to shading and building dominance; and
4. Occupancy of the neighbouring properties of the duration of the works, the extent to which neighbouring properties are occupied for the duration of the works.

### **14.9.24 Screening of non-residential activities**

Whether the screening is appropriate taking into account:

1. The effect of reduced landscaping and screening in terms of the visual impacts of the buildings



and the scale of these buildings;

2. The importance of landscaping and screening on the particular site, taking into account the visual quality of the surrounding environment; and
3. The extent to which the site is visible from adjoining sites and the likely consequences on outlook from those sites of any reduction in landscaping or screening standards.

### **14.9.25 Water supply for fire fighting**

Whether sufficient fire fighting water supply provision to ensure the health and safety of the community, including neighbouring properties, is provided.

### **14.9.26 Silent files**

Whether a development will avoid adversely affecting Wāhi Tapu me Wahi Taonga taking into account:

1. the Cultural Impact Assessment that has been undertaken and supplied with the consent application; and
2. the consultation that has been undertaken with the Rununga showing they are satisfied with that any effects on Wāhi Tapu me Wahi Taonga are appropriately mitigated.

### **14.9.27 Springs in New Neighbourhood Zones**

Whether springs identified on the ODP are protected, maintained and enhanced, and have a suitable buffer taking into account:

1. The degree to which springs in the ODP area are affected by development and any measures proposed to mitigate the effects;
2. The effects on ecological, cultural and amenity values associated with the springs;
3. Consistency with the Mahaanui Iwi Management Plan; and
4. Provision for existing natural flow pathways for the water to flow from the spring head.

### **14.9.28 Development plans**

Whether the development need be in accordance with the development plan taking into account:

1. Co-ordination of development, particularly roading access and cycle linkages, with adjoining land;
2. The adequacy and location, of open space areas within the development;
3. Any adverse effects on the visual appearance of development in the zone as seen from outside the zone, particularly where the land is highly visible;
4. Adverse effects on the strength of definition of the rural urban boundary;
5. Any potential adverse effects on the surrounding road network;
6. Any adverse effects on Christchurch International Airport and its approach path, including any reverse sensitivity complaints;
7. Any adverse effects on the visual amenity of residents in adjoining areas;



8. Any adverse effects in terms of the enhancement of waterways within the development; and
9. Effective, efficient and economically viable provision of services;

### **14.9.29 Development plan - Chapter 15 Appendix 15.11**

1. Whether activities need be in accordance with the development plan taking into account:
  - a. The continued achievement of comprehensive, mixed use development;
  - b. The ability of the proposal to integrate with the surrounding context; and
  - c. The relationship of proposals to any other existing development within the block.
2. Whether the first development within the development area can precede provision of a concept plan taking into account the continued development in a comprehensive and integrated manner.

### **14.9.30 Use of site and buildings - Prestons Road retirement village overlay**

Whether the use of site and buildings is appropriate taking into account:

1. Enhancement of services of value to the elderly persons housing complex, or assistance in retaining the viability of the complex;
2. The likely effect of any additional activities on traffic generation, and the safety and efficiency of traffic movement within the elderly persons housing complex and the wider road network; and
3. The effect of additional activities on residential amenities in the vicinity, particularly noise, traffic safety, parking congestion and visual amenity.

### **14.9.31 Concept plan - Prestons Road retirement village overlay**

Whether the concept plan for the whole site is appropriate taking into account:

1. coordination and integration of road and pedestrian access with adjoining networks;
2. provision for landscaping, outdoor living space, passive recreational facilities, and stormwater systems, swales for stormwater soakage, wetlands and retention basins. These must be planted with native species (not left as grass) that are appropriate to the specific use, recognising the ability of particular species to absorb water and filter waste for 165 independent units and a multi storey health facility including 45 services apartments;
3. the provision, and design and layout of pedestrian circulation and connectivity of pedestrian access to Snellings Drain reserve;
4. the efficient design and layout of carparking, vehicle manoeuvring, and garaging;
5. the incorporation and enhancement of existing landscape and water features;
6. the external appearance of the health facility and how it respects the character and amenity values of the area, including building colours and materials, roof pitch and the effect and form of façade modulation, while recognising the use and functional nature of the health facility;
7. adequacy of provision of planting for amenity and screening, enhancement of ecological and habitat values, and interface with surrounding areas. The incorporation of a minimum of 60 per



- cent indigenous endemic species into new plantings;
- 8. the effectiveness, environmental sensitivity of the stormwater management systems; and
- 9. the integration of the stormwater management systems with the Council's drainage network.

### **14.9.32 Vehicular access - Prestons Road retirement village overlay**

Whether vehicle access for the whole site is appropriate taking into account:

1. the actual or potential level of vehicle and pedestrian traffic likely to be generated from the proposed access;
2. adverse effects on the traffic use of the access on the traffic function or safety of Prestons Road or both;
3. adequate mitigation for the adverse effects of additional vehicle movements on the access; and
4. safe ingress and egress in relation to site distances at the access from Prestons Road with reference to the Austroads Guide.

### **14.9.33 Special setback provision - Residential Suburban Zone Wigram**

Whether the location, form and function of the outdoor living area is appropriate taking into account:

1. adverse effects on the outdoor living needs of the likely future residents of the site;
2. any alternative provision on, or in close proximity to, the site for outdoor living space to meet the needs of likely future residents of the site;
3. adequacy of mitigation of potential adverse reverse sensitivity effects on current Royal New Zealand Air Force functions and operations through the location of outdoor living space, windows and the provision of fencing and/or landscaping;
4. adequacy of mitigation of adverse effects from current Royal New Zealand Air Force functions and operations through the location of outdoor living space, windows and the provision of fencing and/or landscaping; and
5. adequacy of glazing, window design and location in mitigating the potential adverse effects from current Royal New Zealand Air Force functions and operations.

### **14.9.34 Lyttelton Port influences overlay**

Whether the development is appropriate taking into account:

1. increased potential for reverse sensitivity effects, including complaints, on the port activities resulting from residential outdoor living area activities; and
2. any other methods to reduce the potential for reverse sensitivity effects on the port operator, other than the required acoustic insulation, that have been or can be incorporated into the design of the proposal.

### **14.9.35 New neighbourhood development**

Whether:





1. the residential unit type:
  - a. is appropriate for the allotment layout; and
  - b. contributes to an acceptable mix of residential unit types as specified in the relevant Outline Development Plan.
2. the development's relationship with the wider area:
  - a. reinforces or complements the scale and character anticipated for the surrounding area and other built, natural, heritage and cultural features;
  - b. is designed to minimise the visual bulk of the buildings and provide a human scale; and
  - c. provides a high level of internal and external amenity for occupants, neighbours and public.
3. the development engages with and contributes to the street, and any access lane or adjacent open space to make them lively, safe and attractive public, or publically accessible, places.

### **14.9.36 New neighbourhood North Halswell development and redevelopment of Spreydon Lodge**

Deferred

### **14.9.37 Assessment matters for restricted discretionary activities - Enhanced Development Mechanism and Community Housing Redevelopment Mechanism**

Whether the development, while bringing change to existing environments, is appropriate to its context taking into account:

1. engagement with and contribution to adjacent streets and public open spaces with regard to fencing and boundary treatments, sightlines, building orientation and setback, configuration of pedestrian entrances, windows and internal living areas within buildings, and if on a corner site is designed to emphasise the corner;
2. integration of access, car parking and garaging in a way that is safe for pedestrians and cyclists, and that does not dominate the development, particularly when viewed from the street or other public spaces;
3. retention or response to existing character buildings or established landscape features on the site, particularly mature trees, which contribute to the amenity of the area;
4. appropriate response to context with respect to subdivision patterns, scale of buildings, degree of openness, building materials and design styles;
5. incorporation of Crime Prevention Through Environmental Design (CPTED) principles, including effective lighting, passive surveillance, management of common areas and clear demarcation of boundaries and legible entranceways;
6. residential amenity for occupants and neighbours, in respect of outlook, privacy, noise, odour, light spill, weather protection, and access to sunlight, through site design, building, outdoor living and service/storage space location and orientation, internal layouts, landscaping and use of screening;
7. creation of visual quality and interest through the separation of buildings, variety in building form, distribution of walls and openings, and in the use of architectural detailing, glazing, materials, and





colour;

8. incorporation of environmental efficiency measures in the design, including passive solar design principles that provide for adequate levels of internal natural light and ventilation; and
9. specified staging and timing requirements to ensure development is undertaken in a coordinated and timely fashion;

And in addition for the Community Housing Redevelopment Mechanism:

10. contribution to delivering any relevant area Master Plan or other opportunities to improve the local area.

## 14.10 Appendices

### 14.10.1 Appendix - Measurement and assessment of noise

1. The measurement of noise shall be in accordance with NZS 6801:1991, 'Measurement of Sound' and assessed in accordance with NZS 6802:1991, 'Assessment of Environmental Sound'.
2. For the purposes of administering these rules the following meanings shall apply:
  - a. dBA means the A-frequency weighted sound pressure level in decibels relative to a reference sound pressure of 20 micro pascals.
  - b. L10 means the L10 exceedance level set in A-weighted decibels which is equalled or exceeded ten percent of the measurement time.
  - c. Lmax means the period of time between 10pm and 7am the following day.
  - d. Night-time means the period of time between 10 pm and 7 am the next day.
  - e. Long-term average sound level shall be the time-average sound level (day-night level) Ldn and shall be determined from the inverse-logarithmic mean of the measured Ldn level for each day over any five day period in a week.
  - f. The 'notional boundary' of any boundary shall be 20 metres from the façade of that dwelling, or the legal boundary of the site where this is closer to the boundary.

Minimum construction requirements for all central city zones

	Building Element	Minimum Construction Requirement
1.	External walls of habitable spaces.	<p>a. Walls with cladding: Minimum not to be less than 25kg/m<sup>2</sup> being the combined mass of external and internal linings excluding structural elements (e.g. window frames or wall studs).</p> <p>Assumes minimum 100mm wall cavity. Minimum exterior cladding to be 20mm timber or 9mm compressed fibre cement sheet over timber frame (100mm x 200mm). Fibrous acoustic blanket (Batts or similar) required in cavity for all exterior walls. Interior: One layer of 13mm gypsum plasterboard.</p>

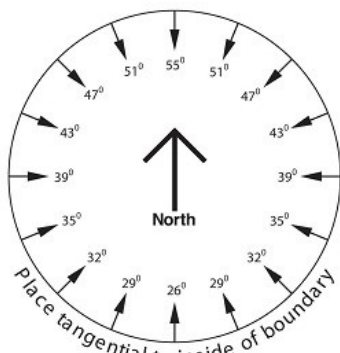


	Building Element	Minimum Construction Requirement
		<p>Mass walls: 190mm concrete block, strapped and lined internally with 9.5mm gypsum plaster board OR 150mm concrete wall.</p> <p><b>Note:</b> <sup>1</sup> (e.g. brick veneer or minimum 25mm stucco plaster), internal wall linings need to be no thicker than 10mm gypsum plasterboard.  <sup>2</sup>Where exterior wall cladding has a mass of greater than 25kg/m.</p>
2.	Windows of habitable spaces.	<p>a. Windows of up to 35% of floor area: 10/12/6 double glazing or 14mm laminate glass or glazing systems of equivalent acoustic performance.</p> <p>b. Window areas greater than 35% of floor area will require a specialist acoustic report to show conformance with the insulation rule.</p> <p>c. Frames to be new aluminium window frames with compression seals or equivalent.</p>
3.	Pitched roof.	<p>a. Cladding: 0.55mm profiled steel or tiles or 6mm corrugated fibre cement.</p> <p>Frame: Timber truss with 100mm acoustic blanket. Fibrous acoustic blanket (Batts or similar) required for all ceilings with combined mass of less than 25 kg/m <sup>1</sup>.</p> <p>Ceiling: 13mm gypsum plaster board.</p> <p><b>Note:</b> (e.g. brick veneer or minimum 25mm stucco plaster), internal wall linings need to be no thicker than 10mm gypsum plasterboard.</p>
4.	Skillion roof.	<p>a. Cladding: 0.55mm profiled steel or 6mm fibre cement.</p> <p>Sarking: 20mm particle board (no gaps).</p> <p>Frame: 100mm gap with acoustic blanket.</p> <p>Ceiling: two layers of 9.5mm gypsum plaster board (no through ceiling lighting penetrations unless correctly acoustically rated).</p> <p>Fibrous acoustic blanket (Batts or similar) required for all ceilings with combined mass 25kg/m <sup>1</sup>.</p> <p><b>Note:</b> (e.g. brick veneer or minimum 25mm stucco plaster), internal wall linings need to be no thicker than 10mm gypsum plasterboard.</p>
5.	External Door to habitable spaces.	<p>a. Solid core door (min 24kg/m <sup>1</sup> ) with weather seals (where the door is exposed to exterior noise).</p> <p><b>Note:</b> (e.g. brick veneer or minimum 25mm stucco plaster), internal wall</p>



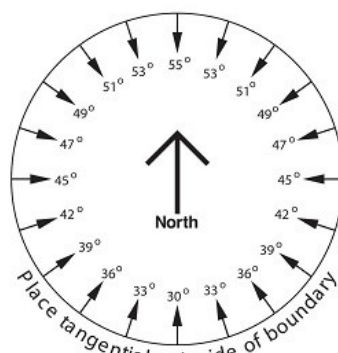
	<b>Building Element</b>	<b>Minimum Construction Requirement</b>
		linings need to be no thicker than 10mm gypsum plasterboard.
<p><b>Note:</b></p> <ol style="list-style-type: none"> <li>1. Compliance with ventilation requirements of any other Act and these District Plan noise insulation requirements shall be concurrent. Ventilation should be provided in accordance with the provisions of the New Zealand Building Code G4 in a manner which does not compromise sound insulation. To this effect, relying on opening windows for ventilation will compromise the sound insulation performance provided by the District Plan standard. Alternative ventilation methods such as mechanical ventilation or passive methods should be considered. Inlets and outlets for passive and mechanical ventilation systems, and ventilation ductwork, are to be designed to incorporate acoustic insulation to ensure that the acoustic performance of the building facade achieves a minimum noise reduction consistent with Rule 1.3.4 in Part 11.</li> <li>2. In determining the insulation performance of roof/ceiling arrangements, roof spaces are assumed to have no more than the casual ventilation typical of the jointing, capping and guttering detail used in normal construction.</li> </ol>		

## **14.10.2 Appendix - Recession planes**



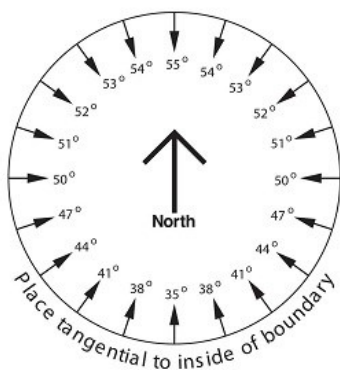
A Applicable to all buildings:

- in the Residential Suburban Zone
- on sites in other non residential zones that adjoin the Residential Suburban Zone



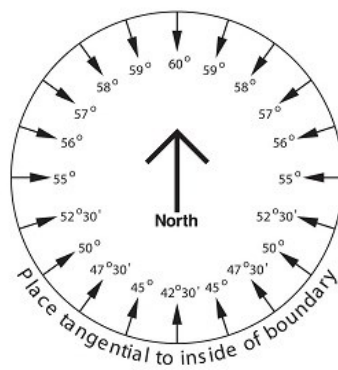
B Applicable to all buildings:

- Residential Suburban Density Transition Zone
- On sites on other non residential zones that adjoin the Residential Suburban Density Transition Zone



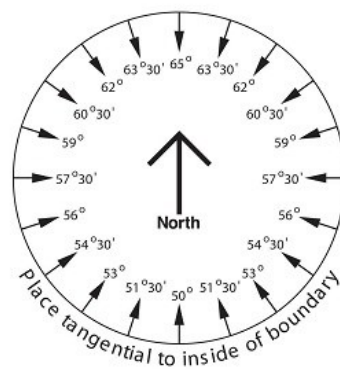
C Applicable to all buildings:

- in the Residential Medium Density Zone
- on sites in other non residential zones that adjoin the Residential Medium Density Zone



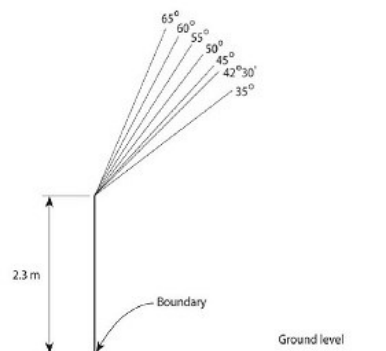
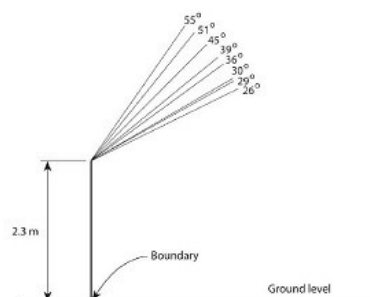
D Applicable to all buildings:

- in the medium density higher height limit zones
- on sites in other non residential zones that adjoin the medium density higher height limit zones
- in the medium density higher height limit zones (except those buildings over 11 metres in height)
- on sites in other non residential zones that adjoin the medium density (except those buildings over 11 metres in height)



E Applicable to all buildings:

- over 11 metres in height in the medium density higher height limit zones
- over 11 metres in height on sites in other non residential zones that adjoin the medium density higher height limit zones



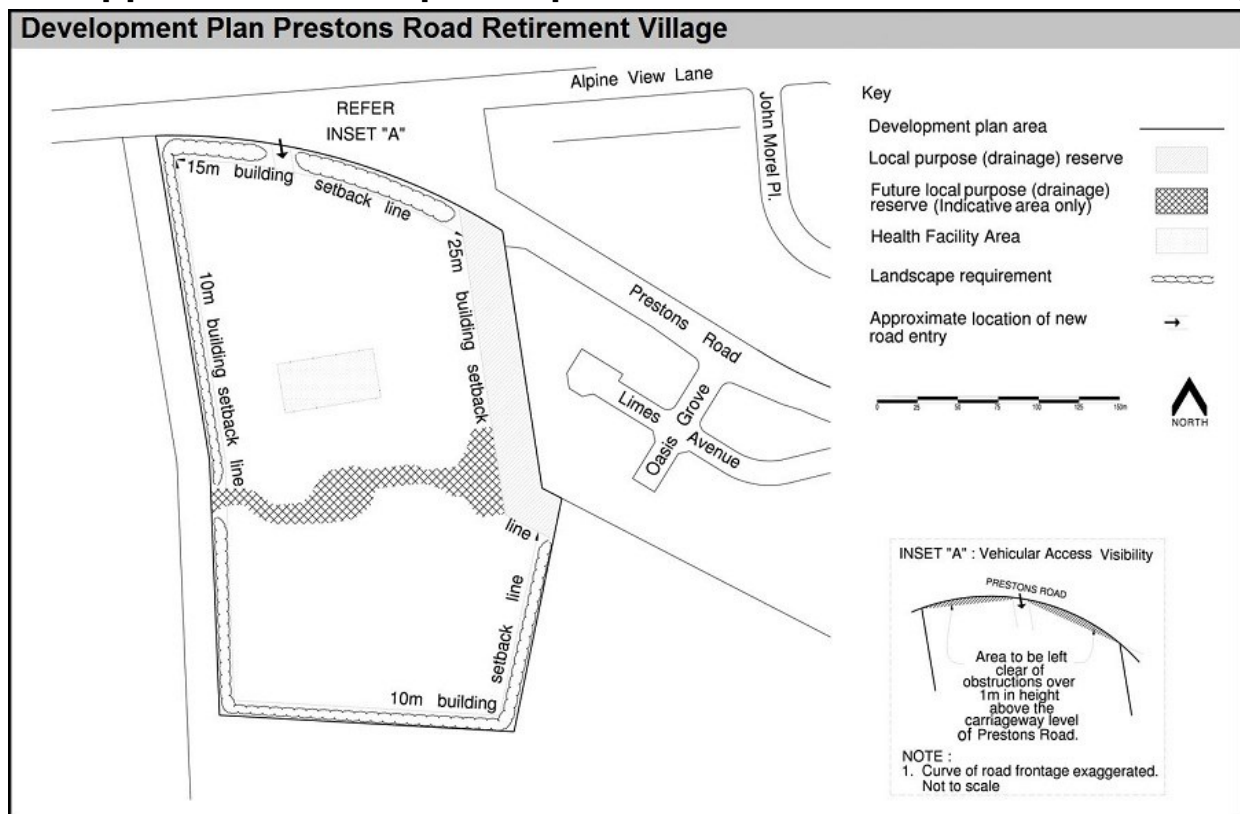
Note: North is true north

**Note:** The following intrusions are permitted:

1. Gutters and eaves by up to 0.2 metres;

2. Solar panels up to two metres in length per boundary;
3. Chimneys, ventilation shafts, spires, poles and masts (where poles and masts are less than nine metres above ground level), provided that the maximum dimension thereof parallel to the boundary for each of these structures shall not exceed one metre.
4. Lift shafts, stair shafts, and roof water tanks provided that there is a maximum of one intrusion of a lift shaft or stair shaft or roof water tank (or structure incorporating more than one of these) permitted for every 20 metre length of internal boundary and the maximum dimension thereof parallel to the boundary for this structure shall not be 20 metres, and provided that for buildings over three storeys, such features are contained within or are sited directly against the outside structural walls.
5. Where a single gable end with a base (excluding eaves) of 7.5 metres or less faces a boundary and a recession plane strikes no lower than half way between the eaves and ridge line, the gable end may intrude through the recession plane.

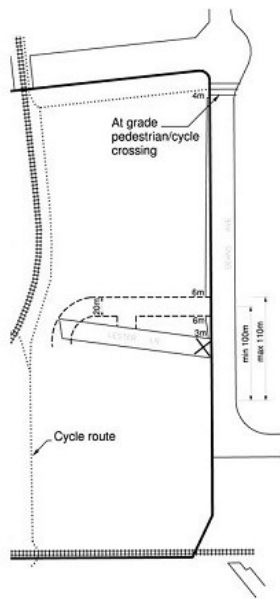
### 14.10.3 Appendix - Development plan Prestons Road Retirement Village



### 14.10.4 Appendix - Development plan Addington



Development Plan Addington



Key

Development plan area



Cycle route



Indicative location of new roads



Section of existing road to be widened



Existing roads to be closed



Where any development involves the closure of those sections of road so identified, the Council will initiate the appropriate procedures under the Local Government Act.

Scale 1:5,000

