

Chapter 14 Residential (part)

The review of the urban residential zones and rules have been divided to two stages. This Stage 1 review of the Residential Chapter 14 encompasses:

1. a review of all of the:
 - a. Living 1, Living 2, Living 3 and Living 4 zones (where the Living 4 zones sit outside the Central City) and the Objectives Policies and Rules that relate to them – except those that are subject to the Canterbury Earthquake Authority's 'Red Zones'.
 - b. Banks Peninsula Residential Zone and the Objectives Policies and Rules that relate to them.
2. a partial review of the Banks Peninsula Conservation Zones and their associated objectives, policies and rules. This review did not include Objectives Policies and Rules and design guides that relate to additions alterations and demolition of existing buildings.
3. the introduction of a Residential New Neighbourhood Zone for new greenfield residential development.
4. the rezoning of some completed Living G developments to Residential Suburban and Residential Medium Density Zone.

The Stage 2 review of the Residential Chapter 14 will review:

Stage 2 of the review of the Residential Chapter 14 encompasses:

1. Objectives Policies and Rules and design guides that relate to additions alterations and demolition of existing buildings and new buildings in the Banks Peninsula Conservation Zone.
2. Special Amenity Areas (SAMs) and the Objectives Policies and Rules that relate to them.
3. Living Hill Zones and the Objectives Policies and Rules that relate to them.
4. Living Rural Settlement Zones and the Objectives Policies and Rules that relate to them.
5. Living Rural Village Zones and the Objectives Policies and Rules that relate to them.
6. Banks Peninsula Small Settlements Zones and the Objectives Policies and Rules that relate to them.
7. Living 5 Travellers Accommodation Zones and the Objectives Policies and Rules that relate to them.
8. Living Greenfield Zone and the Objectives Policies and Rules that relate to them.
9. Living Taylors Mistake Bach Zone and the Objectives Policies and Rules that relate to them.
0. Greenfield Priority Areas under the Canterbury Regional Policy Statement Chapter 6 that are currently rural zoned.

1. Objectives Policies and Rules and design guides that relate to additions alterations and demolition of existing buildings and new buildings in the Banks Peninsula Conservation Zone.
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5. Living Rural Village Zones and the Objectives Policies and Rules that relate to them.
6. Banks Peninsula Small Settlements Zones and the Objectives Policies and Rules that relate to them.
7. Banks Peninsula Papakainga Zones and the Objectives Policies and Rules that relate to them.
8. Living 5 Travellers Accommodation Zones and the Objectives Policies and Rules that relate to them.
9. Living Greenfield Zone and the Objectives Policies and Rules that relate to them.
0. Living Tailors Mistake Bach Zone and the Objectives Policies and Rules that relate to them.

1. Living Zones subject to the Canterbury Earthquake Authority's 'Red Zones'.

Note also that until such time as a final direction (or directions) from the Hearings Panel to amend the City Plan is made then the currently operative District Plan provisions in both the Christchurch City Plan and the Banks Peninsula District Plan remain in effect.

14.1 Objectives and Policies

14.1.1 Objective - Housing supply

- a. An increased supply that will:
 - i. enable a wide range of housing types, sizes, and densities;
 - ii. meet the diverse needs of the community in the immediate recovery period; and longer term, including social and temporary housing options; and
 - iii. assist in improving housing affordability.

14.1.1.1 Policy - Location density and type of housing

- a. Ensure:
 - i. high density residential development in the Central City that achieves a net density of 50 households per hectare;
 - ii. existing medium density residential areas achieve a net density of 30 households per hectare;
 - iii. new residential medium density development is immediately available and located within and around suitable Key Activity Centres and larger neighbourhood centres where it meets the following criteria:
 - A achieves a net density of 30 households per hectare;
 - B accessible to a public transport mode;
 - C within a 400 metre walkable distance of a selected Key Activity Centre or larger suburban commercial centre;
 - D able to be efficiently serviced by Council owned stormwater, wastewater and water supply networks;
 - E located outside Special Amenity Areas unless the potential adverse effects of increased density on the unique residential character and amenity of these areas can be mitigated;
 - F in close proximity to existing parks or open space, or where there is a local deficiency of parks and open space, this is able to be efficiently addressed to support medium density development;
 - G is located outside of high hazard areas and/or those areas where the adverse environmental effects of land remediation outweigh the benefits; and
 - H there is adequate potential for the land to be redeveloped and yield 30hh/ha based on the age of the housing stock and the presence of sufficient vacant land, property amalgamation potential, and large sites that have not been redeveloped in the last 20 years;
 - iv. low and medium residential density development in greenfield neighbourhoods achieves a net density of 15 households per hectare;
 - v. greenfield land is available for further residential development up to 2028; and
 - vi. low density residential environments in other existing suburban residential areas, and in the residential areas of Banks Peninsula, are maintained, but limited apartments are provided for smaller residential units that are compatible with the low density suburban environment.

Note: This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

14.1.1.2 Policy - Provision of social housing

- a. Enable small scale medium density social housing developments throughout the residential area.

Note: This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

14.1.1.3 Policy - Non-Household residential accommodation

- a. Enable sheltered housing, refuges, and student hostels to locate throughout residential areas, provided that the building scale, massing, and layout is compatible with the anticipated character of any surrounding residential environment.

Note: This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

14.1.1.4 Policy- Provision of retirement villages

- a. Provide for comprehensively designed and well located higher density accommodation options and accessory services for older people and those requiring care or assisted living, throughout all residential zones.

Note: This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

14.1.1.5 Policy - Recovery housing

- a. Provide for a range of additional housing opportunities to meet residential recovery needs through redevelopment and additions to the existing housing stock and/or vacant land, that:
 - i. are consistent with the anticipated character of any surrounding residential environment;
 - ii. are visually and physically subordinate to the principal dwelling;
 - iii. does not adversely affect pedestrian safety and efficiency of traffic movements within the street; and
 - iv. are appropriately laid out and designed to provide a high level of residential amenity and meet the functional needs of residents both in the short and the long term.

Note: This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

14.1.1.6 Policy - Recovery housing - higher density comprehensive redevelopment

- a. Enable higher density comprehensive redevelopment of larger and suitably located sites within lower and medium density residential areas whilst ensuring that this development:
 - i. achieves high quality urban design and on-site amenity;
 - ii. has appropriate access to local services and facilities;
 - iii. integrates with, and is compatible with, the anticipated character and amenity of the surrounding residential environment;
 - iv. provides a range of housing types and sizes;
 - v. can be adequately serviced with infrastructure; and
 - vi. is located in an area where tsunami inundation hazard can be avoided and other natural hazards appropriately mitigated.

Note: This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

14.1.1.7 Policy - Recovery housing - social housing redevelopment

- a. Enable comprehensive redevelopment of social housing in areas where:
 - i. natural hazards can be adequately mitigated;
 - ii. adequate infrastructure services and capacity are available; and
 - iii. reverse sensitivity effects on existing industrial areas are managed.

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- b. Ensure social housing redevelopment achieves:
 - i. high quality urban design and on-site amenity;
 - ii. development integrated and sympathetic with the amenity of adjacent neighbourhoods and adjoining sites;
 - iii. the stock of community housing units being maintained or increased;
 - iv. increased residential density; and
 - v. an increased range of housing types, including housing for lower income groups and those with specific needs.

Note: This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

14.1.1.8 Policy - Temporary infringement for earthquake repairs

- a. Enable temporary infringement of some built form standards to facilitate the timely completion of repairs to earthquake damaged houses and ancillary buildings.

Note: This policy also applies to Objectives [14.1.2](#) and [14.1.3](#).

14.1.1.9 Policy - Small Settlements of Kainga and Spencerville

- a. Provide for limited residential redevelopment and infill of the existing small settlement areas that:
 - i. complements and does not detract from the surrounding neighbourhood;
 - ii. avoids locations with significant risks to life-safety and property damage from natural hazards;
 - iii. is able to be efficiently serviced by public infrastructure.

14.1.2 Objective - Residential recovery needs

- a. Short-term residential recovery needs are met by providing opportunities for:
 - i. an increased supply throughout the lower and residential medium density areas;
 - ii. higher density comprehensive redevelopment of sites within suitable lower and residential medium density areas;
 - iii. medium density comprehensive redevelopment of community housing environments; and
 - iv. new neighbourhood areas in greenfields priority areas.

Note: Policies [14.1.1.1](#), [14.1.1.2](#), [14.1.1.3](#), [14.1.1.4](#), [14.1.1.5](#), [14.1.1.6](#), [14.1.1.7](#) and [14.1.1.8](#) also apply to Objective 14.1.2

14.1.3 Objective - Housing distribution and density

- a. A distribution of different density areas with:
 - i. increased density of residential development in and around the Central City and identified commercial centres where there is ready access to a wide range of facilities, services, public transport, parks and open spaces;
 - ii. limited additional infill housing in other existing suburban areas to maintain a low density, open and landscaped environment;
 - iii. a mix of housing densities in New Neighbourhood areas;
 - iv. medium density residential development in suitable brownfield areas and on larger suburban residential sites where external impacts on the surrounding areas can be mitigated; and
 - v. integrated provision of infrastructure.

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Note: Policies [14.1.1.1](#), [14.1.1.2](#), [14.1.1.3](#), [14.1.1.4](#), [14.1.1.5](#), [14.1.1.6](#), [14.1.1.7](#) and [14.1.1.8](#) also apply to Objective 14.1.3

14.1.4 Objective - Strategic infrastructure

- a. Residential development that does not adversely affect the efficient operation, use, and development of Christchurch International Airport and Port of Lyttelton, and other strategic infrastructure.

14.1.5 Objective - High quality residential environments

- a. High quality, sustainable, residential neighbourhoods which are well designed, have a high level of amenity, and enhance local character.

Note: Policies [14.1.7.1](#), [14.1.7.2](#), [14.1.7.3](#), and [14.1.7.5](#) also apply to objective 14.1.5.

14.1.5.1 Policy - Neighbourhood character, amenity and safety

- a. Ensure individual developments achieve high quality residential environments in all residential areas by:
 - i. reflecting the context, character, and scale of building anticipated in the neighbourhood;
 - ii. contributing to a high quality street scene;
 - iii. providing a high level of internal and external amenity;
 - iv. minimising noise effects from traffic and other sources where necessary to protect residential amenity;
 - v. providing safe, efficient, and easily accessible movement for pedestrians, cyclists, and vehicles; and
 - vi. incorporating principles of crime prevention through environmental design.

14.1.4.1 Policy - Avoidance of adverse effects on strategic transport infrastructure

- a. Avoid reverse sensitivity effects on strategic transport infrastructure including:
 - i. Christchurch International Airport;
 - ii. the major and minor arterial road network; and
 - iii. the Port of Lyttelton.

14.1.5.2 Policy - Scale of home occupations

- a. Ensure home occupation activity is secondary in scale to the residential use of the property.

14.1.5.3 Policy - Character of low and medium density areas

- a. Ensure that:
 - i. low density residential areas are characterised by a low scale open residential environment with predominantly one or two storey detached or semi detached housing, and significant opportunities for landscaping and good access to sunlight and privacy are maintained; and
 - ii. medium density areas are characterised by medium scale and density of buildings up to two or three stories, including semi-detached and terraced housing and low rise apartments, and landscaping in publicly visible areas, while accepting that access to sunlight and privacy may be limited by the anticipated density of development.

14.1.5.4 Policy - Best practice for health, building sustainability, energy and water efficiency

- a. Ensure that all new residential buildings:
 - i. provide for occupants' health, changing physical needs, and life stages; and
 - ii. are energy and water efficient.

14.1.5.5 Policy - Neighbourhood character and residential amenity in residential areas of Banks Peninsula

- a. Ensure high quality residential character and amenity is achieved through development that:
 - i. does not visually dominate views;
 - ii. maintains the landscape setting;
 - iii. protects and enhances Ngāi Tahu manawhenua cultural values; and
 - iv. provides access to mahinga kai and places of cultural significance to manawhenua.

14.1.5.6 Policy - Heritage values in residential areas of Lyttelton and Akaroa

- a. Conserve the residential historic heritage values of identified areas in Lyttelton and Akaroa by:
 - i. providing limited opportunity for additional households;
 - ii. ensuring that new buildings are of a similar scale, size and height as existing residential dwellings in the area;
 - iii. ensuring that subdivision creates lots that are consistent with the historic development pattern that exists in the area;
 - iv. ensuring that new buildings and modification to buildings, including their setting, complement and are compatible with the:
 - A architectural style;
 - B era;
 - C form and proportions;
 - D façade line of buildings in the area;
 - E layout on the site;
 - F landscape context; and
 - v. ensuring engagement with manawhenua on the protection of waahi tapu and wahi taonga and others with knowledge and expertise on natural and cultural heritage.

14.1.5.7 Policy - Residential development on the Port Hills

- a. Ensure that the development of greenfield land on that part of the Port Hills facing the Christchurch main urban area complements the natural landform and character of the hillside by ensuring that development:
 - i. has a backdrop of a natural landform or vegetation when viewed from the flat land and coastline/coastal environment;
 - ii. avoids buildings and structures on significant and outstanding skylines;
 - iii. is of a density that provides ample opportunity for tree and garden planting to reduce the visual dominance of buildings within the hillside landscape
 - iv. integrates well with existing residential areas and where possible provides connections to public open space;
 - v. has regard to the location and scale of the principle building to reduce its visual dominance on the landscape;
 - vi. if adjoining significant and outstanding natural landscape, conservation and biodiversity areas, remains compatible with these areas; and

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- vii. where possible provides access to mahinga kai and places of cultural significance.

14.1.5.8 Policy - Residential Character Areas

- a. Maintain and enhance the identified special character values of residential areas arising from the following elements:
 - i. the form and pattern of subdivision, open space, buildings and streetscape; and
 - ii. the topographic qualities and distinctive landforms or features that contributed to the development of the landscape and built form; and
 - iii. the landscape qualities which display a special blend of natural and built features including extent of open space, established planting and constructed landscape features such as walls, paths and structures; and
 - iv. the continuity or coherence of the special character, particularly in regard to the architectural values of buildings which contribute to the special character, and interface with, and scale of, the streetscape.
- b. Ensure individual developments are designed to:
 - i. avoid vehicle access, car parking and garaging that conflicts with the context and traditional streetscape of the area; and
 - ii. avoid fencing that reduces the quality of the interface between public and private space and the quality of the streetscape; and
 - iii. maintain a high level of integrity in respect to the character elements identified in each area; and
 - iv. be compatible with existing buildings within the same context of the of new buildings or modifications to buildings, in relation to, their location on the site, their scale, massing, form, proportions, material and colour .

14.1.5.9 Policy - Residential Baches

- a. Provide for a new bach area at Taylors Mistake to enable the relocation and/or replacement of a limited number of baches for temporary occupation, that are required to be removed from their existing location due to risks from hazards, their impediment to public access and/or adverse effect on the outstanding natural landscape.

14.1.6 Objective - Comprehensive planning for new neighbourhoods

- a. Promote new residential developments in priority greenfield residential growth areas that are comprehensively planned so that they are environmentally and socially sustainable over the long term.

14.1.6.1 Policy - Comprehensive development

- a. Ensure that new neighbourhoods are comprehensively planned and designed through development of, and giving effect to, an overarching vision that:
 - i. responds positively to the local context of each area;
 - ii. produces short and long-term positive environmental, social, and manawhenua outcomes;
 - iii. fully integrates subdivision layout with potential land use;
 - iv. integrates residential development with the concurrent supporting range of local community facilities and services that support residents' daily needs;
 - v. achieves an efficient and effective staging of the provision and use of infrastructure, stormwater management networks, parks, and open space networks that is integrated with land use development;
 - vi. provides good access to facilities and services by a range of transport modes through the provision of integrated movement networks of roads, public transport, cycle, and pedestrian routes;

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- vii. shows infrastructure and movement routes that are fully integrated with existing adjacent communities and enables connectivity with other undeveloped areas;
 - viii. avoids or adequately mitigates risks from natural hazards and geotechnical characteristics of the land;
 - ix. remediates contaminated land;
 - x. utilises opportunities to enhance tangata whenua values, particularly indigenous biodiversity and mahinga kai;
 - xi. recognises Ngāi Tahu cultural and traditional associations with the Otautahi landscape; and
 - xii. avoids interim land use and development compromising the integrity and viability of infrastructure provision and community development.
- b. Rezone all Greenfield Priority Areas in the Canterbury Regional Policy Statement Chapter 6 to:
- i. enable land use development and subdivision to occur to the required densities and in accordance with Outline Development Plans; and
 - ii. provide direction for the development and review of Council's Long Term Plan and supporting Capital Works Programme to include new and required improvements to public infrastructure that facilitates the staged development of these areas to meet the household targets under 3.3.4 Objective Housing capacity and choice.

14.1.6.2 Policy - Higher density housing location

- a. Ensure that some higher density housing is located to support, and have ready access to, commercial centres and public transport, and to provide opportunities for walking and cycling, and ready access to open space.

14.1.6.3 Policy - Higher density housing to support papakainga development

- a. Ensure that opportunities are provided for higher density papakainga housing.

14.1.6.4 Policy - Neighbourhood Centres scale and location

- a. Provide appropriately sized Neighbourhood Centres to enable residents and visitors to meet their day-to-day needs.

14.1.6.5 Policy - Parks and open space networks

- a. Ensure that a variety of integrated public parks and open space areas:
- i. are provided to meet differing community needs;
 - ii. are within walkable distance for all residents; and
 - iii. provide open space links to enhance biodiversity and flora and fauna corridors with recreational and access opportunities.

14.1.6.6 Policy - Stormwater networks

- a. Ensure that stormwater management:
- i. utilises “soft” engineered solutions that limits stormwater loads on waterways and enables the development of multi-purpose amenity areas that integrate with the parks and open space networks;
 - ii. improves water quality and infiltration;
 - iii. reduces the potential for bird strike to aircraft;
 - iv. encourages stormwater swales, wetlands, and retention basins planted in native species (rather than left as grass) that are appropriate to the specific use, recognising the ability of particular species to absorb water and filter waste;

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and

- v. has sufficient capacity to meet the required level of service in the infrastructure design standard.

14.1.6.7 Policy - Transport network

- a. Ensure accessibility and connectivity for all modes of transport through:
 - i. a well-connected cycle and pedestrian network that is integrated with the park and stormwater networks;
 - ii. a public transport route through the neighbourhood along main through-roads that are easily accessible to residents, and that, in particular, connects with any neighbourhood or larger commercial centres; and
 - iii. a roading network that is easy to navigate through.

14.1.6.8 Nga kaupapa / Policy - Protection and enhancement of sites, values and other taonga of significance to tangata whenua

- a. Ensure:
 - i. protection of sites, values and other taonga of cultural significance to Ngāi Tahu using culturally appropriate methods;
 - ii. identification and utilisation of opportunities to enhance sites, values and other taonga of cultural significance to Ngāi Tahu; and
 - iii. protection of the relationship of tangata whenua with freshwater, including cultural well-being and customary use opportunities.

14.1.6.9 Policy - Separation of incompatible activities

- a. Ensure adverse effects (including reverse sensitivity) on existing businesses, strategic infrastructure, and rural activities are avoided or adequately mitigated.

14.1.6.10 Policy - Protection and enhancement of natural features and amenity

- a. Ensure that development complements and enhances amenity, Ngāi Tahu manūwhenua cultural values, recreational, heritage and ecological indigenous biodiversity features and values, particularly for conservation areas, rivers and streams.

14.1.7 Objective - Non-Residential activities

- a. Residential activities remain the dominant activity in the residential zones, excluding within defined arterial locations, and any non-residential activities meet only local community needs, and are compatible with, and can be accommodated within, residential areas.

14.1.7.1 Policy - Residential character

- a. Ensure that non-residential activities have minimal adverse effects on residential coherence, character, and amenity.

Note: This policy also applies to Objective [14.1.5](#)

14.1.7.2 Policy - Local community facilities and services

- a. Ensure that community facilities and services within residential areas are limited to those that meet only local community needs.

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Note: This policy also applies to Objective [14.1.5](#)

14.1.7.3 Policy - Existing non-residential activities

- a. Enable existing non-residential activities to continue and limit further on-site redevelopment of non-residential activities.

Note: This policy also applies to Objective [14.1.5](#)

14.1.7.4 Policy - Retailing in residential zones

- a. Ensure that small scale retailing is limited in type and location to appropriate corner sites on higher order streets in the road hierarchy.

14.1.7.5 Policy - Memorial Avenue and Fendalton Road

- a. Maintain the war memorial and visitor gateway roles of Memorial Avenue and Fendalton Road and their very high amenity values, by avoiding the establishment of non-residential activities and associated signage and vehicle parking on sites in residential zones with frontage to these roads.

Note: This policy also applies to Objective [14.1.5](#)

14.1.7.6 Policy - Non Residential Activities in Arterial Corridors

- a. Provide for a mix of medium density housing, community facilities and guest accommodation within defined arterial locations that:
 - i. are within walking distance of the central city and suburban commercial centres;
 - ii. front onto core public transport routes; and
 - iii. do not have a high level of residential coherence due to existing non-residential development.

14.1.8 Residential development in Banks Peninsula

- a. Growth of and changes to residential townships and settlements:
 - i. improves the long term sustainability and viability of the township, settlement and their communities;
 - ii. are compatible with, capture and reflect the unique rural identity, coastal and settlement character of Banks Peninsula;
 - iii. improves the areas' resilience to future risks to life-safety and property damage from natural hazards; and
 - iv. is innovative and enhances environmental values.

14.1.8.1 Policy - Character, amenity and identity of Banks Peninsula

- a. Require residential development within townships, settlements and residential large lot developments to:
 - i. complement and not detract from the surrounding cultural, landscape, historic, coastal and rural values, character and views;
 - ii. respect the existing townscape character through compatible street, subdivision and site layout and design;
 - iii. maintain and enhance the particular character of the township through buildings of a scale, size and height, placement on their site, form, materials and colour compatible with the wider townscape;
 - iv. incorporate visual and physical links to features and character elements;

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- v. consider at the time of subdivision the location of the principal building on the site to avoid any adverse visual impact on the landscape and views from other residential properties and public places including from the water;
- vi. be set within and not dominate natural landforms and vegetation;
- vii. provide ample opportunity for tree and garden planting; and
- viii. where possible provide access to mahinga kai and places of cultural significance.

14.1.8.2 Policy - Residential townships in Banks Peninsula

- a. Ensure that residential development within and adjacent to the residential townships of Lyttelton, Diamond Harbour, Akaroa, Duvauchelle and Wainui:
 - i. maintains a consolidated urban form by requiring new development to locate adjacent to and integrate with existing urban areas; and
 - ii. where adjacent, occurs through small incremental changes to the existing residential boundary rather than large scale development (10+ lots) unless there is existing capacity in infrastructure;
 - iii. provides new housing opportunities in locations that are not subject to significant risks to life-safety and property damage from natural hazards;
 - iv. provides for a range of non-residential activities that meet local community needs that is compatible with the surrounding residential environment; and
 - v. results in innovative design and sustainable land-use development.

14.1.8.3 Policy - Small settlements in Banks Peninsula

- a. Encourage innovative design and sustainable land-use and subdivision development within and directly adjacent to existing residential small settlements by:
 - i. consolidating development around an existing small settlement to achieve a compact settlement form to avoid ribbon residential building development along the coastline, buildings and structures on important skylines, and to protect the rural resource;
 - ii. providing new housing opportunities avoiding locations with significant risks to life-safety and property damage from natural hazards;
 - iii. providing for non-residential activities that support the local settlement and surrounding rural community needs, whilst remaining compatible with the small settlement environment;
 - iv. ensuring new development can be efficiently serviced by public infrastructure or private infrastructure that where possible improves environmental conditions;
 - v. ensuring new development maintains and enhances those rural and/or coastal character elements that are distinct and unique to each small settlement, such as:
 - A the setting of buildings within a highly vegetated hillside landscape in Governors Bay, Robinsons Bay, and the hillslopes of Little Akaloa and Takamatua;
 - B in Purau and Pigeon Bay, the absence of buildings on the surrounding hillsides and along the coastline;
 - C the predominantly open space and rural character of Little River, Cooptown, Kukupa, Barrys Bay, French Farm, Takamatua Valley, Okains Bay;
 - D the dominance of bach-style buildings within a coastal landscape setting in Birdlings Flat, Tikao Bay, Wainui, Little Akaloa, Le Bons Bay, and along the foreshore of Takamatua.

14.1.8.4 Policy - Residential Large Lot development in Banks Peninsula

- a. Ensure new large lot development is located adjacent to existing residential townships and small settlements and that it:

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- i. integrates well with the existing residential area providing where possible recreational, open space and ecological connections to the small settlement;
- ii. achieves a compact settlement form to avoid ribbon residential building development along the coastline and buildings and structures on important skylines, and to protect the rural resource;
- iii. is able to be efficiently serviced by public infrastructure or private infrastructure that where possible improves environmental conditions; and
- iv. maintains and enhances those rural and/or coastal character elements that are distinct and unique to the local area.

14.2 Rules - Residential Suburban Zone and Residential Suburban Density Transition Zone

14.2.1 How to use the rules

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

- 14.2.1.1 *The rules that apply to activities in the Residential Suburban Zone are contained in:*
- a. *The Activity Status Tables (incl. Activity Specific Standards) in Rules [14.2.2.1](#); [14.2.2.2](#), [14.2.2.3](#), [14.2.2.4](#), and [14.2.2.5](#).*
 - b. *Built Form Standards in Rules [14.2.3.1](#), [14.2.3.2](#), [14.2.3.3](#), [14.2.3.4](#), [14.2.3.5](#), [14.2.3.6](#), [14.2.3.7](#), [14.2.3.8](#), [14.2.3.9](#), [14.2.3.10](#), [14.2.3.11](#), [14.2.3.12](#), [14.2.3.13](#), and [14.2.3.14](#).*
- 14.2.1.2 *The rules that apply to activities within the following specific areas are contained in the Area Specific Restricted Discretionary Activities Table [14.2.4.1](#), Area Specific Non Complying Activities Table [14.2.4.2](#), and Area Specific Built Form Standards Rule [14.2.4.3](#).*
- a. *Wigram, within the the area of the diagram shown on [Rule 14.2.4.3.9](#) (generally bounded by RNZAF Bequest Land, Awatea Road, and the Wigram aerodrome and runway), – [Rule 14.2.4.1 RD1](#) and [Rule 14.2.4.3.9](#).*
 - b. *Peat Ground Condition Constraint – Rules [14.2.4.1 RD5](#), [14.2.4.3.1](#), [14.2.4.3.3](#), [14.2.4.3.5](#), and [14.2.4.3.7](#).*
 - c. *Peat Ground Condition Constraint south of the Northcote – Burwood expressway, between Philpotts Road and Burwood Road - [Rule 14.2.4.1 RD2](#) and [Figure 7](#).*
 - d. *Prestons Road Retirement Village – Rules [14.2.4.1 RD3](#), [RD4](#), [RD5](#); [14.2.4.3.2](#); [14.2.4.3.3](#); [14.2.4.3.4](#); [14.2.4.3.5](#); and [14.2.4.3.8](#).*
 - e. *Adjacent to State Highway 73 (Southern Motorway) between Annex and Curletts Roads - [Rule 14.2.4.3.7](#).*
 - f. *Adjacent to State Highway 75 (Curletts Road) between the intersection with State Highway 73 and Lincoln Road - [Rule 14.2.4.3.7](#).*
 - g. *Existing Rural Hamlet - Rules [14.2.4.3.1](#), [14.2.4.3.3](#), and [14.2.4.3.7](#).*
 - h. *Stormwater capacity constraint - Rules [14.2.4.1 RD5](#), [14.2.4.3.1](#), and [14.2.4.3.5](#).*
 - i. *Boundary with Industrial Park Zone at Russley Road / Memorial Avenue - [Rule 14.2.4.3.6](#).*
 - j. *The Accommodation and Community Facilities Overlay area Rules [14.2.4](#) and [14.2.4.4.10](#).*

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14.2.1.3 *The Activity Status Tables and Standards in the following Chapters shall be complied with (where relevant):*

5	<i>Natural Hazards;</i>
6	<i>General Rules and Procedures;</i>
7	<i>Transport;</i>
8	<i>Subdivision, Development and Earthworks;</i>
9	<i>Heritage and Natural Environment;</i>
11	<i>Utilities, Energy and Infrastructure; and</i>
12	<i>Hazardous Substances and Contaminated Land.</i>

14.2.1.1 The rules that apply to activities in the Residential Suburban Zone are contained in:

- a. The Activity Status Tables (incl. Activity Specific Standards) in Rules [14.2.2.1](#); [14.2.2.2](#), [14.2.2.3](#), [14.2.2.4](#), and [14.2.2.5](#).
- b. Built Form Standards in Rules [14.2.3.1](#), [14.2.3.2](#), [14.2.3.3](#), [14.2.3.4](#), [14.2.3.5](#), [14.2.3.6](#), [14.2.3.7](#), [14.2.3.8](#), [14.2.3.9](#), [14.2.3.10](#), [14.2.3.11](#), [14.2.3.12](#), [14.2.3.13](#), and [14.2.3.14](#).

14.2.1.2 The rules that apply to activities within the following specific areas are contained in the Area Specific Restricted Discretionary Activities Table [14.2.4.1](#), Area Specific Non Complying Activities Table [14.2.4.2](#), and Area Specific Built Form Standards Rule [14.2.4.3](#).

- a. Wigram, within the the area of the diagram shown on [Rule 14.2.4.3.9](#) (generally bounded by RNZAF Bequest Land, Awatea Road, and the Wigram aerodrome and runway), – [Rule 14.2.4.1 RD1](#) and [Rule 14.2.4.3.9](#).
- b. Peat Ground Condition Constraint – Rules [14.2.4.1 RD5](#), [14.2.4.3.1](#), [14.2.4.3.3](#), [14.2.4.3.5](#), and [14.2.4.3.7](#).
- c. Peat Ground Condition Constraint south of the Northcote – Burwood expressway, between Philpotts Road and Burwood Road - [Rule 14.2.4.1 RD2](#) and [Figure 7](#).
- d. Prestons Road Retirement Village – Rules [14.2.4.1 RD3](#), [RD4](#), [RD5](#); [14.2.4.3.2](#); [14.2.4.3.3](#); [14.2.4.3.4](#); [14.2.4.3.5](#); and [14.2.4.3.8](#).
- e. Adjacent to State Highway 73 (Southern Motorway) between Annex and Curletts Roads - [Rule 14.2.4.3.7](#).
- f. Adjacent to State Highway 75 (Curletts Road) between the intersection with State Highway 73 and Lincoln Road - [Rule 14.2.4.3.7](#).
- g. Existing Rural Hamlet - Rules [14.2.4.3.1](#), [14.2.4.3.3](#), and [14.2.4.3.7](#).
- h. Stormwater capacity constraint - Rules [14.2.4.1 RD5](#), [14.2.4.3.1](#), and [14.2.4.3.5](#).
- i. Boundary with Industrial Park Zone at Russley Road / Memorial Avenue - [Rule 14.2.4.3.6](#).
- j. The Accommodation and Community Facilities Overlay area Rules [14.2.4](#) and [14.2.4.4.10](#).

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14.2.1.3 The Activity Status Tables and Standards in the following Chapters shall be complied with (where relevant):

- 5 Natural Hazards;
- 6 General Rules and Procedures;
- 7 Transport;
- 8 Subdivision, Development and Earthworks;
- 9 Heritage and Natural Environment;
- 11 Utilities, Energy and Infrastructure; and
- 12 Hazardous Substances and Contaminated Land.

14.2.2 Activity status tables

14.2.2.1 Permitted Activities

In the Residential Suburban Zone and the Residential Suburban Density Transition Zone the activities listed below are permitted activities if they comply with the Activity Specific Standards set out in this table and the Built Form Standards in [Rule 14.2.3](#).

Activities may also be restricted discretionary, discretionary, non-complying or prohibited as specified in Rules [14.2.2.3](#), [14.2.2.4](#), [14.2.2.5](#), and [14.2.2.6](#).

Activity		Activity specific standards
P1	<u>Residential Activities</u> that occur within a <u>residential unit</u> .	a. NIL.
P2	Accommodation of travellers for a tariff.	There shall be: a. a maximum of six travellers accommodated at any one time; and b. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u> .
P3	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer.	There shall be: a. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and b. at least one carer residing permanently within the <u>residential unit</u> .
P4	Relocation of a <u>residential unit</u> .	a. NIL.

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Activity		Activity specific standards
P5	<p>Conversion of an <u>elderly person's housing unit</u> existing at 6 December 2013, into a <u>residential unit</u> that may be occupied by any person(s) and without the need to be encumbered by a bond or other appropriate legal instrument.</p>	<p>Each converted unit shall have:</p> <ul style="list-style-type: none"> a. a minimum <u>gross floor area</u>, excluding terraces, <u>garages</u>, <u>sundecks</u>, and <u>verandahs</u>, of 35m²; and b. a separate <u>outdoor living space</u> readily accessible from its <u>living area</u> that is at least 30m² with a minimum dimension of 3m.
P6	<p><u>Home Occupation.</u></p>	<p>The <u>home occupation</u> shall limit:</p> <ul style="list-style-type: none"> a. the <u>gross floor area</u> of the <u>building</u> plus the area used for <u>outdoor storage area</u> occupied by the occupation to less than 40m²; b. the number of <u>FTE</u> employed persons, who reside permanently elsewhere than on the <u>site</u>, to one; c. any <u>retailing</u> to the sale of goods grown or produced on the <u>site</u>, or internet-based sales where no customer visits occur; d. the hours of operation to 50 hours per week; e. the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ul style="list-style-type: none"> i. 0900 – 2100 Monday to Friday; and ii. 0900 – 1300 Saturday, Sunday and public holidays; f. visitor or staff <u>parking area</u> to outside the <u>road boundary setback</u>; g. signage to a maximum area of 1m², except that where the activity is located on <u>sites</u> with <u>frontage</u> to Memorial Avenue or Fendalton Road there shall be no signage; and h. activity, where that activity is: <ul style="list-style-type: none"> i. open to visitors and clients; and ii. in a multiple level apartment complex; to the ground floor.

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Activity		Activity specific standards
P7	<u>Pre-schools facility.</u>	<p>The facility shall:</p> <ol style="list-style-type: none"> only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; limit outdoor play areas and facilities to those that comply with the Group 1 acoustic standard for residential zones; limit signage to a maximum area of 1m²; limit the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ol style="list-style-type: none"> 0700 – 2100 Monday to Friday, and 0700 – 1300 Saturday, Sunday and public holidays; only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u> is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block. <p>Note: See Figure 1.</p>
P8	<u>Health Care Facility.</u>	<p>The facility shall:</p> <ol style="list-style-type: none"> only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; limit signage to a maximum area of 1m²; limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100; only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.

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Activity		Activity specific standards
P9	<u>Veterinary Care Facility.</u>	<p>The facility shall:</p> <ol style="list-style-type: none"> only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial or collector road</u> where <u>right turn offset</u>, either informal or formal is available; only occupy a <u>gross floor area of building</u> of less than 200m²; limit signage to a maximum area of 1m²; limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100; only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block; and limit the boarding of animals on the <u>site</u> to four. <p>Note: See Figure 1.</p>
P10	<u>Education activity.</u>	<p>The activity shall:</p> <ol style="list-style-type: none"> only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial or collector road</u> where <u>right turn offset</u>, either informal or formal is available; only occupy a <u>gross floor area of building</u> of less than 200m²; limit signage to a maximum area of 1m²; limit the hours of operation when the <u>site</u> is open to students, or clients, and deliveries to between the hours of: <ol style="list-style-type: none"> 0700 – 2100 Monday to Saturday; and Closed Sunday and public holidays; only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block. <p>Note: See Figure 1.</p>

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Activity		Activity specific standards
P11	Temporary Military or Emergency Service Training activities.	a. NIL.
P12	Market gardens, community gardens, and garden <u>allotments</u> .	a. NIL.
P13	Storage of <u>heavy vehicles</u> .	a. No more than one vehicle shall be stored on the <u>site</u> .
P14	Dismantling, repair, or storage of motor vehicles and boats.	a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u> .
P15	Conversion of a family flat existing at 6 December 2013 into a <u>residential unit</u> that may be occupied by any person(s) and without the need to be encumbered by a legal instrument.	<p>a. Each converted flat shall have a minimum <u>gross floor area</u>, excluding terraces, <u>garages</u>, sundecks, and verandahs, of 35m².</p> <p>b. There shall be a total <u>outdoor living space</u> on the <u>site</u> with a minimum area of 90m² and a minimum dimension of 6m. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an <u>outdoor living space</u> that is directly accessible from that unit and is a minimum of 30m² in area.</p> <p>Note: This requirement replaces the general <u>outdoor living space</u> requirements set out in Rule 14.2.3.5.</p>

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Activity	Activity specific standards
<p>P16 Conversion of a <u>residential unit</u> within, or as an extension to, a <u>residential unit</u> into two residential units.</p>	<p>a. Each <u>residential unit</u> shall have a minimum <u>gross floor area</u>, excluding terraces, <u>garages</u>, sundecks and verandahs, of 35m².</p> <p>b. There shall be a total <u>outdoor living space</u> on the <u>site</u> with a minimum area of 90m² and a minimum dimension of 6m. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an <u>outdoor living space</u> that is directly accessible from that unit and is a minimum of 30m² in area.</p> <p>Note: This requirement replaces the general <u>outdoor living space</u> requirements set out in Rule 14.2.3.5.</p> <p>c. The <u>residential unit</u> to be converted shall be outside:</p> <ul style="list-style-type: none"> i. the tsunami inundation area as set out in Environment Canterbury report number R12/38 “Modelling coastal inundation in Christchurch and Kaiapoi from a South American Tsunami using topography from after the 2011 February Earthquake (2012), NIWA”; ii. the Riccarton wastewater interceptor catchment identified on the Planning Maps 38, 37, 31, 30, 23; and iii. a <u>floor level and fill management area</u>.

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Activity	Activity specific standards
<p>P17</p>	<p>Replacement of a <u>residential unit</u> with two <u>residential units</u>.</p>
<p>P18</p>	<p>Construction of 2 <u>residential units</u> on a <u>site</u> that was made vacant prior to the Canterbury earthquakes of 2010 and 2011.</p>

- a. The existing site shall be occupied by one residential unit and that residential unit has been, or will be, demolished because the insurer(s) of that unit have determined that the residential unit was uneconomic to repair because of earthquake damage.
 - b. The site shall be outside:
 - i. the tsunami inundation area as set out in Environment Canterbury report number R12/38 “Modelling coastal inundation in Christchurch an Kaiapoi from a South American Tsunami using topography from after the 2011 February Earthquake (2012), NIWA”;
 - ii. the Riccarton wastewater interceptor catchment identified on the [Planning Maps](#) 38, 37, 31, 30, 23; and
 - iii. a floor level and fill management area.
 - c. There shall be a total outdoor living space on the site with a minimum area of 90m² and minimum dimension of 6m. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an outdoor living space that is directly accessible from that unit and is a minimum of 30m² in area.
- Note:** This requirement replaces the general outdoor living space requirements set out in [Rule 14.2.3.5](#).

- a. The site shall be outside:
 - i. the tsunami inundation area as set out in Environment Canterbury report number R12/38 “Modelling coastal inundation in Christchurch an Kaiapoi from a South American Tsunami using topography from after the 2011 February Earthquake (2012), NIWA”;
 - ii. the Riccarton wastewater interceptor catchment identified on the [Planning Maps](#) 38, 37, 31, 30, 23; and
 - iii. a floor level and fill management area overlay.
 - b. There shall be a total outdoor living space on the site with a minimum area of 90m² and minimum dimension of 6m. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an outdoor living space that is directly accessible from that unit and is a minimum of 30m² in area.
- Note:** This requirement replaces the general outdoor living space requirements set out in [Rule 14.2.3.5](#).

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Activity		Activity specific standards
P19	Minor <u>residential unit</u> where the minor unit is a detached <u>building</u> and the existing <u>site</u> it is to be built on contains only one <u>residential unit</u> .	<p>a. The <u>site</u> containing both units shall have a minimum <u>net site area</u> of 450m².</p> <p>b. The minor <u>residential unit</u> shall have a minimum <u>gross floor area</u> of 35m² and a maximum <u>gross floor area</u> of 70m².</p> <p>c. The <u>parking areas</u> of both units shall be accessed from the same <u>access</u>.</p> <p>d. Each <u>residential unit</u> shall have a total <u>outdoor living space</u> on the <u>site</u> with a minimum area of 90m². This total space can be provided as:</p> <ul style="list-style-type: none"> i. a single continuous area with a minimum dimension of 6m; or ii. be in 2 connected spaces each with a minimum dimension of 6m; iii. be divided into two separate unconnected spaces, provided that each unit is provided with an <u>outdoor living space</u> that is directly accessible from that unit and is a minimum of 30m² in area. <p>Note: This requirement replaces the general <u>outdoor living space</u> requirements set out in Rule 14.2.3.5.</p>
P20	<u>Social Housing</u> Multi-unit Residential Complexes	a. The complex shall only contain up to three <u>residential units</u> .
P21	Multi-unit Residential Complexes within the Residential Suburban Density Transition Zone	a. The complex shall only contain up to three <u>residential units</u> .

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Activity		Activity specific standards
P22	<u>Places of Assembly</u>	<p>The activity shall:</p> <ol style="list-style-type: none"> only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; limit signage to a maximum area of 1m²; limit the hours of operation when the <u>site</u> is open to visitors, or clients, and deliveries to between the hours of: <ol style="list-style-type: none"> 0700 – 2100 Monday to Saturday; and Closed Sunday and public holidays (excluding churches and church halls); only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u> is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block. <p>Note: See Figure 1.</p>
P23	Temporary lifting or moving of earthquake damaged <u>buildings</u> where there is non compliance with one or more of Rules 14.2.3.3 , 14.2.3.4 , 14.2.3.5 , 14.2.3.6 , 14.2.3.7 .	<ol style="list-style-type: none"> <u>Buildings</u> shall not be: <ol style="list-style-type: none"> moved to within 1m of an internal <u>boundary</u> and/or within 3m of any <u>waterbody</u>, scheduled tree, listed heritage item, natural resources and <u>Council</u> owned structure, <u>archaeological site</u>, or the coastal marine area; lifted to a <u>height</u> exceeding 2.5m above the applicable recession plane or <u>height</u> control; The <u>building</u> must be lowered back or moved back to its original position, or a position compliant with the <u>District Plan</u> or consistent with a resource consent, within eight weeks of the lifting or moving works having first commenced. In all cases of a <u>building</u> being moved or lifted, the owners/occupiers of land adjoining the <u>sites</u> shall be informed of the work at least seven days prior to the lift or move of the <u>building</u> occurring. The information provided shall include details of a contact person, details of the lift or move, and the duration of the lift or move. The <u>Council's</u> Resource Consents Manager shall be notified of the lifting or moving the <u>building</u> at least seven days prior to the lift or move of the <u>building</u> occurring. The notification must include details of the lift or move, property address, contact details and intended start date.

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Activity	Activity specific standards
<p>P24 Repair or rebuild of <u>buildings</u> with cross leases, company leases or unit titles.</p>	<p>a. Where the <u>building</u> footprint, or <u>building</u> location, is to be altered to enable the repair or rebuild of a <u>building</u> damaged by the Canterbury earthquakes of 2010 and 2011, and the existing <u>building</u> complies with zone Rules 14.2.3.3, 14.2.3.6, and 14.2.3.9 repaired or relocated <u>buildings</u> need comply with zone Rules 14.2.3.3, 14.2.3.6, and 14.2.3.9.</p> <p>i. Clarification: If any of the above standards are not met, the activity status will be as specified in the relevant standard.</p> <p>b. Where the <u>building</u> footprint or <u>building</u> location is to be altered to enable the repair or rebuild of a <u>building</u> damaged by the Canterbury earthquakes of 2010 and 2011, and the existing <u>building</u> does not comply with zone Rules 14.2.3.3, 14.2.3.6, and 14.2.3.9; repaired or relocated <u>buildings</u> shall not increase non-compliance with zone Rules 14.2.3.3, 14.2.3.6, and 14.2.3.9.</p> <p>Clarification: If any of the above standards are not met or if there is increased non-compliance with the standards, the activity status will be as specified in the relevant standard.</p> <p>c. Where the repair or rebuild of a <u>building</u> damaged by the Canterbury Earthquakes of 2010 and 2011 will not alter the <u>building</u> footprint or location, repaired or relocated <u>buildings</u> need not comply with any of the built form standards.</p> <p>d. For any other reason, <u>buildings</u> need to comply with all relevant standards.</p> <p>Refer to Rule 8.2.3.1 of Chapter 8.</p>

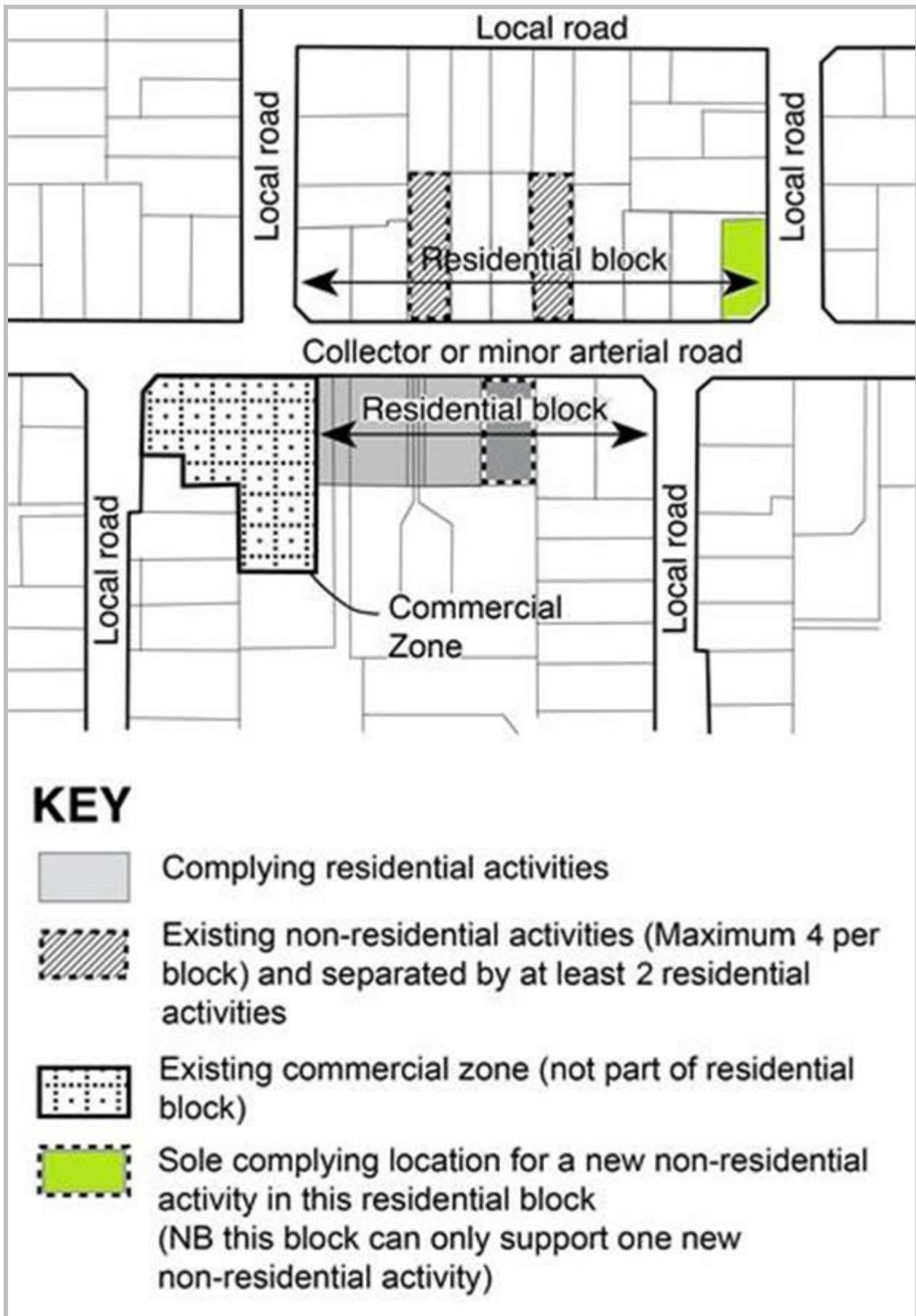


Figure 1 : Residential coherence

14.2.2.2 Controlled Activities

There are no controlled activities.

14.2.2.3 Restricted Discretionary Activities

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

The activities listed below are restricted discretionary activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in 14.9 for each standard, as set out in the following table.

Activity		The Council's discretion shall be limited to the following matters:
RD1	<i><u>Residential units</u> (including any <u>sleep-outs</u>) containing more than six bedrooms in total.</i>	<ul style="list-style-type: none"> a. <i>Urban design and Māori urban design principles - 14.9.6.</i> b. <i>Scale of activity - 14.9.14.</i> c. <i>Traffic generation and access safety - 14.9.15.</i> d. <i>Liquefaction susceptibility of the <u>site</u> and proposed development - 14.9.20.</i>
RD2	<i><u>Student hostels owned or operated by a secondary or <u>tertiary education and research activity</u></u> containing less than 10 bedrooms.</i>	<ul style="list-style-type: none"> a. <i>Urban design and Māori urban design principles - 14.9.6.</i> b. <i>Scale of activity - 14.9.14.</i> c. <i>Liquefaction susceptibility of the <u>site</u> and proposed development - 14.9.20.</i>
RD3	<i>Creation of stormwater drainage ponding areas within 3km of the edge of the Christchurch International Airport runways.</i>	<ul style="list-style-type: none"> a. <i>Stormwater ponding areas within 3km of Christchurch International Airport - 14.9.18.</i>

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Activity		The Council's discretion shall be limited to the following matters:
RD4	<p><u>Sensitive activities and building within the Electricity Transmission Line Corridor:</u></p> <p>a. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities:</p> <ul style="list-style-type: none"> i. any new <u>sensitive activity</u> or additional <u>habitable space</u>; ii. any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities: iii. any <u>sensitive activity</u> <p>b. The centre of the transmission line is to be found by measuring a straight line from the centre of two adjoining support structures.</p> <p>c. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner.</p> <p>d. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent.</p> <p>Note:</p> <ol style="list-style-type: none"> 1. The transmission lines are shown on the Planning Maps 9, 16, 21, 22, 23, 24, 26, 28, 29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49, 50, 51, 55, 56, 61, 62, 63, 69, 70, 78. 2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines. 	<p>a. Electricity transmission line corridor - 14.9.19.</p>
RD5	<p>Conversion of a <u>residential unit</u> within or as an extension to a <u>residential unit</u> into two <u>residential units</u> that does not meet the Activity Specific Standards in Rule 14.2.2.1 P16 a. and b.</p>	<p>a. Urban design and Māori urban design principles- 14.9.6.</p> <p>b. Minor <u>residential units</u> - 14.9.7.</p>
RD6	<p>Minor <u>residential unit</u> where the minor unit is a detached <u>building</u> and does not meet the Activity Specific Standards in Rule 14.2.2.1 P19 a, b, c, and d.</p>	<p>a. Urban design and Māori urban design principles- 14.9.6.</p> <p>b. Minor <u>residential units</u> - 14.9.7.</p>

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Activity		The Council's discretion shall be limited to the following matters:
RD7	<u>Social housing</u> multi-unit residential complexes - over three <u>residential units</u>	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6. b. Scale of activity - 14.9.14. c. Traffic generation and access safety - 14.9.15.
RD8	Multi-unit residential complexes in Residential Suburban Density Transition Zone – over three <u>residential units</u> .	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6. b. Scale of activity - 14.9.14. c. Traffic generation and access safety - 14.9.15.
RD9	<u>Retirement villages</u> .	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6. b. Scale of activity - 14.9.14. c. Traffic generation and access safety - 14.9.15.
RD10	<p><u>Convenience activities</u> where:</p> <ul style="list-style-type: none"> a. the <u>site</u> is located on the corner of a <u>minor arterial road</u> that intersects with either a <u>minor arterial road</u> or <u>collector road</u>; b. the total area occupied by <u>retailing</u> on the <u>site</u> is no more than 50m² <u>public floor area</u>; c. the activity does not include the sale of alcohol; d. signage is limited to no more than 1m² and shall be within the <u>road boundary setback</u>; e. the hours of operation when the <u>site</u> is open to business visitors or clients are limited to between the hours of 0700 – 2200 Monday to Sunday and public holidays; and f. no on-site <u>parking area</u> for visitors or service purposes is to be provided. 	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6. b. Scale of activity - 14.9.14. c. Non residential hours of operation - 14.9.16. d. Traffic generation and access safety - 14.9.15.
RD11	<p>Temporary lifting or moving of earthquake damaged <u>buildings</u> that does not meet the standards in Rule 14.2.2.1 P23.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<ul style="list-style-type: none"> a. Temporary lifting or moving of earthquake damaged <u>buildings</u> - 14.9.23.

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Activity		The Council's discretion shall be limited to the following matters:
RD12	<i>Residential unit in the Residential Suburban Zone contained within its own separate site with a minimum net site area between 400 and 450m².</i>	a. <i>Site density and site coverage - 14.9.1.</i>
RD13	<i>Residential unit in the Residential Suburban Density Transition Zone contained within its own separate site with a minimum net site area between 300 and 330m².</i>	a. <i>Site density and site coverage - 14.9.1.</i>
RD14	<i>Non-compliance with Rule 14.2.3.4 where the site coverage is between 35% and 40%.</i>	a. <i>Site density and site coverage - 14.9.1.</i>
RD15	<i>Non compliance with Rule 14.2.3.4 for multi-unit residential complexes within the Residential Suburban Density Transition Zone where the site coverage is between 40-45% (calculated over the net site area of the site of the entire complex).</i>	a. <i>Site density and site coverage - 14.9.1.</i>
RD16	<i>Non compliance with Rule 14.2.3.6.</i>	a. <i>Building height and daylight recession planes - 14.9.2.</i>
RD17	<i>Non compliance with Rule 14.2.3.7.</i>	a. <i>Minimum building window and balcony setbacks from internal boundaries - 14.9.4.</i>
RD18	<i>Non compliance with Rule 14.2.3.8.</i>	a. <i>Minimum building window and balcony setbacks from internal boundaries - 14.9.4.</i>

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Activity		The Council's discretion shall be limited to the following matters:
RD19	<p>Non compliance with one or more of the following Rules: 14.2.3.2.</p> <p><u>Site</u> Coverage for Market gardens where the <u>site</u> coverage exceeds 55% - 14.2.3.4,</p> <p>14.2.3.5, 14.2.3.9, 14.2.3.10, 14.2.3.11, 14.2.3.12,14.2.3.13.</p> <p>Any application arising from non-compliance with these rules will not require written approval and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule</p> <ol style="list-style-type: none"> <u>Site</u> Density and <u>Site</u> Coverage - 14.9.1. Street scene - <u>road boundary</u>, <u>building setback</u>, front doors, fencing and planting - 14.9.3. <u>Outdoor Living Space</u> - 14.9.5. Service water and waste management spaces - 14.9.11. Tree and garden planting - 14.9.12. Life-stage, adaptive design and energy and water efficiency - 14.9.21.
RD20	<p>Non compliance with Rule 14.2.3.12.</p> <p>Any application arising from this rule will not require the written approval of any entity except the New Zealand Fire Service and shall not be fully publicly notified. Limited notification if required shall only be to the New Zealand Fire Service.</p>	<ol style="list-style-type: none"> Water supply for fire fighting - 14.9.25.
RD21	<p>Non compliance with Rule 14.2.2.1 P23.</p>	<ol style="list-style-type: none"> Whether the lifting of or any alteration to the <u>building</u> would impact on the amenity of adjoining properties.

The activities listed below are restricted discretionary activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [14.9](#) for each standard, as set out in the following table.

Activity	The Council's discretion shall be limited to the following matters:

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<p>RD1</p>	<p><u>Residential units</u> (including any <u>sleep-outs</u>) containing more than six bedrooms in total.</p>	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6. b. Scale of activity - 14.9.14. c. Traffic generation and access safety - 14.9.15. d. Liquefaction susceptibility of the <u>site</u> and proposed development - 14.9.20.
<p>RD2</p>	<p>Student hostels owned or operated by a secondary or <u>tertiary education and research activity</u> containing less than 10 bedrooms.</p>	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6. b. Scale of activity - 14.9.14. c. Liquefaction susceptibility of the <u>site</u> and proposed development - 14.9.20.
<p>RD3</p>	<p>Creation of stormwater drainage ponding areas within 3km of the edge of the Christchurch International Airport runways.</p>	<ul style="list-style-type: none"> a. Stormwater ponding areas within 3km of Christchurch International Airport - 14.9.18.

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Activity		The Council's discretion shall be limited to the following matters:
RD4	<p><u>Sensitive activities</u> and <u>building</u> within the Electricity Transmission Line Corridor:</p> <p>a. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities:</p> <ol style="list-style-type: none"> any new <u>sensitive activity</u> or additional <u>habitable space</u>; any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities: any <u>sensitive activity</u> <p>b. The centre of the transmission line is to be found by measuring a straight line from the centre of two adjoining support structures.</p> <p>c. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner.</p> <p>d. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent.</p> <p>Note:</p> <ol style="list-style-type: none"> The transmission lines are shown on the Planning Maps 9, 16, 21, 22, 23, 24, 26, 28, 29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49, 50, 51, 55, 56, 61, 62, 63, 69, 70, 78. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines. 	<p>a. Electricity transmission line corridor - 14.9.19.</p>
RD5	<p>Conversion of a <u>residential unit</u> within or as an extension to a <u>residential unit</u> into two <u>residential units</u> that does not meet the Activity Specific Standards in Rule 14.2.2.1 P16 a. and b.</p>	<p>a. Urban design and Māori urban design principles- 14.9.6.</p> <p>b. Minor <u>residential units</u> - 14.9.7.</p>
RD6	<p>Minor <u>residential unit</u> where the minor unit is a detached <u>building</u> and does not meet the Activity Specific Standards in Rule 14.2.2.1 P19 a, b, c, and d.</p>	<p>a. Urban design and Māori urban design principles- 14.9.6.</p> <p>b. Minor <u>residential units</u> - 14.9.7.</p>

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Activity		The Council's discretion shall be limited to the following matters:
RD7	<u>Social housing</u> multi-unit residential complexes - over three <u>residential units</u>	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6. b. Scale of activity - 14.9.14. c. Traffic generation and access safety - 14.9.15.
RD8	Multi-unit residential complexes in Residential Suburban Density Transition Zone – over three <u>residential units</u> .	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6. b. Scale of activity - 14.9.14. c. Traffic generation and access safety - 14.9.15.
RD9	<u>Retirement villages</u> .	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6. b. Scale of activity - 14.9.14. c. Traffic generation and access safety - 14.9.15.
RD10	<p><u>Convenience activities</u> where:</p> <ul style="list-style-type: none"> a. the <u>site</u> is located on the corner of a <u>minor arterial road</u> that intersects with either a <u>minor arterial road</u> or <u>collector road</u>; b. the total area occupied by <u>retailing</u> on the <u>site</u> is no more than 50m² <u>public floor area</u>; c. the activity does not include the sale of alcohol; d. signage is limited to no more than 1m² and shall be within the <u>road boundary setback</u>; e. the hours of operation when the <u>site</u> is open to business visitors or clients are limited to between the hours of 0700 – 2200 Monday to Sunday and public holidays; and f. no on-site <u>parking area</u> for visitors or service purposes is to be provided. 	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6. b. Scale of activity - 14.9.14. c. Non residential hours of operation - 14.9.16. d. Traffic generation and access safety - 14.9.15.

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Activity		The Council's discretion shall be limited to the following matters:
RD11	<p>Temporary lifting or moving of earthquake damaged <u>buildings</u> that does not meet the standards in Rule 14.2.2.1 P23.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	a. Temporary lifting or moving of earthquake damaged <u>buildings</u> - 14.9.23 .
RD12	<u>Residential unit</u> in the Residential Suburban Zone contained within its own separate <u>site</u> with a minimum <u>net site area</u> between 400 and 450m ² .	a. <u>Site</u> density and <u>site</u> coverage - 14.9.1 .
RD13	<u>Residential unit</u> in the Residential Suburban Density Transition Zone contained within its own separate <u>site</u> with a minimum <u>net site area</u> between 300 and 330m ² .	a. <u>Site</u> density and <u>site</u> coverage - 14.9.1 .
RD14	Non-compliance with Rule 14.2.3.4 where the <u>site</u> coverage is between 35% and 40%.	a. <u>Site</u> density and <u>site</u> coverage - 14.9.1 .
RD15	Non compliance with Rule 14.2.3.4 for multi-unit residential complexes within the Residential Suburban Density Transition Zone where the <u>site</u> coverage is between 40-45% (calculated over the <u>net site area</u> of the <u>site</u> of the entire complex).	a. <u>Site</u> density and <u>site</u> coverage - 14.9.1 .
RD16	Non compliance with Rule 14.2.3.6 .	a. <u>Building height</u> and daylight recession planes - 14.9.2 .
RD17	Non compliance with Rule 14.2.3.7 .	a. Minimum <u>building</u> window and <u>balcony setbacks</u> from internal <u>boundaries</u> - 14.9.4 .
RD18	Non compliance with Rule 14.2.3.8 .	a. Minimum <u>building</u> window and <u>balcony setbacks</u> from internal <u>boundaries</u> - 14.9.4 .

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Activity		The Council's discretion shall be limited to the following matters:
RD19	<p>Non compliance with one or more of the following Rules: 14.2.3.2.</p> <p><u>Site</u> Coverage for Market gardens where the <u>site</u> coverage exceeds 55% - 14.2.3.4,</p> <p>14.2.3.5, 14.2.3.9, 14.2.3.10, 14.2.3.11, 14.2.3.12,14.2.3.13.</p> <p>Any application arising from non-compliance with these rules will not require written approval and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule</p> <ul style="list-style-type: none"> a. <u>Site</u> Density and <u>Site</u> Coverage - 14.9.1. b. Street scene - <u>road boundary,</u> <u>building setback,</u> front doors, fencing and planting - 14.9.3. c. <u>Outdoor Living Space</u> - 14.9.5. d. Service water and waste management spaces - 14.9.11. e. Tree and garden planting - 14.9.12. f. Life-stage, adaptive design and energy and water efficiency - 14.9.21.
RD20	<p>Non compliance with Rule 14.2.3.12.</p> <p>Any application arising from this rule will not require the written approval of any entity except the New Zealand Fire Service and shall not be fully publicly notified. Limited notification if required shall only be to the New Zealand Fire Service.</p>	<ul style="list-style-type: none"> a. Water supply for fire fighting - 14.9.25.
RD21	<p>Non compliance with Rule 14.2.2.1 P23.</p>	<ul style="list-style-type: none"> a. Whether the lifting of or any alteration to the <u>building</u> would impact on the amenity of adjoining properties.

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Activity		The Council's discretion shall be limited to the following matters:
RD22	<p>For Character Areas identified in the Character Area Overlay, the relocation of an existing <u>building</u>, erection of new buildings and alterations or additions to existing <u>buildings</u>, including the front façade of the main residential <u>building</u>, accessory <u>buildings</u>, fences and walls associated with that development, where it is:</p> <ol style="list-style-type: none"> visible from the street; located in the interface between the street and the main <u>residential unit</u> on the <u>site</u>. <p>Any application arising from this rule will not require written approvals and shall not be limited or publicly notified.</p>	<p>a. Character Areas Overlay – 14.9.37</p>

14.2.2.4 Discretionary Activities

The activities listed below are discretionary activities.

Activity	
D1	<p><u>Home occupation</u>, student hostels, <u>pre-schools facilities</u>, <u>health care facilities</u>, <u>education activities</u>, and conversion of an <u>elderly person's housing unit</u> into a <u>residential unit</u>, travellers accommodated for a tariff in a <u>residential unit</u>, care of non-resident children within a <u>residential unit</u>, <u>veterinary care facilities</u>, <u>places of assembly</u>, storage of <u>heavy vehicles</u>, show homes, and dismantling, repair or storage of motor vehicles and/or boats where it does not meet one or more of the relevant Activity Specific Standards for permitted activities in Rule 14.2.2.1 P2, P3, P6, P7, P8, P9, P10, P13, P14, P16, or restricted discretionary activities.</p>

14.2.2.5 Non Complying Activities

The activities listed below are non complying activities.

Activity	
NC1	Any activity not provided as a permitted, restricted discretionary, discretionary or prohibited activity.
NC2	Any non- <u>residential activity</u> located on a <u>site</u> with <u>frontage</u> to Memorial Avenue or Fendalton Road.
NC3	Non Compliance with Rule 14.2.3.1 in the Residential Suburban Zone where the <u>residential unit</u> is contained on a <u>site</u> of less than 400m ² <u>net site area</u> .
NC4	Non compliance with Rule 14.2.3.1 in the Residential Suburban Density Transition Zone where the <u>residential unit</u> is contained on a <u>site</u> of less than 300m ² <u>net site area</u> .
NC5	Non compliance with Rule 14.2.3.3 .
NC6	Non compliance with Rule 14.2.3.4 where the site coverage exceeds 40%.

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Activity	
NC7	Non compliance with Rule 14.2.3.4 Multi-unit <u>Social Housing</u> Complexes area where the <u>site</u> coverage exceeds 45% (calculated over the net site area of the entire complex).

14.2.2.6 Prohibited Activities

There are no prohibited activities.

14.2.3 Built form standards

14.2.3.1 Site Density

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Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	Activity	Standard
1.	Residential Suburban Zone. (excluding <u>residential units</u> established under Rule 14.2.2.1 P15, P16, P17 and P18)	450m ² .
2.	Residential Suburban Density Transition Zone.	330m ² .
3.	(Multi-unit residential) <u>Social housing</u> complexes.	There shall be no minimum <u>net site area</u> for any <u>site</u> for any <u>residential unit</u> .
4.	<u>Multi-unit residential complexes</u> .	There shall be no minimum <u>net site area</u> for any <u>site</u> for any <u>residential unit</u> .
5.	<u>Retirement villages</u> .	There shall be no minimum <u>net site area</u> for any <u>site</u> for any <u>residential unit</u> .

Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	Activity	Standard
1.	Residential Suburban Zone. (excluding <u>residential units</u> established under Rule 14.2.2.1 P15, P16, P17 and P18)	450m ² .
2.	Residential Suburban Density Transition Zone.	330m ² .

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	Activity	Standard
3.	(Multi-unit residential) <u>Social housing</u> complexes.	There shall be no minimum <u>net site area</u> for any <u>site</u> for any <u>residential unit</u> .
4.	<u>Multi-unit residential complexes</u> .	There shall be no minimum <u>net site area</u> for any <u>site</u> for any <u>residential unit</u> .
5.	<u>Retirement villages</u> .	There shall be no minimum <u>net site area</u> for any <u>site</u> for any <u>residential unit</u> .
6.	Category 2 Character Area: CA5 Anysley; CA8 Fendalton	800m ² .
7.	Category 2 Character Areas: CA3 Beckenham Central; CA6 Chomondeley; CA9 Totara; CA14 Circuit; CA21 Hackthorne	600m ² .
8.	Category 2 Character Area: CA10 Chrystal; CA31 St Andrews Square; CA34 Knowles; CA34 Hawkesbury	500m ² .
9.	Category 2 Character Area: CA8 Tika	400m ² .

14.2.3.2 Multi-unit residential complexes, multi-unit social housing complexes and retirement villages - Tree and garden planting

Sites shall include the minimum tree and garden planting as set out in the table below:

1.	1 tree for each 10m of <u>road boundary</u> . (e.g. 10m of <u>road boundary</u> = 1 tree, 11m of <u>road boundary</u> = 2 trees)
2.	<p>A landscape strip is required along the full length of the accessway or car parking area (internal) boundary. The landscape strip shall have a minimum dimension of 0.6m, excluding kerb. Plant species within the landscape strip are required to be capable of reaching a minimum height at maturity of 1.5m.</p> <p>All trees required by this rule shall not be less than 2m high at the time of planting and capable of reaching a minimum height at maturity of 4m.</p> <p>Planted areas shall cover a minimum of 15% of the net site area. Tree planting shall be evenly distributed across the site.</p>

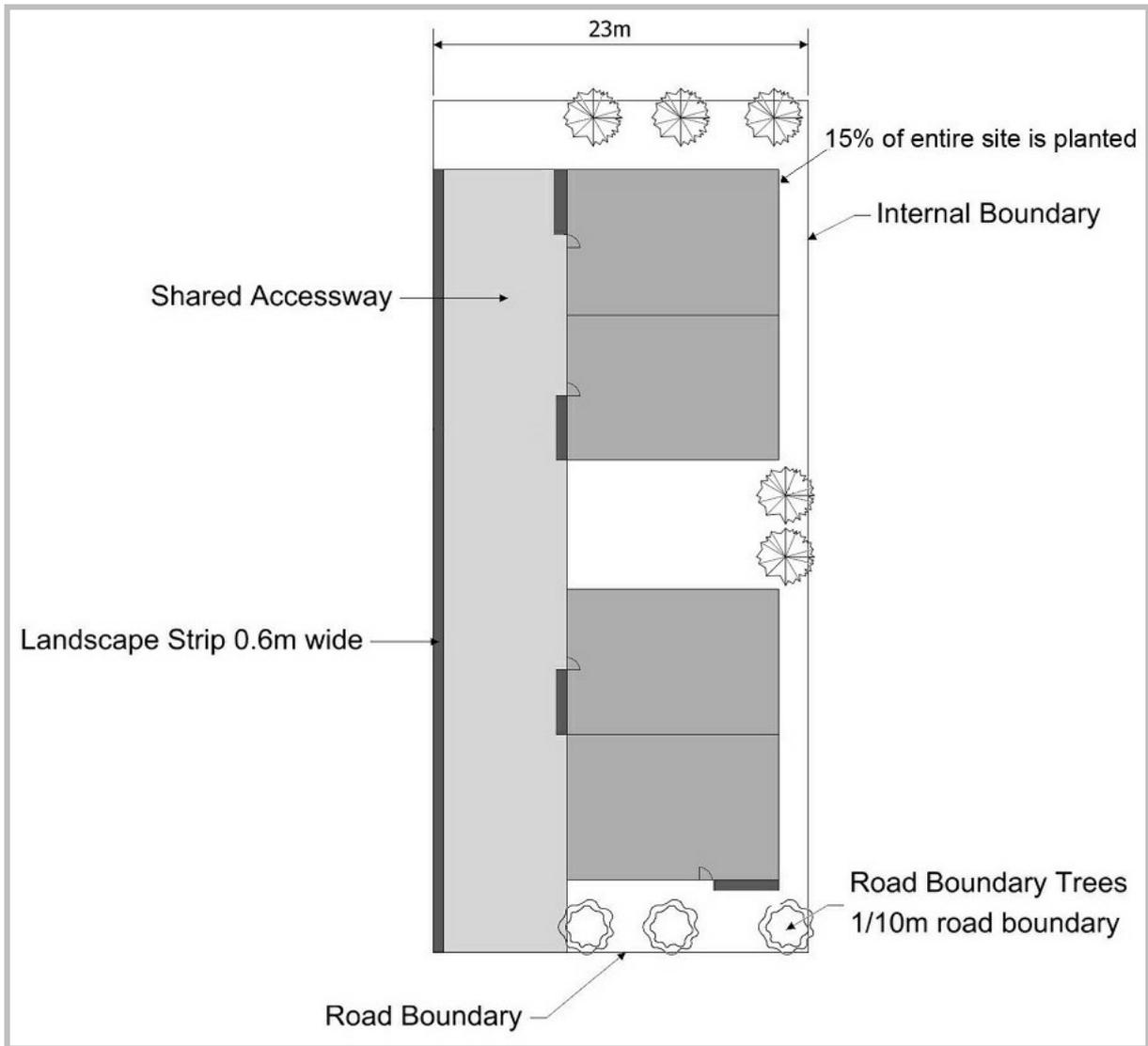


Figure 2 : Landscaping and tree planting

Note: This diagram is an illustrative example only, showing one way the rule may be applied.

14.2.3.3 Building height

The maximum height of any building shall be:

	Activity	Standard
1.	All <u>buildings</u> unless specified below.	8m
2.	Multi-unit <u>social housing</u> complexes in the Residential Suburban Zone.	5.5m and of a single storey only.
3.	Minor dwelling units in the Residential Suburban Zone.	5.5m and of a single storey only.
4.	Multi-unit residential complexes in the Residential Suburban Zone.	5.5m and of a single storey only.

Note: See the permitted height exceptions contained within the definition of height.

14.2.3.4 Site coverage

The maximum percentage of the net site area covered by buildings excluding:

1. fences, walls and retaining walls;
2. eaves and roof overhangs up to 600 millimetres in width from the wall of a building;
3. uncovered swimming pools up to 800 millimetres in height above ground level; and
4. decks, terraces, balconies, porches, verandahs, bay or box windows (supported or cantilevered) which:
 - a. are no more than 800 millimetres above ground level and are uncovered or unroofed; or
 - b. where greater than 800 millimetres above ground level and/or covered or roofed, are in total no more than 6m² in area for any one site;

shall be as follows:

	Zone/Activity/ Overlay Area	Standard
1.	All Zones / Activities unless specified below.	35%
2.	Multi-unit <u>social housing</u> complexes within the Residential Suburban Zone.	40%
3.	Market gardens.	55%
4.	<u>Multi-unit residential complexes</u> in the Residential Suburban Density Transition Zone.	40%
5.	<u>Retirement villages</u> .	40%

14.2.3.5 Outdoor living space

1. Each residential unit shall be provided with an outdoor living space in a continuous area, contained within the net site area with a minimum area and dimension as follows:

	Activity/Area	Standard	
		Minimum Area	Minimum Dimension
1.	Residential Suburban Zone.	90m ²	6m
2.	Residential Suburban Density Transition Zone.	50m ²	4m
3.	Multi-unit <u>social housing</u> complexes within the Residential Suburban Density Transition Zone.	30m ²	4m
4.	<u>Retirement villages</u> .	30m ²	4m

2. The required minimum area shall be readily accessible from a living area of each residential unit. At least half of the required minimum area shall be able to receive sunshine at midday on the shortest day of the year.

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Note: This rule only applies to structures on the same site.

3. The required minimum area shall not be occupied by any building, access, or parking space, other than:
 - a. an outdoor swimming pool; or
 - b. accessory building of less than 8m²; or
 - c. any buildings or parts of a building without walls (other than a balustrade) on at least a quarter of its perimeter, and occupies no more than 30 percent of the area of the outdoor living space.

14.2.3.6 Daylight recession planes

- a. Buildings shall not project beyond a building envelope constructed by recession planes, as shown in [Appendix 14.10.2 Diagram A](#), from points 2.3 metres above:
 - i. internal boundaries; or
 - ii. where an internal boundary of a site abuts an access lot or access strip the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access lot or access strip or any combination of these areas; or
 - iii. where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.
- b. Where the building is located in an overlay that has a permitted height of more than 11 metres, the recession plane measurement shall commence from points 2.3 metres above internal boundaries and continue on the appropriate angle to points 11 metres above ground level, at which point the recession plane becomes vertical.

Refer to [Appendix 14.10.2](#) for permitted intrusions.

- c. Where sites are located within a Floor Level and Fill Management Area, recession plane breaches created by the need to raise floor levels will not require the written consent of other persons and shall not be publicly or limited notified.

14.2.3.7 Minimum building setbacks from internal boundaries

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The minimum building setback from internal boundaries shall be as follows:

1.	All <u>buildings</u> not listed in table below.	1.8m
2.	<u>Accessory buildings</u> where the total length of walls or parts of the <u>accessory building</u> within 1.8m of each internal <u>boundary</u> does not exceed 10.1m in length.	NIL
3.	Decks and terraces at or below ground floor level.	NIL
4.	<u>Buildings</u> that share a common wall along an internal <u>boundary</u> .	NIL
5.	All other <u>buildings</u> where the internal <u>boundary</u> of the <u>site</u> adjoins an <u>access</u> or part of an <u>access</u> .	1 m

The minimum building setback from internal boundaries shall be as follows:

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1.	All <u>buildings</u> not listed in table below.	1.8m
2.	<u>Accessory buildings</u> where the total length of walls or parts of the <u>accessory building</u> within 1.8m of each internal <u>boundary</u> does not exceed 10.1m in length.	NIL
3.	Decks and terraces at or below ground floor level.	NIL
4.	<u>Buildings</u> that share a common wall along an internal <u>boundary</u> .	NIL
5.	All other <u>buildings</u> where the internal <u>boundary</u> of the <u>site</u> adjoins an <u>access</u> or part of an <u>access</u> .	1 m
6.	All two storey <u>buildings</u> where the internal <u>boundary</u> of the <u>site</u> adjoins the Avonhead Cemetery (Council landscape buffer).	5m
7.	For two storey <u>buildings</u> adjoining the Avonhead Cemetery (Council landscape buffer) that have high-set windows on the second floor facing the cemetery, the <u>setback</u> in 14.2.3.7.6. may be reduced.	3m

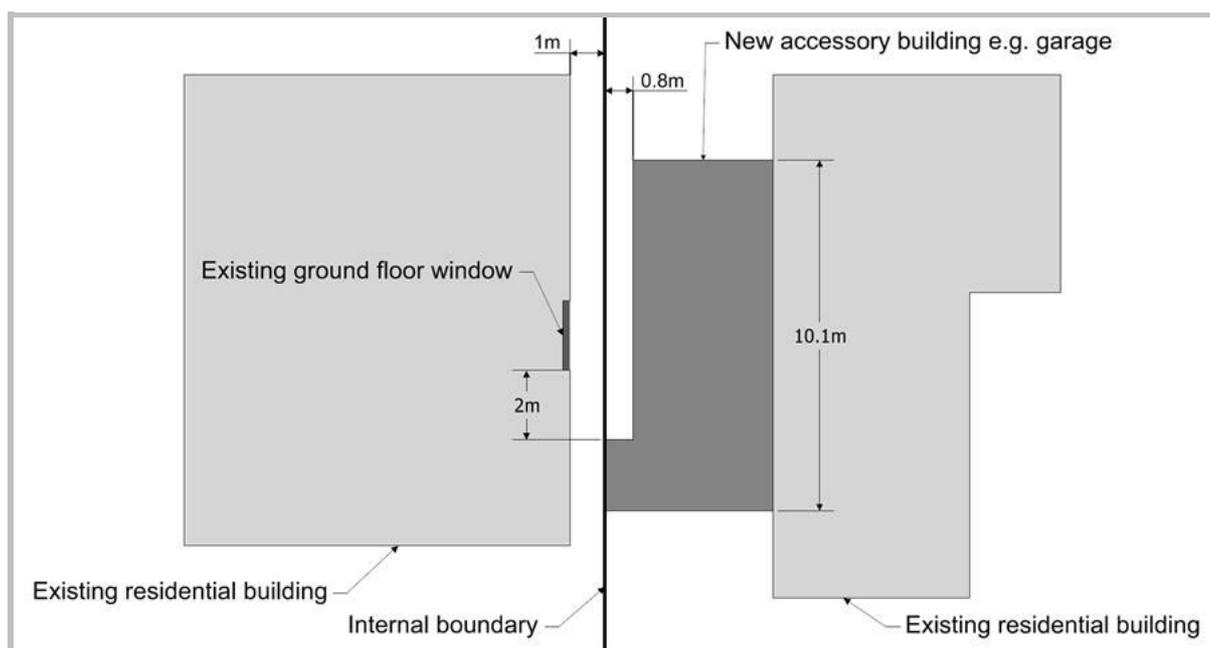


Figure 3 : Separation from neighbours for accessory buildings.

14.2.3.8 Minimum setback and distance to ground level for windows and balconies

The minimum setback for a living area window from an internal boundary shall be 4m. Note where the window is adjacent to an accessway the setback shall be measured from the far side of the accessway.

14.2.3.9 Road boundary building setback

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The road boundary building setback shall be:

All <u>buildings</u> .	4.5m
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Except:

1. new garage that is located in front of an existing residential unit that was established prior to the operative date of this plan where the:
 - a. side walls are parallel to the road boundary and no more than 6.5 metres in length;
 - b. side walls facing the road contain a window with a minimum dimension of at least 0.6 metres (including the window frame);
 - c. space between the side wall and the road boundary has planting that includes a minimum of two trees capable of reaching four metres height at maturity;

and where the access to the garage is located adjacent to a side boundary

 - d. a planting strip of 0.6m width with a height at time a planting, with species capable of reaching 1.5 metres, of 1.2 metres up to the line of the existing residential unit.

Where this planting conflicts with required visibility splays the visibility splay rules will prevail and the planting not be required. See Figure 5.

2. a new garage that is located in front of an existing residential unit that was established prior to the operative date of this plan where the:
 - a. garage is a single garage with the door facing the road boundary, accessed of a local road;
 - b. garage is a maximum 3.6 metres wide;
 - c. garage is fitted with a sectional door and can be operated with an automatic opener. Where the garage is more than 3.5 metres from the road boundary an automatic opener is not required.

The road boundary building setback shall be:

All <u>buildings</u> .	4.5m
<u>Buildings</u> located within Category 2 Character Areas: CA3 Beckenham Central; CA8 Tika; CA 9 Totara; CA 12 Chrystal; CA14 Circuit; CA19 St James; CA31 St Andrews Square; CA34 Knowles; CA35 Hawkesbury; CA36 Naseby	6m
<u>Buildings</u> located within Category 2 Character Area CA4 Aynsley	8m

Except, but not including Character Areas:

1. new garage that is located in front of an existing residential unit that was established prior to the operative date of this plan where the:
 - a. side walls are parallel to the road boundary and no more than 6.5 metres in length;
 - b. side walls facing the road contain a window with a minimum dimension of at least 0.6 metres (including the window frame);
 - c. space between the side wall and the road boundary has planting that includes a minimum of two trees capable of reaching four metres height at maturity;

and where the access to the garage is located adjacent to a side boundary

 - d. a planting strip of 0.6m width with a height at time a planting, with species capable of reaching 1.5 metres, of 1.2 metres up to the line of the existing residential unit.

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Where this planting conflicts with required visibility splays the visibility splay rules will prevail and the planting not be required. See Figure 5.

2. a new garage that is located in front of an existing residential unit that was established prior to the operative date of this plan where the:
 - a. garage is a single garage, with the door facing the road boundary, accessed of a local road;
 - b. garage is a maximum 3.6 metres wide;
 - c. garage is fitted with a sectional door and can be operated with an automatic opener. Where the garage is more than 3.5 metres from the road boundary an automatic opener is not required.

3. Within Category 2 Character Areas a front entry porch may intrude the specified distance into the minimum building setback as required above:

Character Area	Permitted setback intrusion
CA1 Heathcote; CA3 Beckenham Central; CA4 Aynsley; CA6 Chomondeley; CA8 Tika; CA9 Totara; CA10 Fendalton; CA12 Chrystal CA14 Circuit CA19 St James; CA 31 St Andrews Square	1.5m

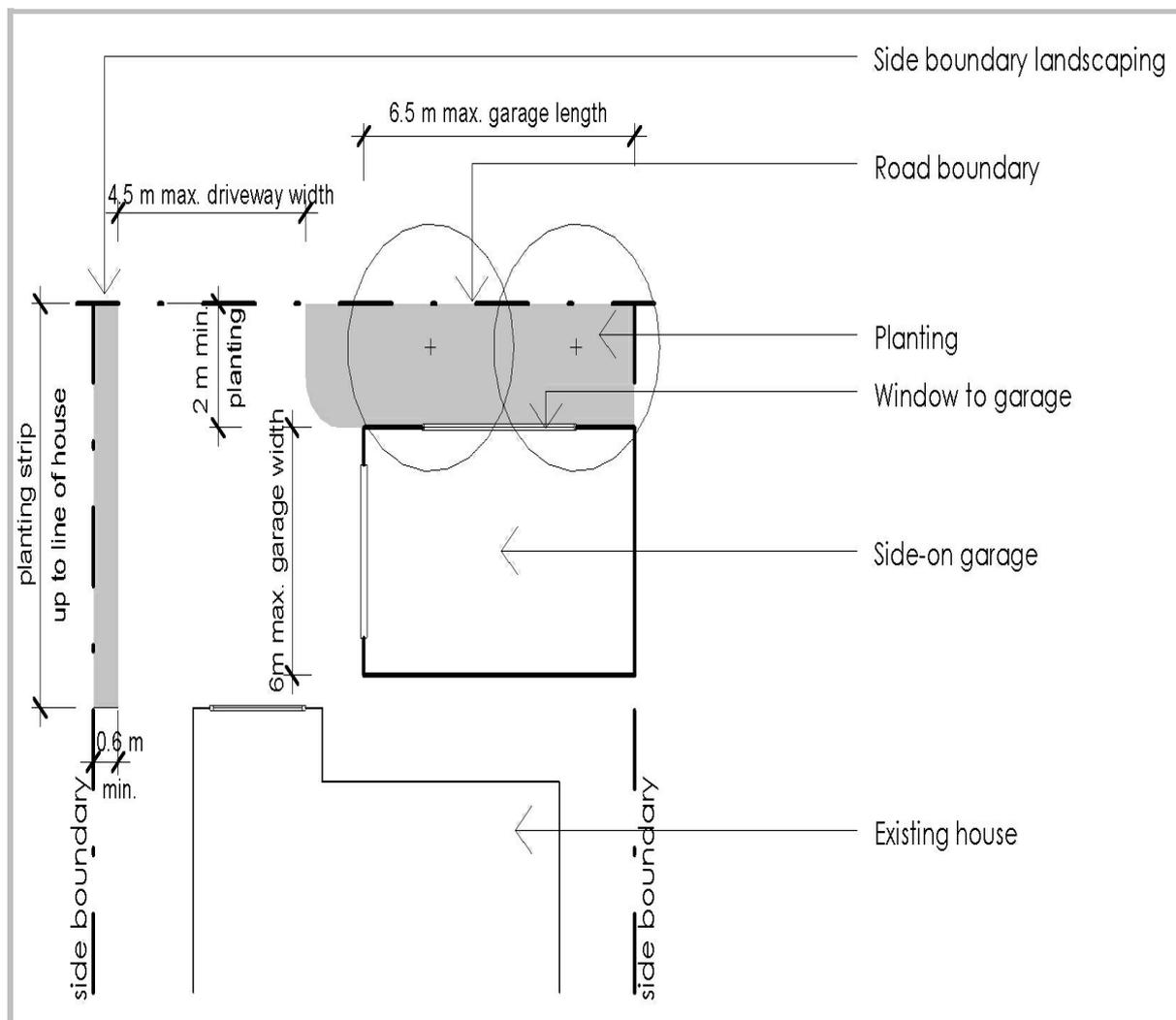


Figure 5 : Side extension.

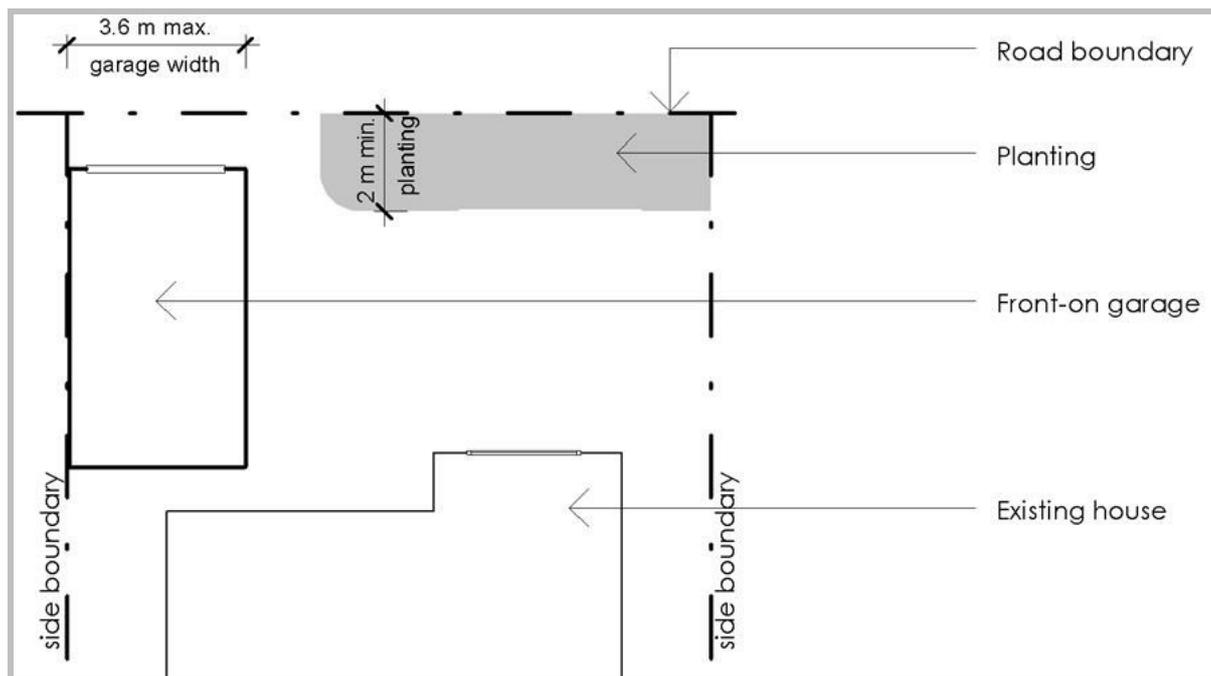


Figure 6 : Front extension.

14.2.3.10 Street scene amenity and safety - Fences, garaging and landscape and front entrances

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

1. Fences

a. The maximum height of any fence in the setback from a road boundary with a local road shall be:

Where at least 50% of the fence structure is visually transparent.	1.8m
Where less than 50% of the fence structure is visually transparent.	1m

b. The maximum height of any fence in the required building setback from any road boundary with any collector road, or arterial road shall be 1.8m.

a. and b. shall not apply to fences or other screening structures located on an internal boundary between two properties zoned residential or residential or commercial or industrial.

Note: For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building.

2. Garages

Garages and carports shall comprise no more than 50 percent of any ground floor elevation of the residential building viewed from any one site and shall not be more than 6.8m wide. For garages with the vehicle door generally facing a shared access or road boundary the minimum garage setback shall be 5.5 metres from the shared access or road kerb. This rule does not apply to garages established under [Rule 14.2.3.9](#).



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3. Landscaping

The land within the road boundary setback required by [Rule 14.2.3.9](#) shall contain a landscape area at least 2m wide along the length of road boundary except that part required for a driveway.

1. Fences

- a. The maximum height of any fence in the setback from a road boundary with a local road shall be:

Where at least 50% of the fence structure is visually transparent.	1.8m
Where less than 50% of the fence structure is visually transparent.	1 m

- b. The maximum height of any fence in the required building setback from any road boundary with any collector road, or arterial road shall be 1.8m.

a. and b. shall not apply to fences or other screening structures located on an internal boundary between two properties zoned residential or residential or commercial or industrial.

Note: For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building.

- c. For the following Character Areas the maximum height of a fence located within the required setback from a road boundary shall be:

CA1 Heathcote; CA3 Beckenham Central; CA5 Aynsley; CA6 Chomondeley; CA8 Tika; CA12 Chrystal; CA19 St James; CA21 Hackthorne	1 m
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2. Garages

- a. Garages and carports shall comprise no more than 50 percent of any ground floor elevation of the residential building viewed from any one site and shall not be more than 6.8m wide. For garages with the vehicle door generally facing a shared access or road boundary the minimum garage setback shall be 5.5 metres from the shared access or road kerb. This rule does not apply to garages established under [Rule 14.2.3.9](#).

- b. Garages located within the following Category 2 Character Areas shall be set back from the road boundary and front building façade of the primary dwelling. The greatest setback from the road boundary in the following table shall apply.

Character Area	<u>Garage - road setback</u>	<u>Front building façade</u>
CA1 Heathcote; CA24 Church Square; CA26 Haast	5.5m	1 m
CA5 Aynsley	6m	

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CA3 Beckenham Central; CA6 Chomondeley; CA8 Tika; CA9 Totara; CA10 Fendalton; CA12 Chrystal; CA14 Circuit; CA19 St James; CA31 St Andrews Square; CA34 Knowles; CA35 Hawkesbury; CA36 Naseby	6m	1m
CA21 Hackthorne	4.5m	

- c. Garages located within the following Category 2 Character Areas shall comprise no more than the percentage width of site road frontage specified as follows:

Character Area	Percentage width of the <u>site road frontage</u> occupied by a <u>garage</u>
CA1 Heathcote; CA3 Beckenham Central; CA6 Chomondeley; CA8 Tika; CA9 Totara; CA10 Fendalton; CA12 Chrystal; CA14 Circuit; CA19 St James; CA24 Church Square; CA26 Haast; CA31 St Andrews Square; CA34 Knowles; CA35 Hawkesbury; CA36 Naseby	40%
CA5 Aynsley	30%

3. Landscaping

- a. The land within the road boundary setback required by Rule 14.2.3.9 shall contain a landscape area at least 2m wide along the length of road boundary except that part required for a driveway.
- b. For these Category 2 Character Areas a landscape strip shall be planted, comprising a combination of tree and garden planting, along the length of the road boundary, excluding that part required for a driveway or pedestrian access, of the following widths:

Character Area	Minimum width of planting strip
CA1 Heathcote; CA3 Beckenham Central; CA8 Tika; CA6 Chomondeley; CA9 Totara; CA10 Fendalton; CA14 Circuit; CA19 St James; CA21 Hackthorne; CA24 Church Square; CA26 Haast; CA31 St Andrews Square; CA34 Knowles; CA35 Hawkesbury; CA36 Naseby	3m
CA5 Aynsley	5m

- c. For these Category 2 Character Areas the following percentage of the site shall be used for tree and garden planting, including the road boundary planting strip:

Character Area	Minimum percentage of <u>site</u> used for tree and garden planting:
CA26 Haast	15%

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CA1 Heathcote; CA3 Beckenham Central; CA6 Chomondeley; CA8 Tika, CA9 Totara; CA12 Chrystal; CA14 Circuit; CA21 Hackthorne; CA24 Church Square; CA26 Haast; CA31 St Andrews Square; CA34 Knowles; CA35 Hawkesbury; CA36 Naseby	20%
CA5 Aynsley; CA10 Fendalton	40%

4. Front entrances and facades

a. For these Category 2 Character Areas the following front entrance and façade treatment shall be provided:

Character Area	Required treatment
CA1 Heathcote; CA3 Beckenham Central; CA6 Chomondeley; CA8 Tika, CA9 Totara; CA10 Fendalton CA12 Chrystal; CA14 Circuit; CA19 St James; CA24 Church Square; CA26 Haast; CA31 St Andrews Square; CA34 Knowles; CA35 Hawkesbury; CA36 Naseby	a. Front door shall be visible and directly accessible from the street
CA1 Heathcote; CA3 Beckenham Central; CA5 Aynsley; CA6 Chomondeley; CA8 Tika, CA9 Totara; CA10 Fendalton CA12 Chrystal; CA14 Circuit; CA19 St James; CA21 Hackthorne; CA24 Church Square; CA26 Haast; CA31 St Andrews Square; CA34 Knowles; CA35 Hawkesbury; CA36 Naseby	b. A minimum of 30% glazing on the front façade

14.2.3.11 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1. Pathways

A sealed path from either the road boundary of the site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:

- a minimum clear width of 1.2metres;
- a slope not exceeding 1:20;
- a cross fall of not more than 1:50;
- slip resistant surface; and
- pathway lighting that is switched on from a light switch located at the door at the end of the path.

2. Primary pedestrian entrance door

A primary pedestrian entrance door to the residential unit with:

- a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
- a maximum threshold of 20mm; and

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- c. a external landing area that has a slip resistant surface.
3. Doors within the living space of the residential unit
All doorways to and within living space have:
 - a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
 - b. a level transition and threshold (accepting difference in floor materials on either side of the door).
4. Corridors, hallways, and passageways within the residential unit
All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.
5. Door handles
All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.
6. Electrical switches
The centre of all electrical switches on walls, are at the same height as the centre of door handles.
7. Powerpoints, television, telephone and computer outlets
All powerpoints, television, telephone and computer outlets are installed at the same height throughout the residential unit at no less than 0.3 metres above the finished floor level.
8. Window controls
All window controls are lever handles and are able to be operated with one hand.
9. Space around bed to support ease of movement
Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.
0. Laundry space
Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.
1. Kitchen
The kitchen is not a residential thoroughfare.
2. Toilet
 - a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall.
 - b. and
 - c. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
3. Shower
 - a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that has:
 - b. level entry shower recess with minimum dimensions of 1.2 metres x 1.2 metres;
 - c. drainage of the shower recess located at the corner of a room;
 - d. a clear space that provides for a 1.5 metre turning circle; and
 - e. 800mm clear space beside the shower seat;
 - f. all shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
4. Slip resistant floors on bathrooms
All bathrooms have slip resistant floor surfaces.
5. Multi-storey access
All stairway walls have:
 - a. reinforced walls for future installation of a stair-lift or platform lift;

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- b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
- c. a minimum clear width of 0.9 metres;
- d. a straight design with no winder treads;
- e. consistent tread depth with a minimum dimension of 0.31 metres;
- f. consistent riser height with a minimum dimension of 0.18 metres;
- g. no open risers; and
- h. lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

- 6. Lever action door handles
All door handles are lever action.
- 7. Tap fixtures
All tap fixtures are lever, or push button, or electronic.

14.2.3.12 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value</u> 3.2.
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value</u> 0.31.
d.	Wall insulation.	<u>Insulation R value</u> 2.8.
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value</u> 2.2, 25mm XPS with 9mm fibre cement board glued to the face.
f.	Ventilation.	<ul style="list-style-type: none"> i. Dedicated extraction <u>installed</u> in kitchen and bathrooms. ii. Provision to vent a clothes drier to the outside of the residential unit.
g.	Water efficiency.	<u>WELS</u> 3 Star Shower. <u>WELS</u> 4 Star Toilets. <u>WELS</u> 4 Star Taps.
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

14.2.3.13 Water supply for fire fighting

Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008), where by all residential units must be connected to the Council's urban reticulated system that provide sufficient fire fighting water supply.

14.2.3.14 Multi-unit residential complexes and multi-unit social housing complexes - Service, storage and waste management spaces

1. Each residential unit shall be provided with:
 - a. an outdoor service space of 3m² and waste management area of 2.25m² with a minimum dimension of 1.5 metres; and
 - b. a single, indoor storage space of four cubic metres with a minimum dimension of one metre.
2. Any space designated for waste management, whether private or communal, shall not be located between the road boundary and any building room and shall be screened from adjoining sites, conservation or open space zones, roads, and adjoining outdoor living spaces to a height of 1.5 metres.
3. If a communal waste management area is provided within the site, the minimum required outdoor service space is 3m² for each residential unit.
4. If a communal waste management area area is provided, it must be demonstrated to be:
 - a. of a sufficient size to accommodate the number and dimensions of bins required to meet the predicted volume of waste generated by the residential units;
 - b. accessible and safe for use by all residents; and
 - c. easily accessible for the collection of bins by waste management contractors.

14.2.4 Area specific activities and standards - Residential Suburban Zone and Residential Suburban Transition Zone

14.2.4.1 Area Specific Permitted Activities

In the Accommodation and Community Facilities Overlay area the activities listed below are permitted activities if they comply with any Activity specific standards set out in the following table, the Built form standards in Rule 14.2.3 and the area specific standards in Rule 14.2.4.2.

Any application arising from non-compliance of the following permitted activities will not require written approvals and shall not be limited or publicly notified.

Activity	Activity Specific Standards
P1, 3-6, 11-21, 23-24	As per Table 14.3.2.1
P2	Guest Accommodation
P7	Pre-Schools facility
P8	Healthcare facility
P9	Veterinary Care facility
P10	Education activity
P15	Places of Assembly
	a. The facility shall: <ol style="list-style-type: none"> i. Comprise less than 500sqm gross leasable floor space ii. Limit the operation is open to patients or clients and deliveries to between the hours of 0700-2100

14.2.4.2 Area specific restricted discretionary activities

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	Location	Restricted Discretionary	Matters of Discretion
RD1.	Residential area in Wigram as shown on Figure 8 .	Non compliance with Rule 14.2.4.3.9 .	<ul style="list-style-type: none"> a. Development plans - 14.9.28. b. Special <u>setback</u> provisions - Residential Suburban Zone Wigram - 14.9.33.
RD2.	Peat ground condition constraint overlay south of the Northcote – Burwood expressway, between Philpotts Road and Burwood Road.	The <u>development</u> of land shall be in accordance with the layout shown in the development plan in Figure 7 .	<ul style="list-style-type: none"> a. Development plans - 14.9.28.

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	Location	Restricted Discretionary	Matters of Discretion
RD3.	Prestons Road Retirement Village overlay.	<p>a. The <u>development</u> of land shall be in accordance with the layout shown on the development plan in Appendix 14.10.3;</p> <p>b. the provision of internal roading;</p> <p>c. the erection of <u>buildings</u>;</p> <p>d. pedestrian facilities/walkways;</p> <p>e. the construction of facilities for stormwater management, retention and treatment;</p> <p>f. <u>landscaping</u> adjacent to <u>roads</u> (including internal roads), pedestrian facilities;</p> <p>g. <u>cycle ways</u>, waterways and zone boundaries;</p> <p>h. the establishment of landscape features, including <u>water bodies</u>;</p> <p>i. vehicular <u>access</u> off Prestons Road to the Residential Suburban Zone Prestons Retirement Village overlay that does not maintain an area of land on the <u>site road frontage</u> that remains clear of obstructions to visibility over 1m in height above the carriageway level. The area of land subject to this rule is that shown on the development plan in Appendix 14.10.3.</p>	<p>For a. – h:</p> <p>a. Concept Plan - Residential Suburban Zone Prestons Road Retirement Village Overlay - 14.9.31.</p> <p>b. Vehicular Access - Residential Suburban Zone Prestons Road Retirement Village Overlay - 14.9.32.</p> <p>Consent may be granted either in relation to an application in respect of one or more such activities or generally in relation to a Concept Plan for the entire <u>site</u> that indicates the proposed layout, location and/or provision of all intended facilities. If consent is granted in relation to a Concept Plan then the consent will contain a condition requiring that activities associated with the provision of those facilities be such as to produce a result in general accordance with that Plan.</p> <p>For i:</p> <p>c. Use of <u>site</u> and <u>buildings</u> - Residential Suburban Zone Prestons Road Retirement Village overlay - 14.9.30.</p> <p>d. Concept Plan Residential Suburban Zone Prestons Road Retirement Village overlay - 14.9.31.</p> <p>only.</p>
RD4.	Prestons Retirement Village overlay.	<p>Non compliance with Rule 14.2.4.3.4 <u>Outdoor living space</u>.</p> <p>Any application arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>Matters of discretion:</p> <p>a. <u>Outdoor living space</u> - 14.9.5.</p>

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	Location	Restricted Discretionary	Matters of Discretion
RD5.	Peat Ground Condition Constraint overlay; Stormwater Capacity Constraint overlay; Prestons Retirement Village overlay.	<p>Non compliance with Rule 14.2.4.3.5</p> <p>Minimum <u>building setbacks</u> from internal <u>boundaries</u></p> <p>Any application arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. Minimum <u>building window and balcony setbacks</u> from internal <u>boundaries</u> - 14.9.4.</p>

In the Accommodation and Community Facilities Overlay area, restricted discretionary standards RD1-3 and 6-9 as per Table [14.3.2.3](#) apply in addition to the Area Specific Standards set out below.

	Location	Restricted Discretionary	Matters of Discretion
RD1.	Residential area in Wigram as shown on Figure 8 .	Non compliance with Rule 14.2.4.3.9 .	<p>a. Development plans - 14.9.28.</p> <p>b. Special <u>setback</u> provisions - Residential Suburban Zone Wigram - 14.9.33.</p>
RD2.	Peat ground condition constraint overlay south of the Northcote – Burwood expressway, between Philpotts Road and Burwood Road.	The <u>development</u> of land shall be in accordance with the layout shown in the development plan in Figure 7.	<p>a. Development plans - 14.9.28.</p>

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	Location	Restricted Discretionary	Matters of Discretion
RD3.	Prestons Road Retirement Village overlay.	<p>a. The <u>development</u> of land shall be in accordance with the layout shown on the development plan in Appendix 14.10.3;</p> <p>b. the provision of internal roading;</p> <p>c. the erection of <u>buildings</u>;</p> <p>d. pedestrian facilities/walkways;</p> <p>e. the construction of facilities for stormwater management, retention and treatment;</p> <p>f. <u>landscaping</u> adjacent to <u>roads</u> (including internal roads), pedestrian facilities;</p> <p>g. <u>cycle ways</u>, waterways and zone boundaries;</p> <p>h. the establishment of landscape features, including <u>water bodies</u>;</p> <p>i. vehicular <u>access</u> off Prestons Road to the Residential Suburban Zone Prestons Retirement Village overlay that does not maintain an area of land on the <u>site road frontage</u> that remains clear of obstructions to visibility over 1m in height above the carriageway level. The area of land subject to this rule is that shown on the development plan in Appendix 14.10.3.</p>	<p>For a. – h:</p> <p>a. Concept Plan - Residential Suburban Zone Prestons Road Retirement Village Overlay - 14.9.31.</p> <p>b. Vehicular Access - Residential Suburban Zone Prestons Road Retirement Village Overlay - 14.9.32.</p> <p>Consent may be granted either in relation to an application in respect of one or more such activities or generally in relation to a Concept Plan for the entire <u>site</u> that indicates the proposed layout, location and/or provision of all intended facilities. If consent is granted in relation to a Concept Plan then the consent will contain a condition requiring that activities associated with the provision of those facilities be such as to produce a result in general accordance with that Plan.</p> <p>For i:</p> <p>c. Use of <u>site</u> and <u>buildings</u> - Residential Suburban Zone Prestons Road Retirement Village overlay - 14.9.30.</p> <p>d. Concept Plan Residential Suburban Zone Prestons Road Retirement Village overlay - 14.9.31.</p> <p>only.</p>
RD4.	Prestons Retirement Village overlay.	<p>Non compliance with Rule 14.2.4.3.4 Outdoor living space.</p> <p>Any application arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>Matters of discretion:</p> <p>a. <u>Outdoor living space</u> - 14.9.5.</p>

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	Location	Restricted Discretionary	Matters of Discretion
RD5.	Peat Ground Condition Constraint overlay; Stormwater Capacity Constraint overlay; Prestons Retirement Village overlay.	Non compliance with Rule 14.2.4.3.5 Minimum <u>building setbacks</u> from internal <u>boundaries</u> . Any application arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.	a. Minimum <u>building</u> window and <u>balcony setbacks</u> from internal <u>boundaries</u> - 14.9.4 .
RD6.	Accommodation and <u>Community Facilities</u> Overlay area	<u>Service station</u> Any application arising from non-compliance with this rule will not require written approvals and shall not be publicly or limited notified.	a. Scale of activity - 14.9.14 b. Non residential hours of operation - 14.9.16 c. Traffic generation and access safety - 14.9.15
RD7.	Accommodation and <u>Community Facilities</u> Overlay area	<u>Emergency Service Facilities</u> Any application arising from non-compliance with this rule will not require written approvals and shall not be publicly or limited notified.	a. Scale of activity - 14.9.14 b. Non residential hours of operation - 14.9.16 c. Traffic generation and access safety - 14.9.15

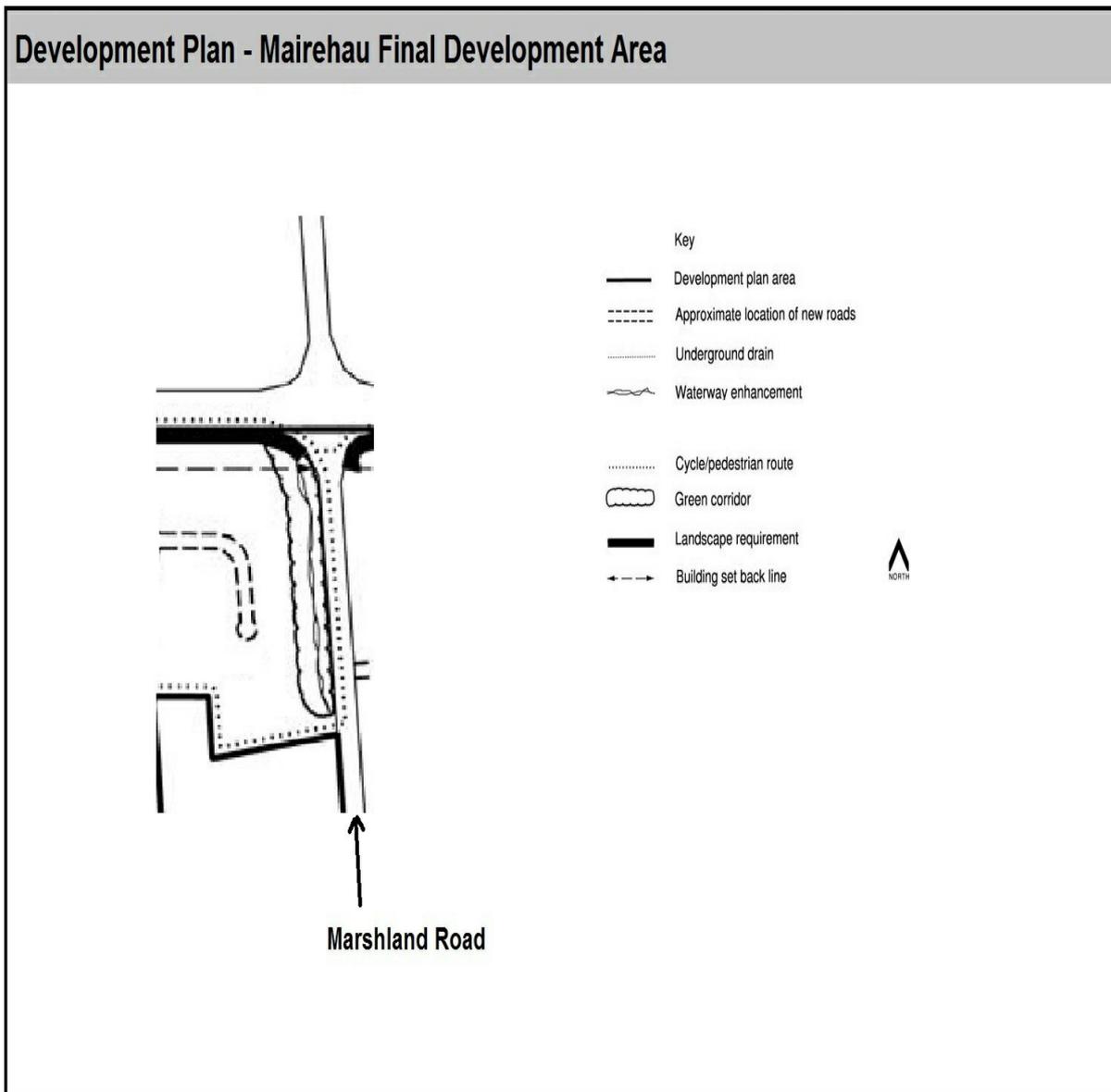


Figure 7 : Mairehau final development area.

14.2.4.3 Area specific non complying activities

The activities listed below are a Non Complying Activity.

Activity	
NC1	Non Compliance with Rule 14.2.4.3.1 Site Density .
NC2	Non Compliance with Rule 14.2.4.3.2 Building Height Prestons Road Retirement Village.
NC3	Non Compliance with Rule 14.2.4.3.3 Site Coverage .
NC4	Non Compliance with Rule 14.2.4.3.7 Noise insulation .
NC5	Non Compliance with Rule 14.2.4.3.8 Building types and limits Prestons Road Retirement Village.

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Activity	
NC6	Non Compliance with Rule 14.2.4.3.9 <u>Outdoor living space</u> west Wigram.

14.2.4.4 Area specific built form standards

14.2.4.4.1 Site density

1. This applies to:
 - a. Peat ground condition constraint overlay;
 - b. Stormwater capacity constraint overlay;
 - c. Existing rural hamlet overlay in the area to the east of the 50dBA L_{dn} noise contour line shown on [Planning Map 18](#); and
 - d. Existing rural hamlet overlay in the area to the west of the 50dBA L_{dn} noise contour line shown on [Planning Map 18](#).
2. Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	Activity	Permitted
1.	Peat ground condition constraint overlay.	2000m ²
2.	Stormwater capacity constraint overlay.	1 <u>residential unit</u> for each <u>allotment</u> existing at June 1995.
3.	Existing rural hamlet overlay in the area to the east of the 50dBA L _{dn} noise contour line shown on Planning Map 18 .	1200m ²
4.	Existing rural hamlet in the area to the west of the 50dBA L _{dn} noise contour line shown on Planning Map 18 .	2000m ²

Note: Refer also to the Subdivision Rules in [Chapter 8](#).

14.2.4.4.2 Building height Prestons Road Retirement Village

Maximum height of any building shall be:

	Area	Permitted
1.	Prestons Road Retirement Village overlay (excluding area identified as “health facility” as shown in Appendix 14.10.3)	6.5m and of a single storey only
2.	Prestons Road Retirement Village overlay In the “health facility” area as shown in Appendix 14.10.3)	13m

Note:

1. See the permitted height exceptions contained within the definition of height;
2. For the purposes of determining building height in the Prestons Road Retirement Village overlay, ground level shall be

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taken as the level of ground existing when filling or excavation for new buildings on the land has been completed.

14.2.4.4.3 Site coverage

1. This applies to:
 - a. Peat ground condition constraint overlay;
 - b. Stormwater capacity constraint overlay;
 - c. Existing rural hamlet overlay; and
 - d. Prestons Road Retirement Village overlay.
2. The maximum percentage of the net site area covered by buildings excluding:
 - a. fences, walls and retaining walls;
 - b. eaves and roof overhangs up to 600 millimetres in width from the wall of a building;
 - c. uncovered swimming pools up to 800 millimetres in height above ground level; and
 - d. decks, terraces, balconies, porches, verandahs, bay or box windows (supported or cantilevered) which:
 - i. are no more than 800 millimetres above ground level and are uncovered or unroofed; or
 - ii. where greater than 800 millimetres above ground level and/or covered or roofed, are in total no more than 6m² in area for any one site.

Shall be as follows:

	Zone/Activity/Area	Permitted
1.	Peat ground condition constraint, stormwater capacity constraint, existing rural hamlet and Residential Suburban Zone Prestons Road Retirement Village overlay: <u>residential activities with garages</u> .	40% or 300m ² whichever is the lesser
2.	Prestons Road Retirement Village overlay: where the <u>height</u> of all <u>buildings</u> on a <u>site</u> does not exceed 5.5m and is of a single storey	40%
3.	Residential Suburban Zone Prestons Road Retirement Village overlay: elderly persons housing complexes	40% (calculated over the net site area of the entire complex)

14.2.4.4.4 Outdoor living space Prestons Road Retirement Village

1. Each residential unit shall be provided with an outdoor living space in a continuous area, contained within the net site area with a minimum area and dimension as follows:

	Area	Permitted	
		Minimum Area	Minimum Dimension
1.	Prestons Road Retirement Village overlay: for any elderly persons housing unit with a <u>gross floor area</u> less than 100m ²	30m ²	3m

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2. The required minimum area shall be readily accessible from a living area of each residential unit. At least half of the required minimum area shall be able to receive sunshine at midday on the shortest day of the year.

Note: this rule only applies to structures on the same site.

3. The required minimum area shall not be occupied by any building, access or parking space, other than:
 - a. an outdoor swimming pool; or
 - b. accessory building of less than 8m² in area; or
 - c. any buildings or parts of a building without walls (other than a balustrade) on at least a quarter of its perimeter, which occupies no more than 30 per cent of the area of the outdoor living space.

14.2.4.4.5 Minimum building setbacks from internal boundaries

- a. This applies to:
 - i. Peat ground condition constraint overlay;
 - ii. Stormwater capacity constraint overlay;
 - iii. Prestons Retirement Village overlay.
- b. Minimum building setback from internal boundaries shall be as follows:

	Area	Standard
1.	<u>Buildings</u> in the peat ground condition constraint and stormwater capacity constraint overlays.	3m
2.	Prestons Retirement Village overlay	From Prestons Road - 15m

14.2.4.4.6 Minimum building setback from zone boundary Russley Road/Memorial Avenue

At Russley Road/Memorial Avenue where the zone's eastern boundary abuts the western boundary of the Industrial Park Zone the minimum building setback from the eastern boundary of the zone where it abuts the Industrial Park Zone shall be five metres.

14.2.4.4.7 Noise Insulation

1. This applies to:
 - a. the area adjacent to State Highway 73 (Southern Motorway) between Annex and Curletts Roads;
 - b. the area adjacent to State Highway 75 (Curletts Road) between the intersection with State Highway 73 and Lincoln Road;
 - c. Peat Ground Condition Constraint;
 - d. Existing rural hamlet overlay.

2.

	Location	Standards

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1.	On that land which is: adjacent to State Highway 73 (Southern Motorway) between Annex and Curletts Roads; adjacent to State Highway 75 (Curletts Road) between the intersection with State Highway 73 and Lincoln Road;	<p><u>Building setbacks</u>, or <u>building</u> location, or acoustic barriers, or other means, either singly or in combination shall be used such that the following noise insulation standards are met:</p> <p>Sound levels attributable to traffic from these roads shall not exceed a level of 57 dBA L10 (18 hour) 54 dBA Leq (24 hour) in any outdoor area of the <u>site</u> and a design level of 60 dBA L10 (18 hour) 57 dBA Leq (24 hour) measured 1m from the facade of any <u>residential unit</u>. All measured in accordance with NZS 6801:1991 Assessment of Sound.</p>
2.	On that land which is on the western side of Marshlands Road between Queen Elizabeth Drive and Briggs Road.	<p>a. There shall be no minimum <u>building setback</u> where:</p> <ul style="list-style-type: none"> i. mounding or other physical barrier to noise transmission capable of reducing traffic noise intrusion to all parts of any <u>site</u> by at least 10dBA is provided within 20m of the <u>road boundary</u> across the entire width of the <u>site</u>; ii. the mounding in i. is screened from the adjoining <u>road</u> by <u>landscaping</u> with a minimum depth of 1.5m and a minimum <u>height</u> of 1.8m at time of planting; iii. the minimum <u>building setback</u> from a limited access road shall be 40m. <p>b. where a.i. and a.ii. are complied with and all external windows and doors of a <u>residential units</u> including those <u>installed</u> in the roof are acoustically treated to achieve a sound transmission loss of at least 25dBA with windows and doors closed the minimum <u>setback</u> shall be 20m.</p> <p>c. Where a. and b. do not apply the minimum <u>building setback</u> shall be 80m.</p> <p>Note: For the purpose of this rule the minimum <u>building setback</u> shall be measured from the <u>road</u> carriageway to the <u>residential unit</u>.</p>
3.	Peat ground condition constraint overlay	The minimum <u>building setback</u> from the boundary with the Residential Suburban Zones or the <u>boundary</u> with Lot 1, Lot 2 or Lot 3 DP 49320 shall be 6m.
4.	Existing rural hamlet overlay	<p>In Residential Suburban Zone existing rural hamlet area west of the 50dBA L_{dn} airport noise contour line:</p> <ul style="list-style-type: none"> a. Any new <u>residential units</u>, or additions to existing <u>residential units</u> shall be insulated from aircraft noise so as to comply with the provisions of Appendix 14.10.3; and b. <u>Buildings</u>, other than <u>residential units</u>, shall also be insulated, where applicable, to comply with the provisions of Appendix 14.10.3.

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14.2.4.4.8 Building types and limits Prestons Road Retirement Village

1. There shall be a maximum of 165 independent elderly persons housing units.
2. Where a unit shares a common wall with another unit, there shall be no more than four units in any such arrangement.
3. There shall be a maximum of 45 serviced elderly persons housing units contained within that part of the overlay identified as a health facility.
4. There shall be a maximum of one health facility with ground floor area.
5. The maximum floor area for any one residential unit shall be 165m².

14.2.4.4.9 Outdoor living space West Wigram

On the frontage shown in Figure 8 residential units shall have their primary outdoor living space facing away from the aerodrome site. Windows to living areas which directly face the RNZAF Bequest Land shall be double glazed. In addition, a two metre wide landscape strip and a close solid and continuous 1.8 metre high fence shall be placed along the boundary of the RNZAF Bequest Land and be completed before any residential units are built.

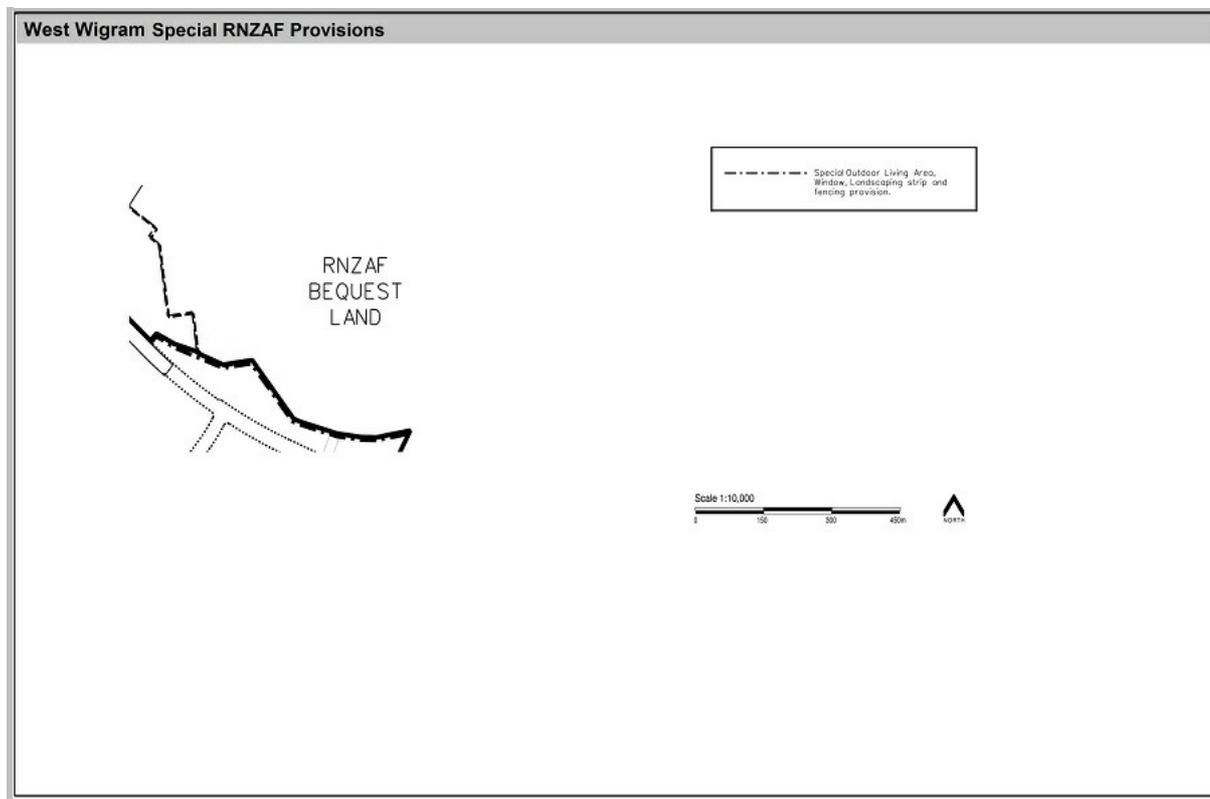


Figure 8 : West Wigram Special RNZAF Provisions

14.2.4.4.10 Accommodation and Community Facilities Overlay Built Form Standards

In the Accommodation and Community Facilities Overlay Area, built form standards as per 14.2.3.7 (Minimum setback from internal boundaries) and 14.2.3.8 (Minimum Setback and distance to ground floor windows and balconies) apply in addition to the built form standards below. These standards apply to all activities except residential activities in the Accommodation and Community Facilities Overlay area. For residential standards see P1 of 14.2.2.1.

Any application arising from non-compliance with the rules below will not require written approvals and shall not be publicly or limited notified.

14.2.4.4.10.1 Maximum site coverage

The maximum percentage of the net site area covered by buildings shall be as follows:

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Permitted	Restricted Discretionary
Up to 45%	Over 45%

14.2.4.4.10.2 Maximum building height

The maximum height of any building shall be as follows:

Applicable to	Permitted	Restricted Discretionary
All <u>buildings</u> not listed below	9m	Over 9m
<u>Buildings</u> with a pitched roof of at least 22 degrees	12m	Over 12m

14.2.4.4.10.3 Minimum Floor to Ceiling Height Between Ground and First Floor

The minimum floor to ceiling height on the ground floor shall be as follows:

Permitted	Restricted Discretionary
Greater than or equal to 3.5m	Less than 3.5m

Note: Height is taken from the top of the finished floor level surface to ceiling surface.

14.2.4.4.10.4 Maximum Length of Continuous Building Frontage

The maximum length of continuous building frontage shall be as follows:

Applicable to		Permitted	Restricted Discretionary
<u>Buildings</u> for non- residential activities listed below: i. <u>Guest accommodation</u> ; ii. <u>Community facility</u> ; iii. <u>Pre-Schools facility</u> ; iv. <u>Education facility</u> ; v. <u>Healthcare facility</u> ; vi. <u>Place of Assembly</u> ; vii. <u>Veterinary Care facility</u> .	<u>New buildings</u>	Up to 15m	Over 15m
	<u>Additions</u>	Up to 10m	Over 10m

14.2.4.4.10.5 Building setback from road boundaries

The minimum building setback shall be as follows:

Applicable to	Permitted	Restricted Discretionary
All <u>buildings</u>	Minimum 3m	Non-compliance with the Permitted Standard

14.2.4.4.10.6 Front Entrances and Facades

The following front entrance and façade treatment shall be provided:

Applicable to	Permitted	Restricted Discretionary
<u>Buildings</u> used for non- residential activities as listed below: i. <u>Guest accommodation</u> ; ii. <u>Community facility</u> ;	Provision of pedestrian access directly from the <u>road frontage</u>	Non-compliance with the Permitted Standard
	Minimum of 30% glazing on the <u>road frontage</u> on ground floor	

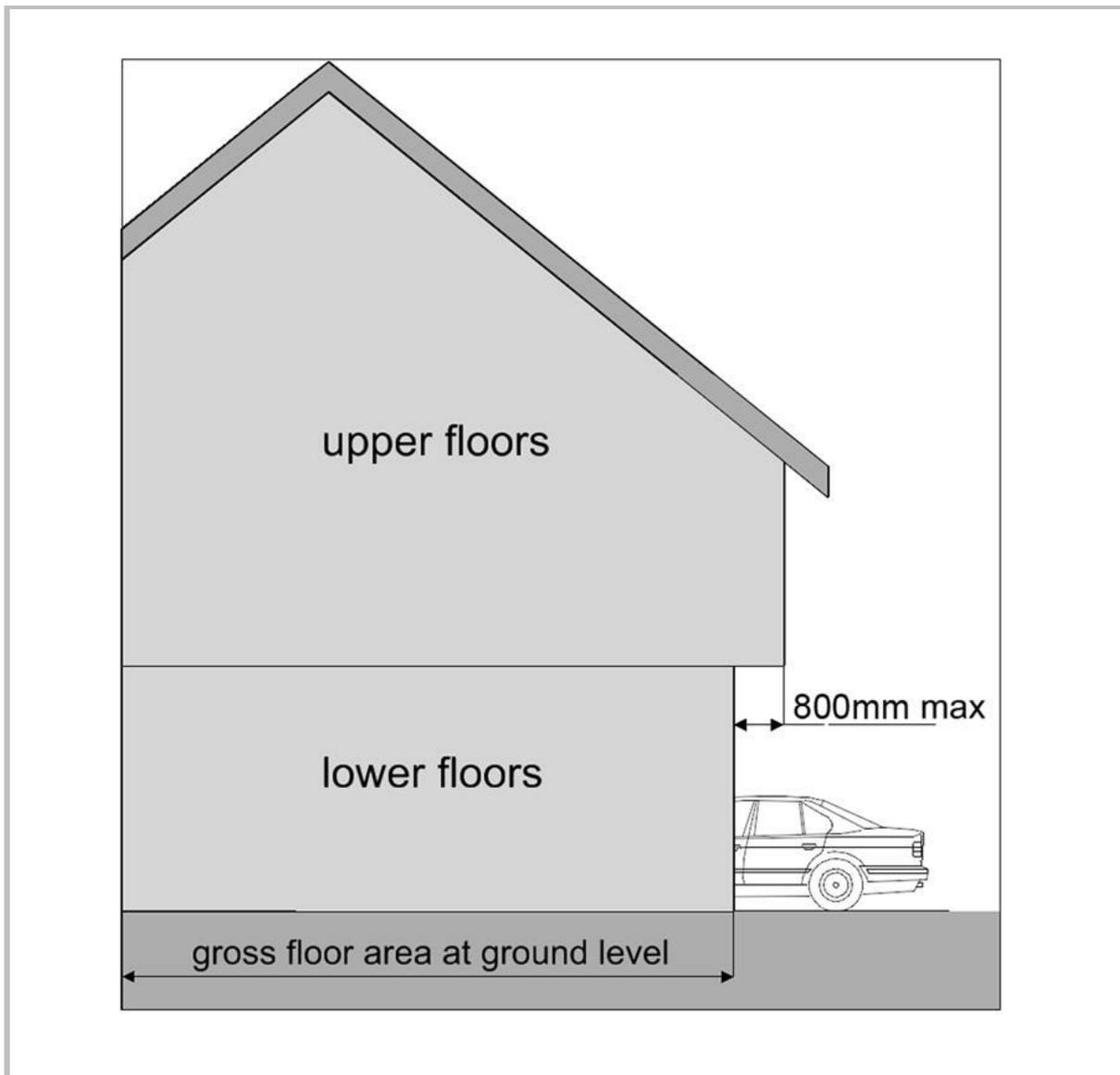
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<ul style="list-style-type: none"> iii. <u>Pre-Schools facility;</u> iv. <u>Education facility;</u> v. <u>Healthcare facility;</u> vi. <u>Place of Assembly;</u> vii. <u>Veterinary Care facility.</u> 	Minimum of 20% glazing on the road frontage on elevations above ground level
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14.2.4.4.10.7 Building Overhangs

Permitted Standard	Restricted Discretionary
No internal floor area located above ground floor level shall project more than 800mm horizontally beyond the <u>gross floor area at ground level.</u>	Non-compliance with the Permitted Standard Any application arising from non-compliance with this rule will not require written approvals and shall not be limited or publicly notified.

Figure 1 : Building overhangs. Note: This diagram is an illustrative example only, showing a way the rule may be applied.



14.2.4.4.10.8 Daylight Recession Planes

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<p>a. <u>Buildings</u> shall not project beyond a building envelope constructed by recession planes as shown in Appendix 14.10.2 Diagram C, from points 2.3m above:</p> <ul style="list-style-type: none"> i. internal boundaries; ii. where an internal <u>boundary</u> of a <u>site</u> abuts an <u>access lot</u> or access strip the recession plane may be constructed from points 2.3m above the furthest boundary of the <u>access lot</u> or <u>access strip</u> or any combination of these areas; or iii. where <u>buildings</u> on <u>adjoining sites</u> have a common wall along an internal <u>boundary</u> the recession planes shall not apply along that part of the <u>boundary</u> covered by the wall. <p>b. Where <u>sites</u> are located within a <u>Floor Level and Fill Management Area</u>, recession plane breaches created by the need to raise floor levels will not require the written consent of other persons and shall be non-notified.</p>	<p>Non-compliance with Permitted Standard</p>
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14.2.4.4.10.9 Fences and Screening

Fencing and/or screening shall be provided as follows:

Applicable to	Permitted	Restricted Discretionary
Road boundary setbacks adjoining <u>local roads</u> .	1.8m where at least 50% of the fence is visually transparent. 1m in height	Non-compliance with
Parking areas adjoining road boundaries, conservation, open space and residential zones.	1.8m where at least 50% of the fence is visually transparent. 1m	Permitted Standard
<u>Outdoor storage areas</u>	To ensure the storage area is not visible from 1.8m above <u>ground level</u> on any adjoining road or <u>site</u> . Outside of the 2m planted strip along the <u>road frontage</u> .	

Note: For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building

14.2.4.4.10.10 Landscaped Areas

Planting for non-residential activities shall be provided as follows:

Applicable to	Permitted Standard	Restricted Discretionary
Area adjoining the <u>road frontage</u> of all <u>sites</u> .	Minimum density of 1 tree per every 10m of <u>road frontage</u> or part thereof, distributed across the <u>frontage</u> . Minimum 2m planted strip	Non-compliance with Permitted Standard
Sites adjoining residential, conservation and open space zones.	Trees should be planted adjacent to the shared <u>boundary</u> at a ratio of at least 1 tree for every 10 metres of the <u>boundary</u> or part thereof, with the trees evenly spaced along that <u>boundary</u> .	

All landscaping/tree required under these rules shall be in accordance with the provisions in Appendix 6.6

14.2.4.4.10.11 Maximum Hours of Operation

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Applicable to	Permitted Standard	Non - Complying
All sites which are open to guests, clients or deliveries for any activity other than residential activities.	40 hours and shall be limited to: a. 0700 - 2200 Monday to Friday and b. 0800 - 1900 Saturday, Sunday and public holidays	Non-compliance with Permitted Standard

14.3 Rules - Medium Density Zone

14.3.1 How to use the rules

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

- 14.3.1.1 *The rules that apply to activities in the Residential Medium Density Zone are contained in:*
- a. *The Activity Status Tables (incl. Activity Specific Standards) in Rules [14.3.2.1](#), [14.3.2.2](#), [14.3.2.3](#), [14.3.2.4](#), [14.3.2.5](#), and [14.3.2.6](#); and*
 - b. *Built Form Standards in Rules [14.3.3.1](#), [14.3.3.2](#), [14.3.3.3](#), [14.3.3.4](#), [14.3.3.5](#), [14.3.3.6](#), [14.3.3.7](#), [14.3.3.8](#), [14.3.3.9](#), [14.3.3.10](#), [14.3.3.11](#), [14.3.3.12](#), [14.3.3.13](#), [14.3.3.14](#), [14.3.3.15](#), [14.3.3.16](#), [14.3.3.17](#), and [14.3.3.18](#).*
- 14.3.1.2 *The rules that apply to activities within the following specific areas are contained in the Area Specific Standards:*
- a. *Residential Medium Density Zone, higher height limit and site density overlay at Deans Avenue - Rules [14.3.5.1](#) and [14.3.5.2](#);*
 - b. *Residential Medium Density Zone higher height limit and site density overlay at Carlton Mill - Rule [14.3.5.1](#);*
 - c. *Residential Medium Density Zone Wigram ([Figure 8](#)) Rule [14.3.5.2](#); and*
 - d. *Sumner Master Plan overlay area (shown in Chapter 15 Commercial Zones [Appendix 15.9.11](#)) Rule [14.3.5.2](#).*
- 14.3.1.3 *The Activity Status Tables and Standards in the following Chapters shall be complied with (where relevant):*
- 5 *Natural Hazards;*
 - 6 *General Rules and Procedures;*
 - 7 *Transport;*
 - 8 *Subdivision, Development and Earthworks;*
 - 9 *Heritage and Natural Environment;*
 - 11 *Utilities, Energy and Infrastructure; and*
 - 12 *Hazardous Substances and Contaminated Land*

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- 14.3.1.1 The rules that apply to activities in the Residential Medium Density Zone are contained in:
- a. The Activity Status Tables (incl. Activity Specific Standards) in Rules [14.3.2.1](#), [14.3.2.2](#), [14.3.2.3](#), [14.3.2.4](#), [14.3.2.5](#), and [14.3.2.6](#); and
 - b. Built Form Standards in Rules [14.3.3.1](#), [14.3.3.2](#), [14.3.3.3](#), [14.3.3.4](#), [14.3.3.5](#), [14.3.3.6](#), [14.3.3.7](#), [14.3.3.8](#), [14.3.3.9](#), [14.3.3.10](#), [14.3.3.11](#), [14.3.3.12](#), [14.3.3.13](#), [14.3.3.14](#), [14.3.3.15](#), [14.3.3.16](#), [14.3.3.17](#), and [14.3.3.18](#).
- 14.3.1.2 The rules that apply to activities within the following specific areas are contained in the Area Specific Standards:
- a. Residential Medium Density Zone, higher height limit and site density overlay at Deans Avenue - Rules [14.3.5.1](#) and [14.3.5.2](#);
 - b. Residential Medium Density Zone higher height limit and site density overlay at Carlton Mill - Rule [14.3.5.1](#);
 - c. Residential Medium Density Zone Wigram ([Figure 8](#)) Rule [14.3.5.2](#); and
 - d. Sumner Master Plan overlay area (shown in Chapter 15 Commercial Zones [Appendix 15.9.11](#)) Rule [14.3.5.2](#).
 - e. Accommodation and Community Facilities Overlay Rules [14.3.4](#) and [14.3.5.3](#)

14.3.1.3 The Activity Status Tables and Standards in the following Chapters shall be complied with (where relevant):

- 5 Natural Hazards;
- 6 General Rules and Procedures;
- 7 Transport;
- 8 Subdivision, Development and Earthworks;
- 9 Heritage and Natural Environment;
- 11 Utilities, Energy and Infrastructure; and
- 12 Hazardous Substances and Contaminated Land

14.3.2 Activity status tables

14.3.2.1 Permitted Activities

In the Residential Medium Density Zone the activities listed below are permitted activities if they comply with any Activity specific standards set out in this table and the Built form standards in [Rule 14.3.3](#) and the area specific standards in [Rule 14.3.4](#).

Activities may also be restricted discretionary, discretionary, non complying or prohibited as specified in Rules [14.3.2.3](#), [14.3.2.4](#), [14.3.2.5](#), and [14.3.2.6](#).

Activity		Activity specific standards
P1	<u>Residential Activities</u> that occur within <u>residential unit</u> .	a. NIL.

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Activity		Activity specific standards
P2	Accommodation of travellers for a tariff.	<p>There shall be:</p> <ul style="list-style-type: none"> a. a maximum of six travellers accommodated at any one time; and b. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u>.
P3	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer.	<p>There shall be:</p> <ul style="list-style-type: none"> a. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and b. at least one carer residing permanently within the <u>residential unit</u>.
P4	Relocation of a <u>residential unit</u> .	<ul style="list-style-type: none"> a. NIL.
P5	Conversion of an <u>elderly person's housing unit</u> existing at 6 December 2013, into a <u>residential unit</u> that may be occupied by any person(s) and without the need to be encumbered by a bond or other appropriate legal instrument.	<p>Each converted unit shall have:</p> <ul style="list-style-type: none"> a. a minimum <u>gross floor area</u>, excluding terraces, <u>garages</u>, <u>sundecks</u> and <u>verandahs</u>, of 35m²; and b. a separate <u>outdoor living space</u> readily accessible from its <u>living area</u> that is at least 30m² with a minimum dimension of 3m.

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Activity		Activity specific standards
P6	<u>Home Occupation.</u>	<p>The <u>home occupation</u> shall limit:</p> <ol style="list-style-type: none"> a. the <u>gross floor area</u> of the <u>building</u> plus the area used for <u>outdoor storage</u> occupied by the occupation to less than 40m²; b. the number of <u>FTE</u> employed persons, who reside permanently elsewhere than on the <u>site</u>, to one; c. any <u>retailing</u> to the sale of goods grown or produced on the <u>site</u>, or internet-based sales where no customer visits occur; d. the hours of operation to 50 hours per week; e. the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ol style="list-style-type: none"> i. 0900 – 2100 Monday to Friday; and ii. 0900 – 1300 Saturday, Sunday and public holidays; f. visitor or staff <u>parking area</u> to outside the <u>road boundary setback</u>; g. signage to a maximum area of 1m², except that where the activity is located on <u>sites</u> with <u>frontage</u> to Memorial Avenue or Fendalton Road there shall be no signage; and h. activity, where that activity is: <ol style="list-style-type: none"> i. open to visitors and clients; and ii. in a multiple level apartment complex; <p style="margin-left: 40px;">to the ground floor.</p>

Activity		Activity specific standards
P7	<u>Pre-schools facility.</u>	<p>The facility shall:</p> <ul style="list-style-type: none"> a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; c. limit outdoor play areas and facilities to those that comply with the Group 1 acoustic standard for residential zones; d. limit signage to a maximum area of 1m²; e. limit the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ul style="list-style-type: none"> i. 0700 – 2100 Monday to Friday; and ii. 0700 – 1300 Saturday, Sunday and public holidays; f. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; g. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block. <p>Note: See Figure 1.</p>
P8	<u>Health Care Facility.</u>	<p>The facility shall:</p> <ul style="list-style-type: none"> a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; c. limit signage to a maximum area of 1m²; d. limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of: 0700 – 2100; e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.

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Activity		Activity specific standards
P9	<u>Veterinary Care Facility.</u>	<p>The facility shall:</p> <ul style="list-style-type: none"> a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; c. limit signage to a maximum area of 1m²; d. limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100; e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block; and g. limit the boarding of animals on the <u>site</u> to four. <p>Note: See Figure 1.</p>
P10	<u>Education activity.</u>	<p>The activity shall:</p> <ul style="list-style-type: none"> a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; c. limit signage to a maximum area of 1m²; d. limit the hours of operation when the <u>site</u> is open to students, or clients, and deliveries to between the hours of: <ul style="list-style-type: none"> i. 0700 – 2100 Monday to Saturday; and ii. Closed Sunday and public holidays; e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block. <p>Note: See Figure 1</p>

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Activity		Activity specific standards
P11	Temporary military or emergency service training activities.	a. NIL.
P12	Market gardens, community gardens, and garden <u>allotments</u> .	a. NIL.
P13	Storage of <u>heavy vehicles</u> .	a. No more than one vehicle shall be stored on the <u>site</u> .
P14	Dismantling, repair, or storage of motor vehicles and boats.	a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u> .
P15	<u>Places of Assembly</u> .	<p>The activity shall:</p> <ul style="list-style-type: none"> a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; b. only occupy a <u>gross floor area of building</u> of less than 200m²; c. limit signage to a maximum area of 1m²; d. limit the hours of operation when the <u>site</u> is open to visitors, or clients, and deliveries to between the hours of: <ul style="list-style-type: none"> i. 0700 – 2100 Monday to Saturday; and ii. Closed Sunday and public holidays (except churches and church halls); e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block. <p>Note: See Figure 1.</p>

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Activity	Activity specific standards
<p>P16 Temporary lifting or moving of earthquake damaged <u>buildings</u> where there is non compliance with one or more of Rules 14.3.3.2, 14.3.3.3, 14.3.3.4, 14.3.3.5; or 14.3.3.6.</p>	<p>a. <u>Buildings</u> shall not be:</p> <ul style="list-style-type: none"> i. moved to within 1m of an internal <u>boundary</u> and/or within 3m of any <u>waterbody</u>, scheduled tree, listed heritage item, natural resources and <u>Council</u> owned structure, <u>archaeological site</u>, or the coastal marine area; ii. lifted to a <u>height</u> exceeding 2.5m above the applicable recession plane or <u>height</u> control. <p>b. The <u>building</u> must be lowered back or moved back to its original position, or a position compliant with the <u>District Plan</u> or consistent with a resource consent, within eight weeks of the lifting or moving works having first commenced.</p> <p>c. In all cases of a <u>building</u> being moved or lifted, the owners/occupiers of land adjoining the <u>sites</u> shall be informed of the work at least seven days prior to the lift or move of the <u>building</u> occurring. The information provided shall include details of a contact person, details of the lift or move, and the duration of the lift or move.</p> <p>d. The <u>Council's</u> Resource Consents Manager shall be notified of lifting or moving the <u>building</u> at least seven days prior to the lift or move of the <u>building</u> occurring. The notification must include details of the lift or move, property address, contact details and intended start date.</p>

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Activity	Activity specific standards
<p>P17 Repair or rebuild of <u>buildings</u> with cross leases, company leases or unit titles.</p>	<p>Where the <u>building</u> footprint or <u>building</u> location is to be altered to enable the repair or rebuild of a <u>building</u> damaged by the Canterbury earthquakes of 2010 and 2011, and the existing <u>building</u> complies with zone Rules 14.3.3.2, 14.3.3.5, and 14.3.3.8 repaired or relocated <u>buildings</u> need comply with Rules 14.3.3.2, 14.3.3.5, and 14.3.3.8.</p> <p>Clarification: If any of the above standards are not met, the activity status will be as specified in the relevant standard.</p> <p>a. Where the <u>building</u> footprint or <u>building</u> location is to be altered to enable the repair or rebuild of a <u>building</u> damaged by the Canterbury earthquakes of 2010 and 2011, and the existing <u>building</u> does not comply with zone Rules 14.3.3.2, 14.3.3.5, and 14.3.3.8 repaired or relocated <u>buildings</u> shall not increase non-compliance with zone Rules 14.3.3.2, 14.3.3.5, and 14.3.3.8.</p> <p>Clarification: If any of the above standards are not met or if there is increased non-compliance with the standards, the activity status will be as specified in the relevant standard.</p> <p>b. Where the repair or rebuild of a <u>building</u> damaged by the Canterbury Earthquakes of 2010 and 2011 will not alter the <u>building</u> footprint or location, repaired or relocated <u>buildings</u> need not comply with any of the built form standards.</p> <p>i. For any other reason, <u>buildings</u> need to comply with all relevant standards.</p> <p>Refer to Rule 8.2.3.1 of Chapter 8.</p>

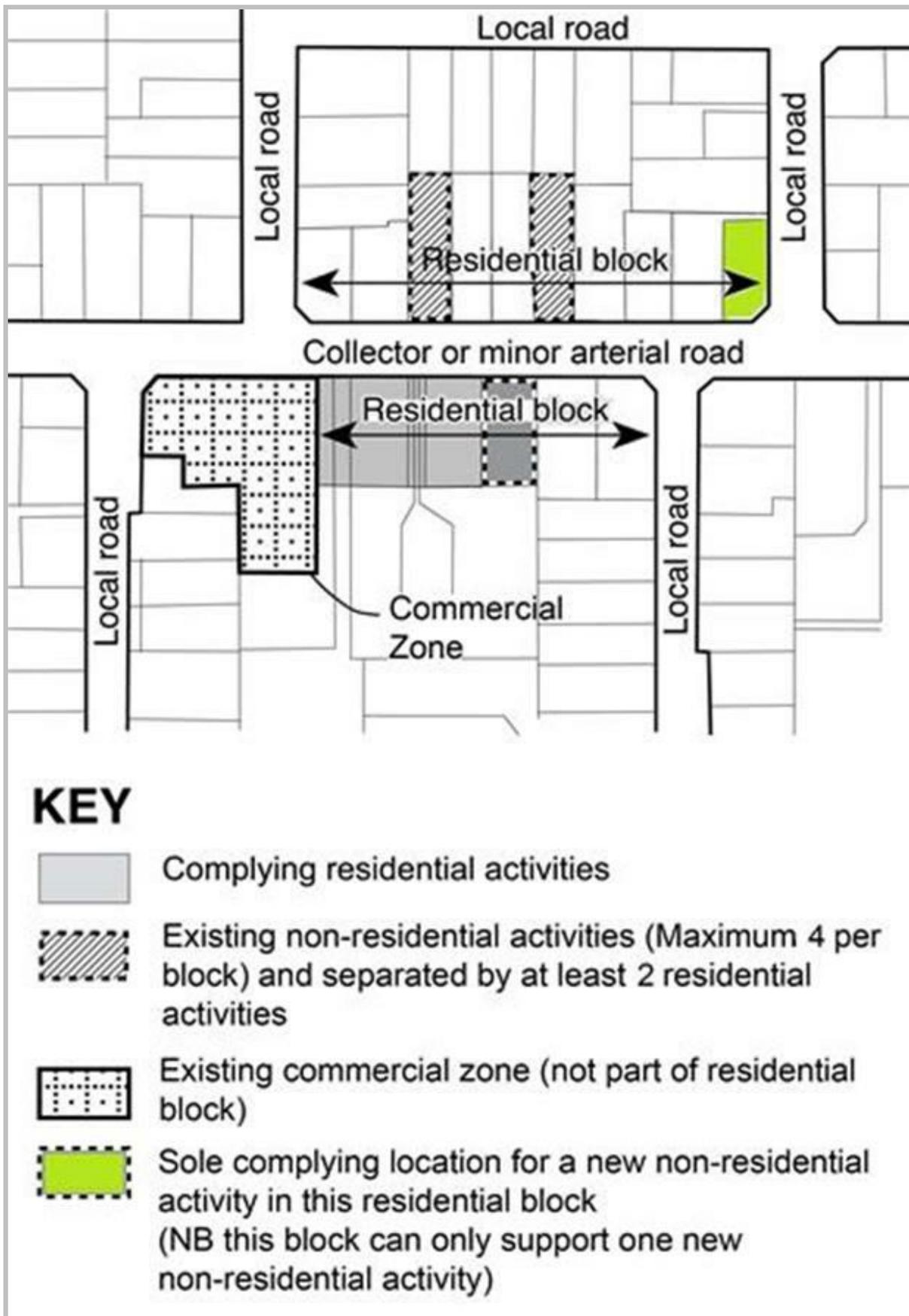


Figure 1 : Residential coherence.

14.3.2.2 Controlled Activities

There are no controlled activities.

14.3.2.3 Restricted Discretionary Activities

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

The activities listed below are Restricted Discretionary Activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in 14.9 for each standard, as set out in the following table.

Activity		The <u>Council's</u> discretion shall be limited to the following Matters:
RD1	<p><u>Residential units</u> (including any <u>sleep-outs</u>) containing more than six bedrooms in total.</p>	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6 b. Scale of activity - 14.9.14 c. Traffic generation access and safety - 14.9.15 d. Liquefaction susceptibility of <u>site</u> and development - 14.9.20
RD2	<p>The erection of new <u>buildings</u> and alterations or additions to existing <u>buildings</u> including all <u>accessory buildings</u>, fences and walls associated with that development, that result in:</p> <ul style="list-style-type: none"> a. three or more <u>residential units</u>, or b. one or two <u>residential units</u> on a <u>site</u> smaller than 300m² gross <u>site</u> area, or c. one or two <u>residential units</u> resulting in residential floor area greater than 500m²; d. over 40m² of a <u>building</u> used for other activities, on a <u>site</u>. 	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6 b. Minimum unit size and unit mix 14.9.9 (2) c. and for a. and c. only, <p>Liquefaction susceptibility of <u>site</u> and development - 14.9.20</p>

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Activity		The Council's discretion shall be limited to the following Matters:
RD3	<i>Student hostels owned or operated by a secondary or tertiary education and research activity containing less than 10 bedrooms.</i>	<ul style="list-style-type: none"> a. <i>Urban design and Māori urban design principles -14.9.6</i> b. <i>Scale of activity - 14.9.14</i> c. <i>Liquefaction susceptibility of <u>site</u> and development - 14.9.20</i>
RD4	<i><u>Retail activity</u> with frontage only to public access ways identified in Sumner Master Plan overlay area, Chapter 15 Commercial Zones Appendix 15.9.11.</i>	<ul style="list-style-type: none"> a. <i>Urban design and Māori urban design principles - 14.9.6</i>
RD5	<i>Creation of stormwater drainage ponding areas within 3km of the edge of the Christchurch International Airport runways.</i>	<ul style="list-style-type: none"> a. <i>Stormwater ponding areas within 3km of Christchurch International Airport - 14.9.18</i>

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Activity		The Council's discretion shall be limited to the following Matters:
RD6	<p><u>Sensitive activities and building</u> within the Electricity Transmission Line Corridor</p> <p>a. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities:</p> <ul style="list-style-type: none"> i. any new <u>sensitive activity</u> or additional <u>habitable space</u>; ii. any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities: iii. any <u>sensitive activity</u> <p>b. The centre of the transmission line is to be found by measuring a straight line from the centre of 2 adjoining support structures.</p> <p>c. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner.</p> <p>d. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent.</p> <p>Note:</p> <ol style="list-style-type: none"> 1. The transmission lines are shown on the Planning Maps 9, 16, 21, 22, 23, 24, 26, 28, 29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49, 50, 51, 55, 56, 61, 62, 63, 69, 70, 78. 2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines. 	<p>a. Electricity Transmission Line Corridor - 14.9.19</p>
RD7	<p><u>Retirement villages</u>.</p>	<p>a. Urban design and Māori urban design principles - 14.9.6</p> <p>b. Scale of activity - 14.9.14</p> <p>c. Traffic generation and access safety - 14.9.15</p>

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Activity		The Council's discretion shall be limited to the following Matters:
RD8	<p><u>Convenience activities</u> where:</p> <ol style="list-style-type: none"> 1. The <u>site</u> is located on the corner of a <u>minor arterial road</u>; 2. The total area occupied by <u>retailing</u> on the <u>site</u> is no more than 50m² <u>public floor area</u>; 3. The activity does not include the sale of alcohol; 4. Signage is limited to no more than 1m² and shall be within the <u>road boundary setback</u>; 5. The hours of operation when the <u>site</u> is open to business visitors or clients are limited to between the hours of 0700 – 2200 Monday to Sunday and public holidays; and 6. there is no provision of on-site <u>parking area</u> for visitors or service purposes. 	<ol style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6 b. Scale of activity - 14.9.14 c. Non residential hours of operation - 14.9.16 d. Traffic generation and access safety - 14.9.15
RD9	<p>Temporary lifting or moving of earthquake damaged <u>buildings</u> that does not meet the standards in Rule 14.3.2.1 P16.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<ol style="list-style-type: none"> a. Temporary lifting or moving of earthquake damaged <u>buildings</u> - 14.9.23
RD10	<p>Non compliance with one or more of the following Rules:</p> <ol style="list-style-type: none"> 1. 14.3.3.3, 14.3.3.5, 14.3.3.6, 14.3.3.7. 	<p>As relevant to the breached rule</p> <ol style="list-style-type: none"> a. <u>Site density and site coverage</u> - 14.9.1 b. <u>Building height and daylight recession planes</u> - 14.9.2 c. Minimum <u>building, window and balcony setbacks</u> from internal boundaries - 14.9.4

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Activity		The Council's discretion shall be limited to the following Matters:
RD11	<p><i>Non compliance with one or more of the following Rules:</i></p> <p>1. 14.3.3.1, 14.3.3.4, 14.3.3.8, 14.3.3.9, 14.3.3.10, 14.3.3.11, 14.3.3.12, 14.3.3.13, 14.3.3.14, 14.3.3.15, 14.3.3.16</p> <p><i>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</i></p>	<p><i>As relevant to the breached rule</i></p> <ul style="list-style-type: none"> a. <u>Outdoor living space</u> - 14.9.5 b. <i>Tree and garden planting</i> - 14.9.12 c. <i>Street scene – road boundary building setback, front doors fencing and planting</i> - 14.9.3 d. <i>Life-stage, adaptive design and energy and water efficiency</i> - 14.9.21 e. <u>Building overhangs</u> - 14.9.8 f. <i>Minimum unit size</i> - 14.9.9 g. <u>Ground floor habitable space</u> - 14.9.10 h. <i>Service storage and waste management spaces</i> - 14.9.11 i. <i>Acoustic insulation</i> - 14.9.13
RD12	<p><i>Non compliance with Rule 14.3.3.17.</i></p> <p><i>Any application arising from this rule will not require the written approval of any entity except the New Zealand Fire Service and shall not be fully publicly notified. Limited notification if required shall only be to the New Zealand Fire Service.</i></p>	<ul style="list-style-type: none"> a. <i>Water supply for fire fighting</i> - 14.9.25
RD13	<p><i>Non compliance with Rule 14.3.2.1 P23</i></p>	<ul style="list-style-type: none"> a. <i>Whether the any alteration to the <u>building</u> would impact on the amenity of adjoining properties.</i>

The activities listed below are Restricted Discretionary Activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [14.9](#) for each standard, as set out in the following table.

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Activity		The Council's discretion shall be limited to the following Matters:
RD1	<p><u>Residential units</u> (including any <u>sleep-outs</u>) containing more than six bedrooms in total.</p>	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6 b. Scale of activity - 14.9.14 c. Traffic generation access and safety - 14.9.15 d. Liquefaction susceptibility of <u>site</u> and development - 14.9.20
RD2	<p>The erection of new <u>buildings</u> and alterations or additions to existing <u>buildings</u> including all <u>accessory buildings</u>, fences and walls associated with that development, that result in:</p> <ul style="list-style-type: none"> a. three or more <u>residential units</u>, or b. one or two <u>residential units</u> on a <u>site</u> smaller than 300m² gross <u>site</u> area, or c. one or two <u>residential units</u> resulting in residential floor area greater than 500m²; d. over 40m² of a <u>building</u> used for other activities, on a <u>site</u>. 	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6 b. Minimum unit size and unit mix 14.9.9 (2) c. and for a. and c. only, <p>Liquefaction susceptibility of <u>site</u> and development - 14.9.20</p>
RD3	<p>Student hostels owned or operated by a secondary or tertiary education and research activity containing less than 10 bedrooms.</p>	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6 b. Scale of activity - 14.9.14 c. Liquefaction susceptibility of <u>site</u> and development - 14.9.20

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Activity		The Council's discretion shall be limited to the following Matters:
RD4	<u>Retail activity</u> with frontage only to public access ways identified in Sumner Master Plan overlay area, Chapter 15 Commercial Zones Appendix 15.9.11 .	a. Urban design and Māori urban design principles - 14.9.6
RD5	Creation of stormwater drainage ponding areas within 3km of the edge of the Christchurch International Airport runways.	a. Stormwater ponding areas within 3km of Christchurch International Airport - 14.9.18
RD6	<p><u>Sensitive activities</u> and <u>building</u> within the Electricity Transmission Line Corridor</p> <p>a. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities:</p> <ul style="list-style-type: none"> i. any new <u>sensitive activity</u> or additional <u>habitable space</u>; ii. any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities: iii. any <u>sensitive activity</u> <p>b. The centre of the transmission line is to be found by measuring a straight line from the centre of 2 adjoining support structures.</p> <p>c. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner.</p> <p>d. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent.</p> <p>Note:</p> <ol style="list-style-type: none"> 1. The transmission lines are shown on the Planning Maps 9, 16, 21, 22, 23, 24, 26, 28, 29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49, 50, 51, 55, 56, 61, 62, 63, 69, 70, 78. 2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines. 	a. Electricity Transmission Line Corridor - 14.9.19

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Activity		The Council's discretion shall be limited to the following Matters:
RD7	<u>Retirement villages</u> .	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6 b. Scale of activity - 14.9.14 c. Traffic generation and access safety - 14.9.15
RD8	<p><u>Convenience activities</u> where:</p> <ol style="list-style-type: none"> 1. The <u>site</u> is located on the corner of a <u>minor arterial road</u>; 2. The total area occupied by <u>retailing</u> on the <u>site</u> is no more than 50m² <u>public floor area</u>; 3. The activity does not include the sale of alcohol; 4. Signage is limited to no more than 1m² and shall be within the <u>road boundary setback</u>; 5. The hours of operation when the <u>site</u> is open to business visitors or clients are limited to between the hours of 0700 – 2200 Monday to Sunday and public holidays; and 6. there is no provision of on-site <u>parking area</u> for visitors or service purposes. 	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles - 14.9.6 b. Scale of activity - 14.9.14 c. Non residential hours of operation - 14.9.16 d. Traffic generation and access safety - 14.9.15
RD9	<p>Temporary lifting or moving of earthquake damaged <u>buildings</u> that does not meet the standards in Rule 14.3.2.1 P16.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<ul style="list-style-type: none"> a. Temporary lifting or moving of earthquake damaged <u>buildings</u> - 14.9.23

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Activity		The Council's discretion shall be limited to the following Matters:
RD10	<p>Non compliance with one or more of the following Rules:</p> <p>1. 14.3.3.3, 14.3.3.5, 14.3.3.6, 14.3.3.7.</p>	<p>As relevant to the breached rule</p> <ul style="list-style-type: none"> a. <u>Site</u> density and <u>site</u> coverage - 14.9.1 b. <u>Building height</u> and daylight recession planes - 14.9.2 c. Minimum <u>building</u>, window and <u>balcony setbacks</u> from internal <u>boundaries</u> - 14.9.4

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Activity		The Council's discretion shall be limited to the following Matters:
RD11	<p>Non compliance with one or more of the following Rules:</p> <p>1. 14.3.3.1, 14.3.3.4, 14.3.3.8, 14.3.3.9, 14.3.3.10, 14.3.3.11, 14.3.3.12, 14.3.3.13, 14.3.3.14, 14.3.3.15, 14.3.3.16</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule</p> <ul style="list-style-type: none"> a. Outdoor living space - 14.9.5 b. Tree and garden planting - 14.9.12 c. Street scene – road boundary building setback, front doors fencing and planting - 14.9.3 d. Life-stage, adaptive design and energy and water efficiency - 14.9.21 e. Building overhangs - 14.9.8 f. Minimum unit size - 14.9.9 g. Ground floor habitable space - 14.9.10 h. Service storage and waste management spaces - 14.9.11 i. Acoustic insulation - 14.9.13
RD12	<p>Non compliance with Rule 14.3.3.17.</p> <p>Any application arising from this rule will not require the written approval of any entity except the New Zealand Fire Service and shall not be fully publicly notified. Limited notification if required shall only be to the New Zealand Fire Service.</p>	<ul style="list-style-type: none"> a. Water supply for fire fighting - 14.9.25

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Activity		The Council's discretion shall be limited to the following Matters:
RD13	Non compliance with Rule 14.3.2.1 P23	a. Whether the any alteration to the <u>building</u> would impact on the amenity of adjoining properties.
RD14	<p>For Character Areas identified in the Character Area Overlay, the relocation of an existing <u>building</u>, erection of new buildings and alterations or additions to existing <u>buildings</u>, including the front façade of the main residential <u>building</u>, <u>accessory buildings</u>, fences and walls associated with that development, where it is:</p> <p>a. visible from the street;</p> <p>b. located in the interface between the street and the main <u>residential unit</u> on the <u>site</u>.</p> <p>Any application arising from this rule will not require written approvals and shall not be limited or publicly notified.</p>	a. Character Areas Overlay – 14.9.39

14.3.2.4 Discretionary Activities

The activities listed below are discretionary activities.

Activity	
D1	<u>Home occupation</u> , student hostels, <u>pre-schools facilities</u> , <u>health care facilities</u> , <u>education activities</u> , and conversion of an <u>elderly person's housing unit</u> into a <u>residential unit</u> , travellers accommodated for a tariff in a <u>residential unit</u> , care of non-resident children within a <u>residential unit</u> , <u>veterinary care facilities</u> , <u>places of assembly</u> , storage of <u>heavy vehicles</u> , show homes, and dismantling, repair or storage of motor vehicles and/or boats where it does not meet one or more of the Activity Specific Standards for permitted activities in Rule 14.3.2.1 P2, P3, P5, P6, P7, P8, P9, P10, P14 or restricted discretionary activities.

14.3.2.5 Non Complying Activities

The activities listed below are non complying activities.

Activity	
NC1	Any activity not provided as a permitted, restricted discretionary, discretionary, or prohibited activity
NC2	Non compliance with Rule 14.3.3.2 .

	Activity
NC1	Any activity not provided as a permitted, restricted discretionary, discretionary, or prohibited activity
NC3	Non compliance with Rule 14.3.3.16 .

14.3.2.6 Prohibited Activities

There are no prohibited activities.

14.3.3 Built form standards

14.3.3.1 Tree and garden planting

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

Sites shall include the minimum tree and garden planting as set out in the below table:

	For all activities except permitted commercial activities in the Sumner Master Plan overlay area
1.	1 tree to be planted between <u>road</u> and <u>buildings</u> for each (e.g. 10 metres of road boundary = 1 tree, 11 metres of road boundary = 2 trees).
2.	A landscape strip is required along the full length of the accessway or carparking area (internal)

Sites shall include the minimum tree and garden planting as set out in the below table:

	For all activities except permitted commercial activities in the Sumner Master Plan overlay area
1.	1 tree to be planted between <u>road</u> and <u>buildings</u> for each (e.g. 10 metres of road boundary = 1 tree, 11 metres of road boundary = 2 trees).
2.	A landscape strip is required along the full length of the accessway or carparking area (internal)
3.	For Category 2 Character Areas CA23 The Esplanade West, CA 24 Church Square, CA26 Haast, CA Rastrick and CA33 Clissold, a 2m wide landscape strip comprising a combination of tree and garden planting shall be planted along the length of the <u>road boundary</u> , excluding that part required for a driveway or pedestrian access.
4.	For Category 2 Character Areas CA23 The Esplanade West, CA 24 Church Square, CA26 Haast, CA Rastrick and CA33 Clissold, 20% of the <u>site</u> , including the <u>road boundary</u> planting strip, shall be used for tree and garden planting.

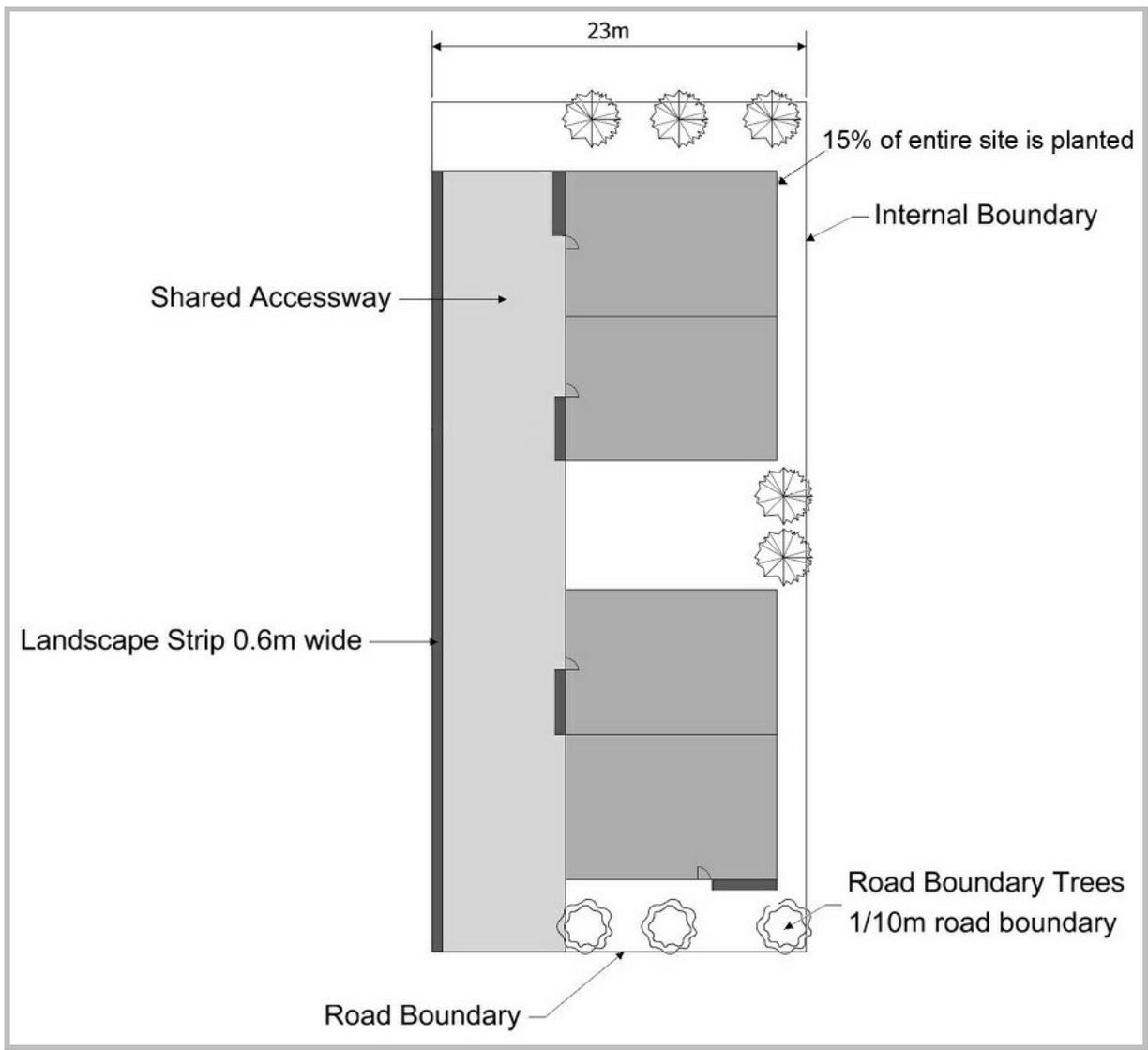


Figure 2 : Landscaping and tree planting.

Note: This diagram is an illustrative example only, showing one way the rule may be applied.

14.3.3.2 Building height and maximum number of stories

The maximum height of any building shall be:

		Standard
1.	All areas <u>buildings</u> not listed below	9m
2.	For <u>buildings</u> with a pitched roof of at least 22°. Figure 9	11m
3.	Central Riccarton Residential Medium Density Zone and Medium Density lower <u>height</u> limit overlay area	8m
4.	Sumner Residential Medium Density Zone	9.5m

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		Standard
5.	Sumner Master Plan overlay area, on the two prominent corners identified in Chapter 15 Commercial Zone Appendix 15.9.11	13m Provided that the area above 9.5m is limited to no more than 100m ² in <u>gross floor area</u> and is located at the apex of the street corner
6.	Within the area shown as Area A on the development plan contained in Chapter 15 - Commercial, Appendix 15.9.7	14m
7.	Medium Density higher <u>height</u> limit overlay at Deans Avenue and Medium Density higher <u>height</u> limit overlay at Carlton Mill Road	20m
8.	Higher <u>height</u> limit overlay at New Brighton and North Beach	14m North Beach 20m Central New Brighton
9.	All Medium Density <u>Height</u> Limit overlays	Any building shall not exceed 5 storeys above <u>ground level</u>

Note: See the permitted height exceptions contained within the definition of height.

14.3.3.3 Site coverage

The maximum percentage of the net site area covered by buildings shall be 45 percent.

14.3.3.4 Outdoor living space

- For residential units with two more bedrooms outdoor living space shall be provided on site for each residential unit, and shall not be occupied by parking or access. The required outdoor living space shall be within the following dimensions:

Note: the outdoor living space can be in a mix of private or communal areas at the ground level or in balconies.

Minimum total area for each <u>residential unit</u> .	Minimum private area	Minimum dimension private area when provided at <u>ground level</u>	Minimum dimension private area when provided by a <u>balcony</u> .	Minimum dimension of communal space	Accessibility of communal space	General accessibility for each <u>residential unit</u>	Minimum required <u>outdoor living space</u> at <u>ground level</u> for entire <u>site</u>
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30m ²	16m ²	4m	1.5m	4m	Accessible by all units	At least on private <u>outdoor living space</u> shall be accessible from a <u>living area</u> of a <u>residential unit</u>	50%
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2. For one bedroom units or studios on the ground floor outdoor living space shall be provided, and shall not be occupied by parking or access within the following dimensions:

Minimum total private area for each <u>residential unit</u>	Minimum dimension private area when provided at ground level
16m ²	4m

3. For one bedroom units or studios entirely at an upper level outdoor living space shall be provided within the following dimensions. The required outdoor living space can be in a mix of private and communal areas, at the ground level or in balconies within the following dimensions:

Minimum total private area for each <u>residential unit</u>	Minimum private <u>balcony</u> dimensions
16m ²	6 m ² area 1.5m dimension

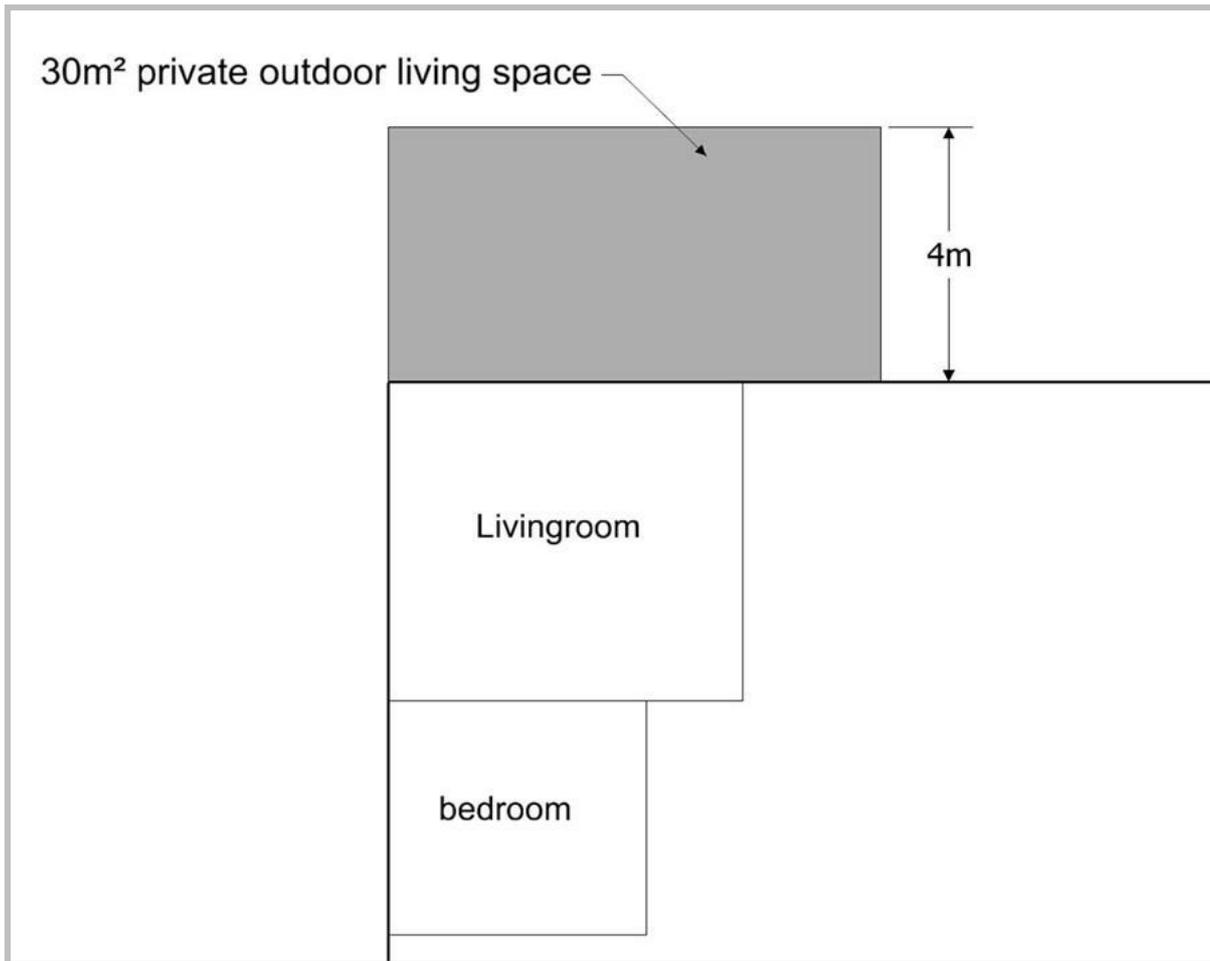


Figure 10 : Outdoor living space

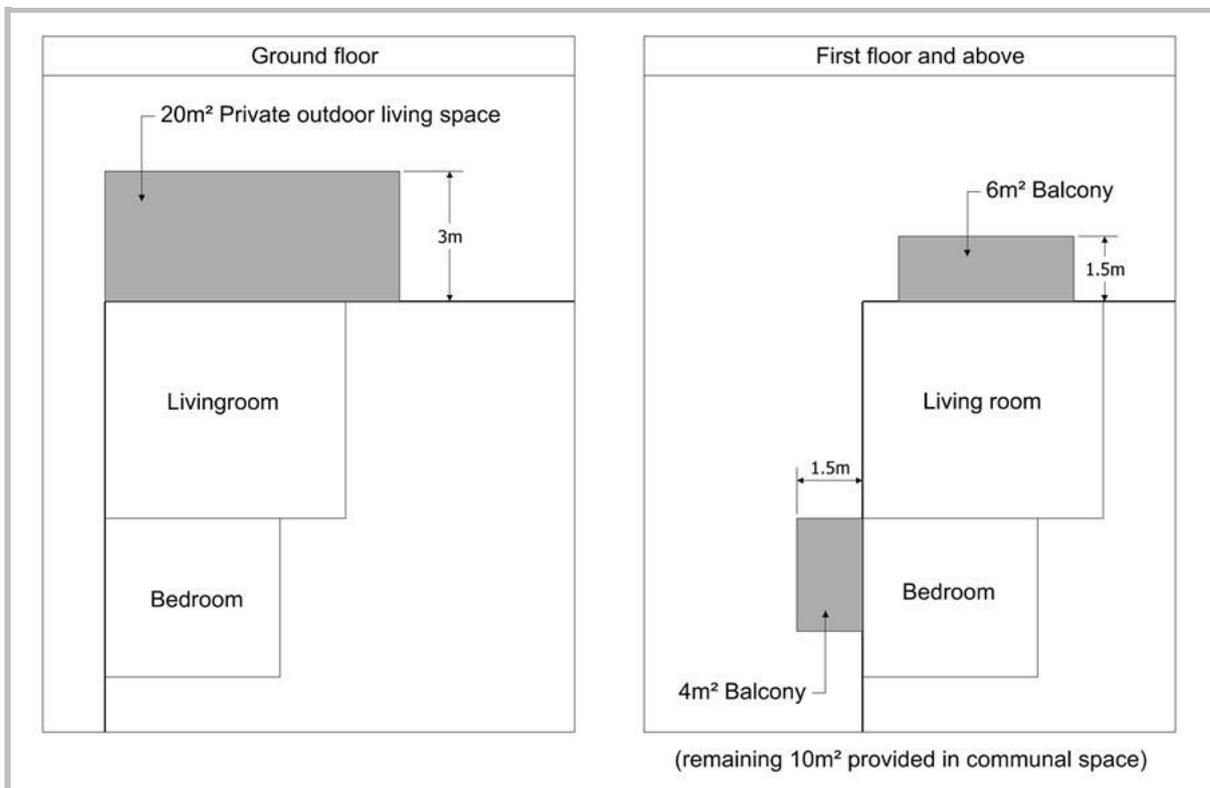


Figure 11 : Outdoor living space

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Note:

1. This diagram is an illustrative example only, showing one way the rule may be applied.
2. For two storey units, allocation of space could be spread over both levels, e.g. 24m² at ground level and 6m² as a balcony at first floor.

14.3.3.5 Daylight recession planes

- a. Buildings, shall not project beyond a building envelope constructed by recession planes, as shown in, [Appendix 14.10.2](#) diagram C, from points 2.3 metres above:
 - i. internal boundaries; or
 - ii. where an internal boundary of a site abuts an access lot or access strip the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access lot or access strip or any combination of these areas; or
 - iii. where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.
- b. Where the building is located in an overlay that has a permitted height of 11m or more, the recession plane measurement shall commence from points 2.3 metres above internal boundaries and continue on the appropriate angle to points 11m above ground level, at which point the recession plane becomes vertical.

Refer to [Appendix 14.10.2](#) for permitted intrusions.

- c. Where sites are located within a Floor Level and Fill Management Area, recession plane breaches created by the need to raise floor levels will not require the written consent of other persons and shall be non-notified.

Except that:

1. In the Residential Medium Density Zone Higher Height limit overlay the recession plane shall be as shown in [Appendix 14.10.2](#) diagram D.
2. In the Residential Medium Density Lower Height Limit and daylight recession plane overlay area the recession plane shall be as shown in [Appendix 14.10.2](#) diagram B.
3. In the Residential Medium Density Zone 15 metre Higher Height Limit overlay the recession plane shall be as shown on [Appendix 14.10.2](#) diagram D.

Except that in the Residential Medium Density Lower Height Limit overlay area the recession plane shall be as shown in [Appendix 14.10.2](#) diagram B.

14.3.3.6 Minimum building setback internal boundaries

The minimum building setback from internal boundaries shall be:

1.	All <u>buildings</u> not listed below	1.8m
2.	Where residential <u>buildings</u> on adjoining <u>sites</u> have a ground floor window of a <u>habitable space</u> located within 1.8m of the common internal <u>boundary</u> .	1.8m from that neighbouring window for a minimum length of 2m either side of the window – refer diagram below. This rule also applies to <u>accessory buildings</u> .

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3.	All other <u>accessory buildings</u> where the total length of walls or parts of the <u>accessory building</u> within 1.8m of each internal <u>boundary</u> does not exceed 10.1m in length.	NIL.
4.	<u>Buildings</u> that share a common wall along an internal <u>boundary</u> .	NIL.
5.	All other <u>buildings</u> where the internal <u>boundary</u> of the <u>site</u> adjoins an <u>access</u> or part of an <u>access</u>	1 m

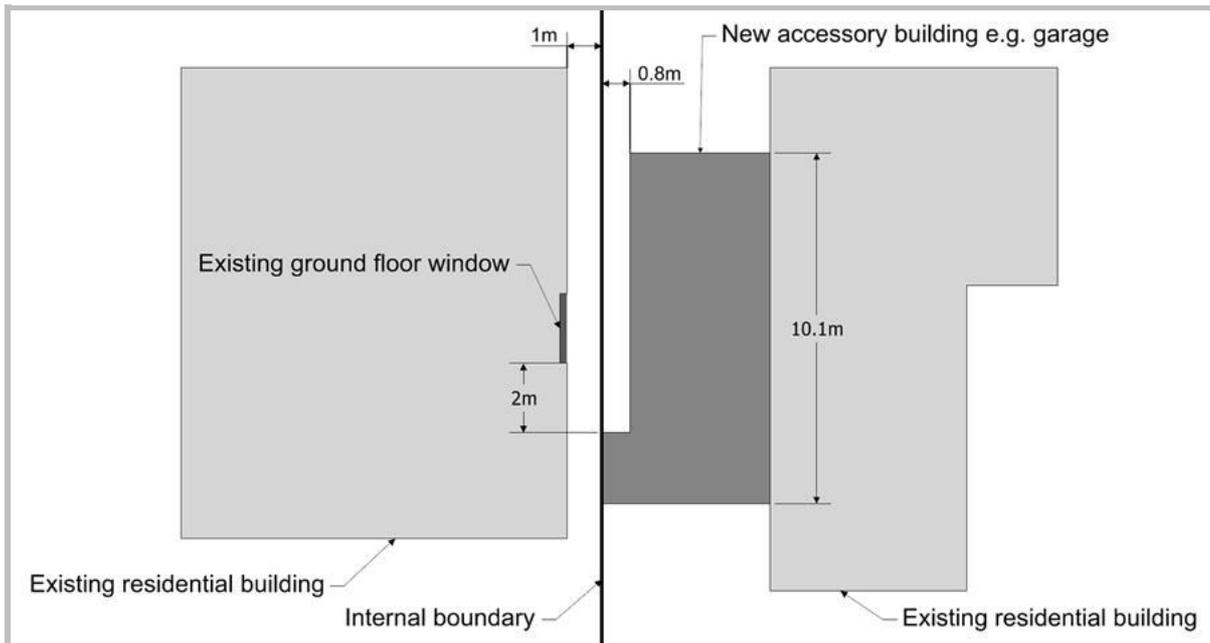


Figure 3 : Separation from neighbours for accessory buildings

Note: This diagram is an illustrative example only, showing one way the rule may be applied (Refer to full rule for application of 1.8m separation).

14.3.3.7 Minimum setback and distance to ground level for windows and balconies

The minimum setback for a living area window from an internal boundary shall be 4m. Note where the window is adjacent to an accessway the setback shall be measured from the far side of the accessway.

14.3.3.8 Road boundary garage and building setback

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The road boundary garage and building setback shall be:

1. Road boundary setback:

	<u>Building type and situations</u>	<u>Setback</u>
1.	For all <u>buildings</u> and situations not listed below.	4 m

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	<u>Building type and situations</u>	<u>Setback</u>
2.	Where that part of the <u>building</u> contains a <u>habitable space</u> or spaces.	3m for 20% of the width of the total <u>road frontage</u> .
3.	Where a <u>garage</u> has a vehicle door that does not tilt or swing outwards facing a <u>road</u> .	4.5m
4.	Where a <u>garage</u> has a vehicle door that tilts or swings outward facing a <u>road</u> .	5.5m
5.	Where a <u>garage</u> has a vehicle door that does not tilt or swing outward facing a shared <u>access way</u> .	7m measured from the <u>garage</u> door to the furthest formed edge of the adjacent shared <u>access</u> .
6.	Where a <u>garage</u> has a vehicle door that tilts or swings outward facing a shared <u>access way</u> .	8m measured from the <u>garage</u> door the furthest formed edge of the adjacent shared <u>access</u> .

The road boundary garage and building setback shall be:

1. Road boundary setback:

	<u>Building type and situations</u>	<u>Setback</u>
1.	For all <u>buildings</u> and situations not listed below.	4 m
2.	Where that part of the <u>building</u> contains a <u>habitable space</u> or spaces.	3m for 20% of the width of the total <u>road frontage</u> .
3.	Where a <u>garage</u> has a vehicle door that does not tilt or swing outwards facing a <u>road</u> .	4.5m
4.	Where a <u>garage</u> has a vehicle door that tilts or swings outward facing a <u>road</u> .	5.5m
5.	Where a <u>garage</u> has a vehicle door that does not tilt or swing outward facing a shared <u>access way</u> .	7m measured from the <u>garage</u> door to the furthest formed edge of the adjacent shared <u>access</u> .
6.	Where a <u>garage</u> has a vehicle door that tilts or swings outward facing a shared <u>access way</u> .	8m measured from the <u>garage</u> door the furthest formed edge of the adjacent shared <u>access</u> .
7.	<u>Buildings</u> located within Category 2 Character areas: CA23 The Esplanade West	6m
8.	<u>Buildings</u> located within Category 2 Character areas: CA26 Haast	4.5m

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2. Habitable Space Front Façade

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For road fronting units; garages, carports, and other accessory buildings (excluding basement car parking and swimming pools) shall be located at least 1.2m further from the road boundary than the front facade of any ground level habitable space of that unit.

2. Habitable Space Front Façade

For road fronting units; garages, carports, and other accessory buildings (excluding basement car parking and swimming pools) shall be located at least 1.2m further from the road boundary than the front facade of any ground level habitable space of that unit.

3. Garages located within the following Category 2 Character Areas CA23 The Esplanade West, CA 24 Church Square, CA26 Haast, CA27 Rastrick and CA33 Clissold shall comprise no more than 40% width of the sites road frontage.

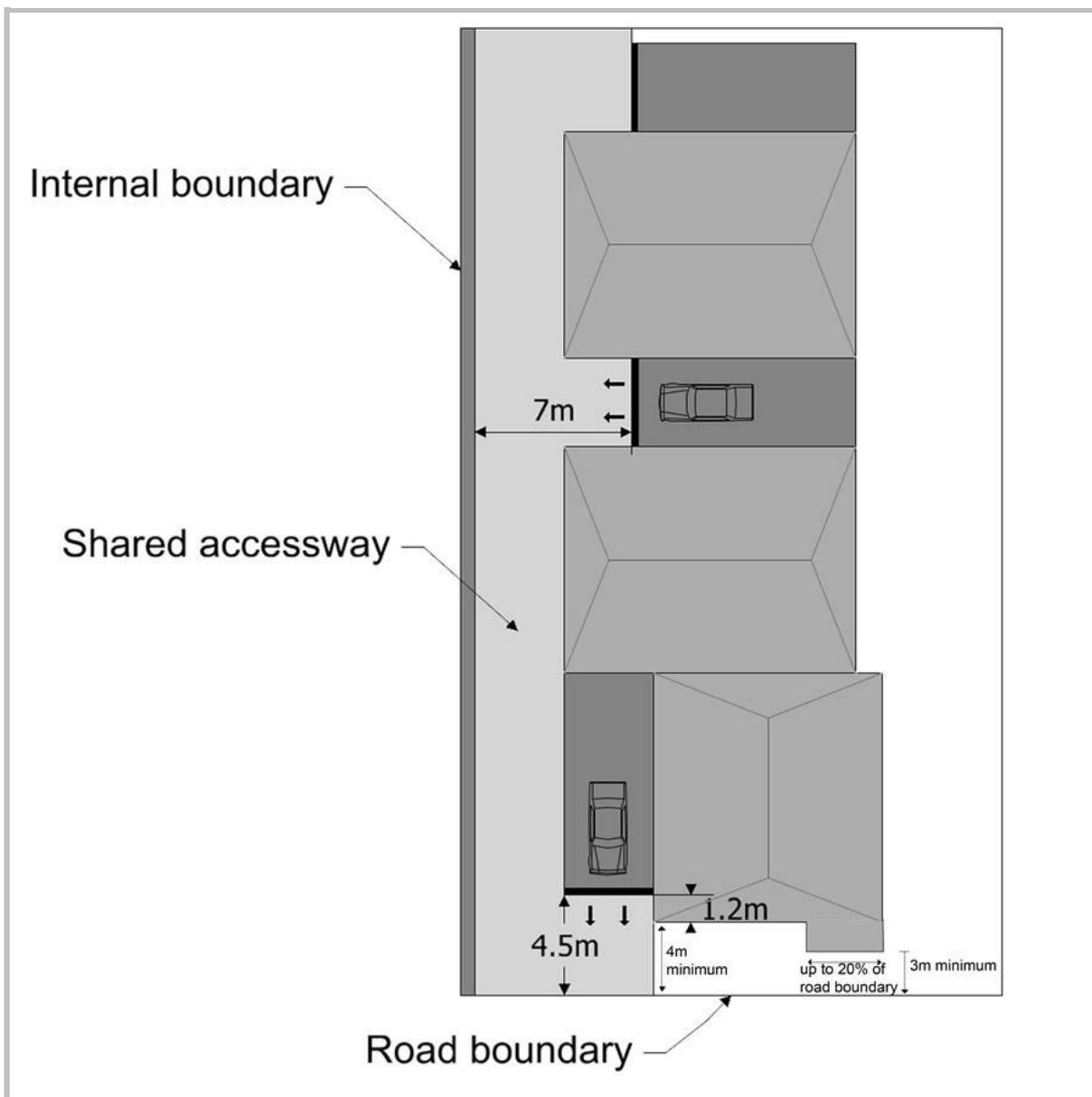


Figure 12 : Streetscene and access ways.

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Note:

1. This diagram is an illustrative example only, showing one way the rule may be applied in the Residential Medium Density zone.
2. These setback distances apply where garage doors do not tilt or swing outwards.

14.3.3.9 Fences and screening structures

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

1. The maximum height of any fence in the setback from a road boundary on a local road shall be:

1.	Where at least 50% of the fence structure is visually transparent.	1.8m
2.	Where less than 50% of the fence structure is visually transparent.	1m

2. The maximum height of any fence in the setback from a road boundary on any collector road, or arterial road - 1.8 metres.
3. 1. and 2. shall not apply to fences or other screening structures located on an internal boundary between two properties zoned residential or residential or commercial or industrial.

Note: For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building.

4. Parking areas shall be separated from road boundaries, conservation, open space, or adjoining residentially zoned sites by fencing that meets the requirements in 1. above.

Refer to Figure X.

1. The maximum height of any fence in the setback from a road boundary on a local road shall be:

1.	Where at least 50% of the fence structure is visually transparent.	1.8m
2.	Where less than 50% of the fence structure is visually transparent.	1m
3.	Category 2 Character Areas CA 24 Church Square, CA26 Haast, CA27 Rastrick	1m

2. The maximum height of any fence in the setback from a road boundary on any collector road, or arterial road - 1.8 metres.
3. 1. and 2. shall not apply to fences or other screening structures located on an internal boundary between two properties zoned residential or residential or commercial or industrial.

Note: For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building.

4. Parking areas shall be separated from road boundaries, conservation, open space, or adjoining residentially zoned sites by fencing that meets the requirements in 1. above.

Refer to Figure X.

14.3.3.10 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

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1. Pathways

A sealed path from either the road boundary of the site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:

- a. a minimum clear width of 1.2 metres;
- b. a slope not exceeding 1:20;
- c. a cross fall of not more than 1:50;
- d. a slip resistant surface; and
- e. pathway lighting that is switched on from a light switch located at the door at the end of the path.

2. Primary pedestrian entrance door

A primary pedestrian entrance door to the residential unit with:

- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
- b. a maximum threshold of 20mm; and
- c. a external landing area that has a slip resistant surface.

3. Doors within the living space of the residential unit

All doorways to and within living space have:

- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
- b. a level transition and threshold (accepting difference in floor materials on either site of the door).

4. Corridors, hallways, and passageways within the residential unit

All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.

5. Door handles

All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.

6. Electrical switches

The centre of all electrical switches on walls, are at the same height as the centre of door handles.

7. Powerpoints, television, telephone and computer outlets

All powerpoints, television, telephone and computer outlets are installed at a that same height throughout the residential unit at no less than 0.3 metres above the finished floor level.

8. Window controls

All window controls are lever handles and are able to be operated with one hand.

9. Space around bed to support ease of movement

Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.

0. Laundry space

Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.

1. Kitchen

The kitchen is not a residential thoroughfare.

2. Toilet

- a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall.
and
- b. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.

3. Shower

- a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that

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has:

- i. a level entry shower recess with minimum dimensions of 1.2 metres x 1.2metres;
 - ii. drainage of the shower recess located at the corner of a room;
 - iii. a clear space that provides for a 1.5 metre turning circle; and
 - iv. 800mm clear space beside the shower seat.
- b. All shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
4. Slip resistant floors on bathrooms
All bathrooms have slip resistant floor surfaces.
5. Multi-storey access
All stairway walls have:
- a. reinforced walls for future installation of a stair-lift or platform lift;
 - b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
 - c. a minimum clear width of 0.9 metres;
 - d. a straight design with no winder treads;
 - e. consistent tread depth with a minimum dimension of 0.31 metres;
 - f. consistent riser height with a minimum dimension of 0.18 metres;
 - g. no open risers; and
 - h. lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

6. Lever action door handles
All door handles are lever action.
7. Tap fixtures
All tap fixtures lever, push button, or electronic.

14.3.3.11 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value</u> 3.2.
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value</u> 0.31.
d.	Wall insulation.	<u>Insulation R value</u> 2.8.
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value</u> 2.2, 25mm XPS with 9mm fibre cement board glued to face.

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f.	Ventilation.	<ul style="list-style-type: none">i. Dedicated extraction <u>installed</u> in kitchen and bathrooms.ii. Provision to vent a clothes drier to the outside of the residential unit.
g.	Water efficiency.	<u>WELS</u> 3 Star Shower. <u>WELS</u> 4 Star Toilets. <u>WELS</u> 4 Star Taps.
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

14.3.3.12 Building overhangs

No internal floor area located above ground floor level shall project more than 800mm horizontally beyond the gross floor area at ground level.

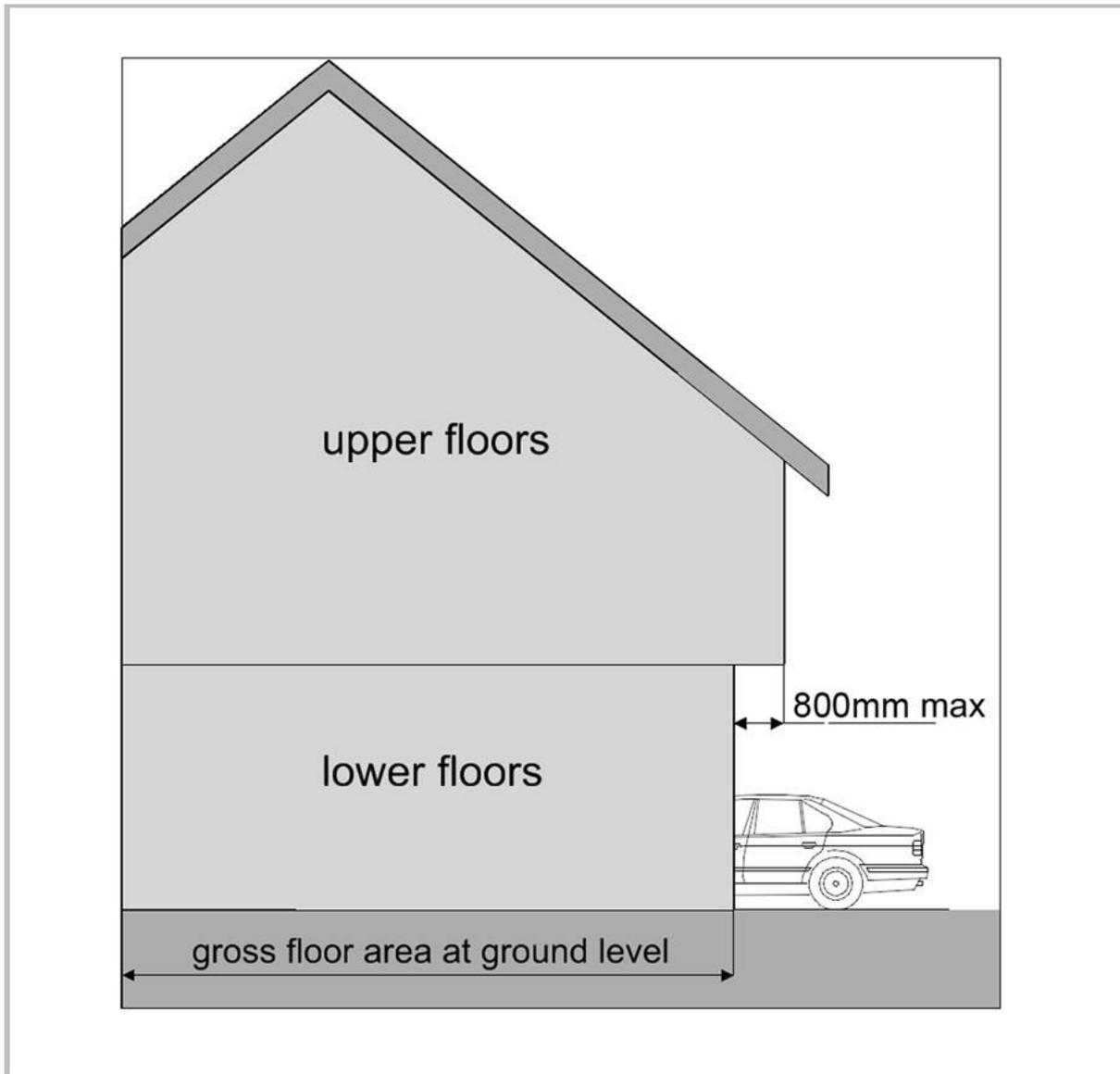


Figure 13 : Building overhangs.

Note: This diagram is an illustrative example only, showing a way the rule may be applied.

14.3.3.13 Minimum unit size

The minimum net floor area (including toilets and bathrooms, but excluding carparking, garaging or balconies) for any residential unit in a multi-unit social housing complex, and a multi-unit residential complex, and a minor dwelling unit shall be:

	Number of Bedrooms	Minimum <u>net floor area</u>
1.	Studio.	35m ²
2.	1 Bedroom.	45m ²
3.	2 Bedrooms.	70m ²
4.	3 or more Bedrooms.	90m ²

14.3.3.14 Ground floor habitable space

1. Where the permitted height limit is 11 metres or less (refer to [Rule 14.3.3.2](#)) any residential unit fronting a road or public space shall have a habitable space located at the ground level, with at least 50 percent of all residential units within a development also having a habitable space located at the ground level.
2. Each of these habitable spaces located at the ground level shall have a minimum floor area of 12m² and a minimum internal dimension of three metres and be internally accessible to the rest of the unit.
3. Where the permitted height limit is over 11 metres (refer to [Rule 14.3.3.2](#)) a minimum of 50 percent of the ground floor area shall be occupied by habitable spaces and/or indoor communal living space. This area may include pedestrian access to lifts, stairs and foyers.

14.3.3.15 Service, storage, and waste management spaces

1. Each residential unit shall be provided with:
 - a. an outdoor service space of 3m² and waste management area of 2.25m² with a minimum dimension of 1.5 metres; and
 - b. a single, indoor storage space of four cubic metres with a minimum dimension of one metre.
2. Any space designated for waste management, whether private or communal, shall not be located between the road boundary and any building room and shall be screened from adjoining sites, conservation or open space zones, roads, and adjoining outdoor living spaces to a height of 1.5 metres.
3. If a communal waste management area is provided within the site, the minimum required outdoor service space is 3m² for each residential unit.
4. If a communal waste management area is provided, it must be demonstrated to be:
 - a. of a sufficient size to accommodate the number and dimensions of bins required to meet the predicted volume of waste generated by the residential units;
 - b. accessible and safe for use by all residents; and
 - c. easily accessible for the collection of bins by waste management contractors.

14.3.3.16 Acoustic insulation

Any new habitable space within any residential unit, traveller' accommodation, or retirement village:

1. Within 20 metres of the edge of the nearest marked traffic lane of a collector road; or
 2. Within 40 metres of the edge of the nearest marked traffic lane of an arterial road
- shall achieve an external sound insulation level Dtr,2m,nTw.

Note: Compliance with this rule may be achieved by ensuring any construction is in accordance with the acceptable solutions listed in [Appendix 14.10.1](#). In the Residential Medium Density Zone no alternative ventilation is required in situations where the rule is only met with windows closed. Alternatively, compliance with the rule can be achieved through certification by a qualified acoustic engineer that the design is capable of achieving compliance with the performance standard.

Where no traffic lane is marked, the distances stated shall be measured from two metres on the roadward side of the formed kerb. The location of collector roads and arterial roads is identified in [Chapter 7 Transportation Appendix 7.12](#).

14.3.3.17 Minimum site density from development or redevelopment of residential units

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The minimum residential site density to be achieved when a site is developed or redeveloped with a residential unit or units shall be:

1. for allotments less than 400m² – not less than one residential unit;
2. for allotments between 400m² and 650m² – not less than two residential units;
3. for allotments between 650m² and 900m² – not less than three residential units; and
4. for allotments over 900m² – not less than one residential unit per 300m².

This rule is not required to be enforced on a site which prior to the Canterbury earthquakes of 2010 and 2011 was used for residential activity which will be demolished because the insurer(s) of that unit have determined that the residential unit was uneconomic to repair because of earthquake damage.

14.3.3.18 Water supply for fire fighting

Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008), where by all residential units must be connected to the Council's urban reticulated system that provide sufficient fire fighting water supply.

14.3.3.19 Front entrances and facades

For these Category 2 Character Areas CA23 The Esplanade West, CA 24 Church Square, CA26 Haast, CA37 Rastrick and CA33 Clissold:

- a. the front door shall be visible and directly accessible from the street; and
- b. a minimum of 30% glazing shall be provided along the building front façade.

14.3.3.20 Site Density in Character Areas

Each residential unit in Category 2 Character Areas CA24 Church Square and CA26 Haast shall have a minimum net site area of 400m².

14.3.4 Area specific activities and standards

14.3.4.1 Permitted Activities

In the Accommodation and Community Facilities Overlay area the activities listed below are permitted activities if they comply with any Activity specific standards set out in the following table, the Built form standards in Rule 14.3.3 and the area specific standards in Rule 14.3.4.

Activity	Activity Specific Standards
P1, 3-6, 11-14. 16-17	As per Table 14.3.2.1
P2	Guest accommodation
P7	Pre-Schools facility
P8	Healthcare facility
P9	Veterinary Care facility
P10	Education activity
P15	Place of Assembly

14.3.4.2 Restricted Discretionary Activities

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The activities listed below are restricted discretionary Activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in 14.9 for each standard, as set out in the following table:

Activity		The Council's discretion shall be limited to the following Matters:
RD1	<i>Retail activity with frontage only to public access ways identified in Sumner Master Plan overlay area, Chapter 15 Commercial Zone Appendix 15.9.11.</i>	a. Urban design and Māori urban design principles - 14.9.6.
RD2	<i>Non compliance with Rule 14.3.5.2 road boundary garage and building setback, for sites with frontage to Bealey Avenue, Fitzgerald Avenue or Deans Avenue South of Blenheim Road and Sumner Master Plan overlay area, shown in Chapter 15 Commercial Zone, Appendix 15.9.11.</i> <i>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</i>	a. Street scene - road boundary building setback, front doors fencing and planting - 14.9.3.
RD3	<i>Non compliance with Rule 14.3.5.1 Area Specific Development Plan for West Wigram Special RNZAF Provisions, shown on Figure 8.</i>	a. Specific Setback Provisions - Residential Suburban Zone Wigram - 14.9.33
RD4	<i>Development in Area A, B and C of the Residential Medium Density Zone bounded by Madras Street, Canon Street, Packe Street and Purchas Street in, Chapter 15 Commercial Zone Appendix 15.9.7.</i>	a. Area specific development plans - 14.9.28.
RD5	<i>Non Compliance with Rule 14.3.5.1 Area Specific Development Plans Deans Avenue Overlay, Sumner Master Plan Overlay Area Chapter 15 Commercial Zone Appendix 15.9.11.</i>	a. Development Plans - 14.9.28. b. Development Plan Chapter 15 Appendix 15.11 - 14.9.29.

The activities listed below are restricted discretionary Activities.

In the Accommodation and Community Facilities Overlay area, restricted discretionary standards RD1-3 and 6-9 as per Table 14.3.2.3 apply in addition to the Area Specific Standards set out below.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in 14.9 for each standard, as set out in the following table:

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Activity		The Council's discretion shall be limited to the following Matters:
RD1	Retail activity with <u>frontage</u> only to public <u>access ways</u> identified in Sumner Master Plan overlay area, Chapter 15 Commercial Zone Appendix 15.9.11 .	a. Urban design and Māori urban design principles - 14.9.6 .
RD2	Non compliance with Rule 14.3.5.2 road boundary garage and building setback , for <u>sites</u> with <u>frontage</u> to Bealey Avenue, Fitzgerald Avenue or Deans Avenue South of Blenheim Road and Sumner Master Plan overlay area, shown in Chapter 15 Commercial Zone, Appendix 15.9.11 . Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.	a. Street scene - road boundary building setback , front doors fencing and planting - 14.9.3 .
RD3	Non compliance with Rule 14.3.5.1 Area Specific Development Plan for West Wigram Special RNZAF Provisions , shown on Figure 8 .	a. Specific Setback Provisions - Residential Suburban Zone Wigram - 14.9.33
RD4	Development in Area A, B and C of the Residential Medium Density Zone bounded by Madras Street, Canon Street, Packe Street and Purchas Street in, Chapter 15 Commercial Zone Appendix 15.9.7 .	a. Area specific development plans - 14.9.28 .
RD5	Non Compliance with Rule 14.3.5.1 Area Specific Development Plans Deans Avenue Overlay, Sumner Master Plan Overlay Area Chapter 15 Commercial Zone Appendix 15.9.11 .	a. Development Plans - 14.9.28 . b. Development Plan Chapter 15 Appendix 15.11 - 14.9.29 .
RD6	<u>Service station</u> in the Accommodation and <u>Community Facilities</u> Overlay area Any application arising from non-compliance with the rules below will not require written approvals and shall not be publicly or limited notified.	a. Scale of activity - 14.9.14 b. Non residential hours of operation - 14.9.16 c. Traffic generation and access safety - 14.9.15

14.3.4.3 Discretionary Activities

The activity listed below is a Discretionary Activity.

Activity	
D1	Retail and commercial activity in the Sumner Master Plan Overlay Area that does not have <u>frontage</u> to public access ways identified in the Sumner Master Plan Overlay area, Chapter 15 Commercial Zones Appendix 15.9.11

14.3.5 Area specific standards

14.3.5.1 Area specific development plans

1. This rule applies to:
 - a. Higher Height Limit overlay at Deans Avenue, and Sumner Master Plan Overlay Area- [Chapter 15 Commercial Zone Appendix 15.9.11](#).
 - b. Residential Medium Density Zone Wigram;
 - c. Sumner Master Plan Overlay Area.

2.

	Area	Standard
1.	Higher <u>Height</u> Limit overlay at Deans Avenue.	<u>Sites</u> shall not have access to Deans Avenue other than via the proposed <u>road</u> to be located between 100m and 110m from the intersection of Moorhouse and Deans Avenue. As shown on Appendix 14.10.4 Development Plan Addington .
2.	Residential Medium Density Zone Wigram shown on figure 8.	<u>Residential units</u> shall have their primary outdoor living area facing away from the aerodrome <u>site</u> . Windows to <u>living areas</u> which directly face the RNZAF Bequest Land shall be doubled glazed In addition, a 2m wide landscape strip and a close, solid and continuous 1.8m high fence shall be placed along the <u>boundary</u> of the RNZAF Bequest Land and be completed before any <u>residential units</u> are built.
3.	Sumner Master Plan Overlay Area .	<u>Retail activities</u> and <u>commercial services</u> shall be located along the identified <u>road frontages</u> in accordance with the Sumner Master Plan Overlay Area- Chapter 15 Commerical Zone Appendix 15.9.11 .

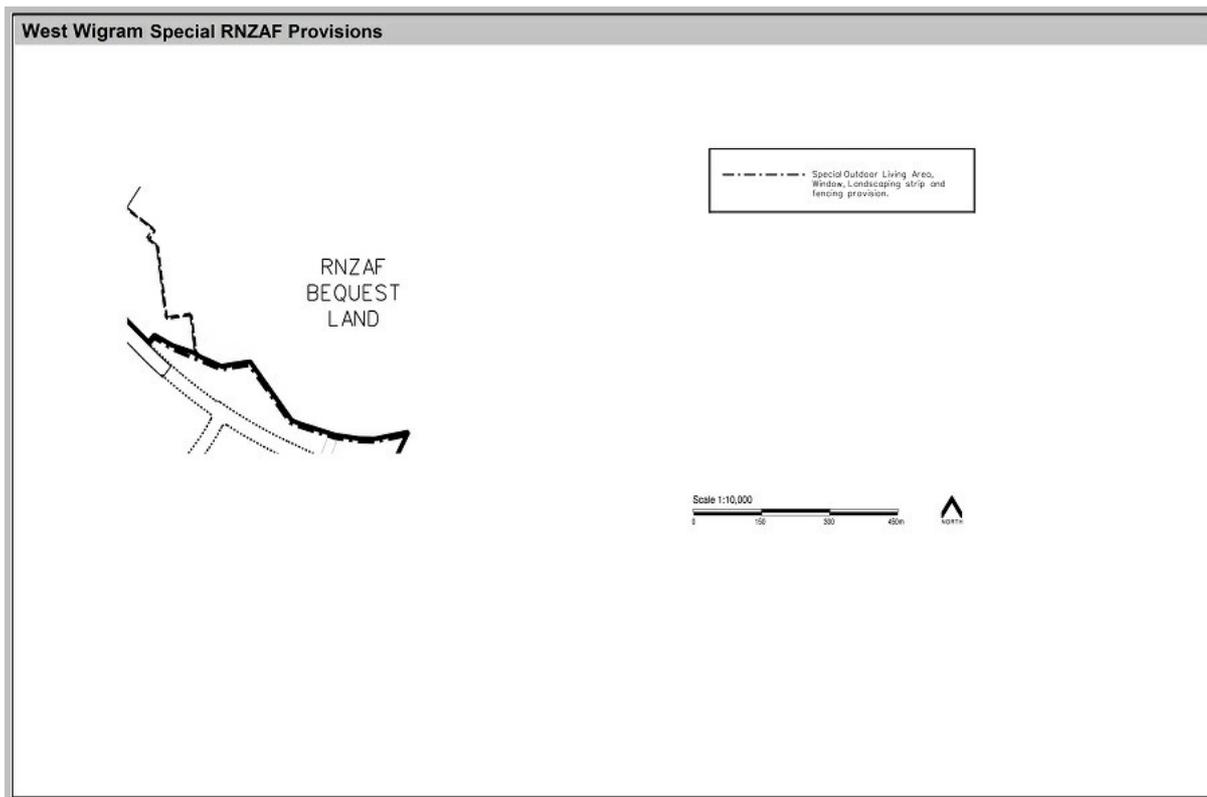


Figure 8 : West Wigram Special RNZAF Provisions.

14.3.5.2 Road boundary garage and building setback

This rule applies to sites with frontage to Bealey Avenue, Fitzgerald Avenue or Deans Avenue South of Blenheim Road and the Sumner Master Plan Overlay Area, shown in [Chapter 15 Commercial Zone, Appendix 15.9.11](#)

1. For sites with frontage to Bealey Avenue, Fitzgerald Avenue or Deans Avenue South of Blenheim Road the road boundary setback shall be six metres.
2. Sumner Master Plan Overlay Area, shown in [Chapter 15 Commercial Zone, Appendix 15.9.11](#); and retail activities and commercial services with road frontage buildings; buildings shall:
 - a. be built up to the road frontage with buildings occupying all frontage not needed for vehicle access to the rear of the site;
 - b. provide a minimum of 60 percent and a maximum of 90 percent visually transparent glazing at the ground floor and a minimum of 20 percent and a maximum of 90 percent visually transparent glazing at each floor above the ground floor;
 - c. provide pedestrian access directly from the road boundary; and
 - d. provide veranda or other means of weather protection along the full width of the building where it has frontage to a road.
3. Sumner Master Plan Overlay Area, shown in [Chapter 15 Commercial Zone, Appendix 15.9.11](#); and retail and commercial services with frontage only to public access ways; buildings shall:
 - a. occupy the full public access way frontage of the site;
 - b. provide a minimum of 60 percent and a maximum of 90 percent of visually transparent glazing at the ground floor and a minimum of 20 percent and a maximum of 90 percent visually transparent glazing at each floor above the ground floor; and
 - c. provide pedestrian access directly from the public access way.

14.3.5.3 Accommodation and Community Facilities Overlay Built Form Standards

In the Accommodation and Community Facilities Overlay Area, built form standards as per 14.3.3.3 (Site coverage), 14.3.3.5 (Daylight recession planes), 14.3.3.6 (Minimum setback from internal boundaries) and 14.3.3.12 (Building overhangs) apply in addition to the built form standards below. These standards apply to all activities except residential activities in the Accommodation and Community Facilities Overlay area. For residential standards see P1 of 14.3.2.1.

Any application arising from non-compliance with the rules below will not require written approvals and shall not be publicly or limited notified.

14.3.5.3.1 Maximum building height

The maximum height of any building shall be as follows:

Applicable to	Permitted	Restricted Discretionary
All buildings not listed below	9m	Over 9m
Buildings with a pitched roof of at least 22 degrees	12m	Over 12m

14.3.5.3.2 Minimum Floor to Ceiling Height Between Ground and First Floor

The minimum floor to ceiling height on the ground floor shall be as follows:

Permitted	Restricted Discretionary
Greater than or equal to 3.5m	Less than 3.5m

Note: Height is taken from the top of the finished floor level surface to ceiling surface.

14.3.5.3.3 Maximum Length of Continuous Building Length

The maximum continuous buildings length shall be as follows:

Applicable to		Permitted	Restricted Discretionary
Buildings for non- residential activities listed below: i. Guest accommodation; ii. Community facility; iii. Pre-Schools facility; iv. Education facility; v. Healthcare facility; vi. Place of Assembly; vii. Veterinary Care facility. viii. Emergency service facility.	New buildings	Up to 15m	Over 15m
	Additions	Up to 10m	Over 10m

14.3.5.3.4 Building setback from road boundaries

The minimum building setback shall be as follows:

Applicable to	Permitted	Restricted Discretionary
All buildings	Minimum 3m	Non-compliance with the Permitted Standard

14.3.5.3.5 Front Entrances and Facades

The following front entrance and façade treatment shall be provided:

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Applicable to	Permitted	Restricted Discretionary
Buildings used for non- residential activities as listed below: i. Guest accommodation; ii. Community facility; iii. Pre-Schools facility; iv. Education facility; v. Healthcare facility; vi. Place of Assembly; vii. Veterinary Care facility.	Provision of pedestrian access directly from the road frontage Minimum of 30% glazing on the road frontage on ground floor Minimum of 20% glazing on the road frontage on elevations above ground level	Non-compliance with the Permitted Standard

14.3.5.3.6 Fences and Screening

Fencing and/or screening shall be provided as follows:

Applicable to	Permitted	Restricted Discretionary
Road boundary setbacks adjoining local roads.	1.8m where at least 50% of the fence is visually transparent. 1m in height	Non-compliance with Permitted Standard
Parking areas adjoining road boundaries, conservation, open space and residential zones.	1.8m where at least 50% of the fence is visually transparent. 1m	
Outdoor storage areas	To ensure the storage area is not visible from 1.8m above ground level on any adjoining road or site. Outside of the 2m planted strip along the road frontage.	

Note: For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building

14.3.5.3.7 Landscaped Areas

Planting for non-residential activities shall be provided as follows:

Applicable to	Permitted Standard	Restricted Discretionary
Area adjoining the road frontage of all sites.	Minimum density of 1 tree per every 10m of road frontage or part thereof, distributed across the frontage. Minimum 2m planted strip	Non-compliance with Permitted Standard
Sites adjoining residential, conservation and open space zones.	Trees should be planted adjacent to the shared boundary at a ratio of at least 1 tree for every 10 metres of the boundary or part thereof, with the trees evenly spaced along that boundary.	

All landscaping/tree required under these rules shall be in accordance with the provisions in Appendix 6.6

14.4 Rules - Residential Banks Peninsula Zone

14.4.1 How to use the rules

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- 14.4.1.1 The rules that apply to activities in the Residential Suburban, Residential Banks Peninsula, and Residential Conservation Zones are contained in:
- a. The Activity Status Tables (including Activity Specific Standards) in Rules [14.4.2.1](#), [14.4.2.2](#), [14.4.2.3](#), [14.4.2.4](#), [14.4.2.5](#), and [14.4.2.6](#); and
 - b. Built Form Standards in Rules [14.4.3.1](#), [14.4.3.2](#), [14.4.3.3](#), [14.4.3.4](#), [14.4.3.5](#), [14.4.3.6](#), [14.4.3.7](#), [14.4.3.8](#), and [14.4.3.9](#).
- 14.4.1.2 The rules that apply to activities within the Lyttelton Port Influences Area are contained in the Rules in [14.4.4.1](#), [14.4.4.2](#), [14.4.4.3](#), and [14.4.4.4](#).
- 14.4.1.3 The Activity Status Tables and Standards in the following Chapters (where relevant):
- 5 Natural Hazards;
 - 6 General Rules and Procedures;
 - 7 Transport;
 - 8 Subdivision, Development and Earthworks;
 - 9 Heritage and Natural Environment;
 - 11 Utilities, Energy and Infrastructure; and
 - 12 Hazardous Substances and Contaminated Land

14.4.2 Activity status tables

14.4.2.1 Permitted Activities

In the Residential Banks Peninsula Zone the activities listed below are permitted activities if they comply with any Activity Specific Standards set out in this table and the Built Form Standards in [Rule 14.4.3](#).

Activities may also be restricted discretionary, discretionary, non complying or prohibited as specified in Rules [14.4.2.3](#), [14.4.2.4](#), [14.4.2.5](#) and [14.4.2.6](#).

Activity		Activity specific standards
P1	<u>Residential Activities</u> that occur within a <u>residential unit</u> .	a. Note: for <u>residential activities</u> within the Lyttelton Port Influences Overlay Area refer to area specific standards 14.4.4 .
P2	Accommodation of travellers for a tariff.	There shall be: <ul style="list-style-type: none"> a. a maximum of six travellers accommodated at any one time; and b. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u>.

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Activity		Activity specific standards
P3	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer.	<p>There shall be:</p> <ol style="list-style-type: none"> a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and at least one carer residing permanently within the <u>residential unit</u>.
P4	Conversion of an <u>elderly person's housing unit</u> existing at 6 December 2013, into a <u>residential unit</u> that may be occupied by any person(s) and without the need to be encumbered by a bond or other appropriate legal instrument.	<p>Each converted unit shall have:</p> <ol style="list-style-type: none"> a minimum <u>gross floor area</u>, excluding terraces, <u>garages</u>, sundecks and verandahs, of 35m²; and a separate <u>outdoor living space</u> readily accessible from its <u>living area</u> that is at least 30m² with a minimum dimension of 3m.
P5	<u>Home Occupation</u> .	<p>The <u>home occupation</u> shall limit:</p> <ol style="list-style-type: none"> the <u>gross floor area</u> of the <u>building</u> plus the area used for <u>outdoor storage area</u> occupied by the occupation to less than 40m²; the number of <u>FTE</u> employed persons, who reside permanently elsewhere than on the <u>site</u>, to one; any <u>retailing</u> to the sale of goods grown or produced on the <u>site</u>, or internet-based sales where no customer visits occur; the hours of operation to 50 hours per week; the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ol style="list-style-type: none"> 0900 – 2100 Monday to Friday; and 0900 – 1300 Saturday, Sunday and public holidays; visitor or staff <u>parking area</u> to outside the <u>road boundary setback</u>; activity, where that activity is: <ol style="list-style-type: none"> open to visitors and clients; and in a multiple level apartment complex; to the ground floor.

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Activity		Activity specific standards
P6	<u>Pre-schools facility.</u>	<p>The facility shall:</p> <ol style="list-style-type: none"> only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; limit outdoor play areas and facilities to those that comply with the Group 1 acoustic standard for residential zones; limit signage to a maximum area of 1m²; limit the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of 0700 – 2100; only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block. <p>Note: See Figure 1.</p>
P7	<u>Veterinary Care Facility.</u>	<p>The facility shall:</p> <ol style="list-style-type: none"> only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; limit signage to a maximum area of 1m²; limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100; only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block; and limit the boarding of animals on the <u>site</u> to four. <p>Note: See Figure 1.</p>

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Activity		Activity specific standards
P8	<u>Education activity.</u>	<p>The activity shall:</p> <ul style="list-style-type: none"> a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; c. limit signage to a maximum area of 1m²; d. limit the hours of operation when the <u>site</u> is open to students, or clients, and deliveries to between the hours of: <ul style="list-style-type: none"> i. 0700 – 2100 Monday to Saturday; and ii. Closed Sunday and public holidays; e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block. <p>Note: See Figure 1.</p>
P9	Temporary military or emergency service training activities.	a. NIL.
P10	Market gardens, community gardens, and garden allotments .	a. NIL.
P11	Storage of <u>heavy vehicles</u> .	a. No more than one vehicle shall be stored on the <u>site</u> .
P12	Dismantling, repair, or storage of motor vehicles and boats.	a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u> .

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Activity		Activity specific standards
P13	<p>Temporary lifting or moving of earthquake damaged <u>buildings</u> where there is non compliance with one or more of: 14.4.3.2, 14.4.3.3, 14.4.3.4, 14.4.3.5.</p>	<p>a. <u>Buildings</u> shall not be:</p> <ul style="list-style-type: none"> i. moved to within 1m of an internal <u>boundary</u> and/or within 3m of any <u>waterbody</u>, scheduled tree, listed heritage item, natural resources and <u>Council</u> owned structure, <u>archaeological site</u>, or the coastal marine area; and ii. lifted to a <u>height</u> exceeding 2.5m above the applicable recession plane or <u>height</u> control. <p>b. The <u>building</u> must be lowered back or moved back to its original position, or a position compliant with the <u>District Plan</u> or consistent with a resource consent, within eight weeks of the lifting or moving works having first commenced.</p> <p>c. In all cases of a <u>building</u> being moved or lifted, the owners/occupiers of land adjoining the <u>sites</u> shall be informed of the work at least seven days prior to the lift or move of the <u>building</u> occurring. The information provided shall include details of a contact person, details of the lift or move, and the duration of the lift or move.</p> <p>d. The <u>Council's</u> Resource Consents Manager shall be notified of the lifting or moving the <u>building</u> at least seven days prior to the lift or move of the <u>building</u> occurring. The notification must include details of the lift or move, property address, contact details and intended start date.</p>
P14	Heli-Landing areas.	<ul style="list-style-type: none"> a. <u>Sites</u> shall be greater than 3000m² in area. b. The number of flights shall not exceed 12 (24 movements) in any calendar year. c. The flights (movements) shall not take place on more than 5 days in any 1 month period. d. The flights (movements) shall not exceed three in any 1 week. e. Any movements shall only occur between 0800 and 1800 hours. f. No movements shall take place within 25m of any <u>residential unit</u> unless that <u>residential unit</u> is owned or occupied by the applicant. g. A log detailing the time and date of each helicopter movement shall be maintained and made available for inspection by the Christchurch City Council when requested.

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Activity	Activity specific standards
<p>P15 Repair or rebuild of <u>buildings</u> with cross leases, company leases or unit titles.</p>	<p>Where the <u>building</u> footprint or <u>building</u> location is to be altered to enable the repair or rebuild of a <u>building</u> damaged by the Canterbury earthquakes of 2010 and 2011, and the existing <u>building</u> complies with zone Rules 14.4.3.2, 14.4.3.5, and 14.4.3.6 repaired or relocated <u>buildings</u> need comply with zone Rules 14.4.3.2, 14.4.3.5, and 14.4.3.6.</p> <p>Clarification: If any of the above standards are not met, the activity status will be as specified in the relevant standard.</p> <p>a. Where the <u>building</u> footprint, or <u>building</u> location, is to be altered to enable the repair or rebuild of a <u>building</u> damaged by the Canterbury earthquakes of 2010 and 2011, and the existing <u>building</u> does not comply with zone Rules 14.4.3.2, 14.4.3.5, and 14.4.3.6 repaired or relocated <u>buildings</u>: shall not increase non-compliance with zone Rules 14.4.3.2, 14.4.3.5, and 14.4.3.6.</p> <p>Clarification: If any of the above standards are not met or if there is increased non-compliance with the standards, the activity status will be as specified in the relevant standard.</p> <p>b. Where the repair or rebuild of a <u>building</u> damaged by the Canterbury Earthquakes of 2010 and 2011 will not alter the <u>building</u> footprint or location, repaired or relocated <u>buildings</u> need not comply with any of the built form standards.</p> <p>i. For any other reason, <u>buildings</u> need to comply with all relevant standards.</p> <p>Refer to Rule 8.2.3.1 of Chapter 8</p>

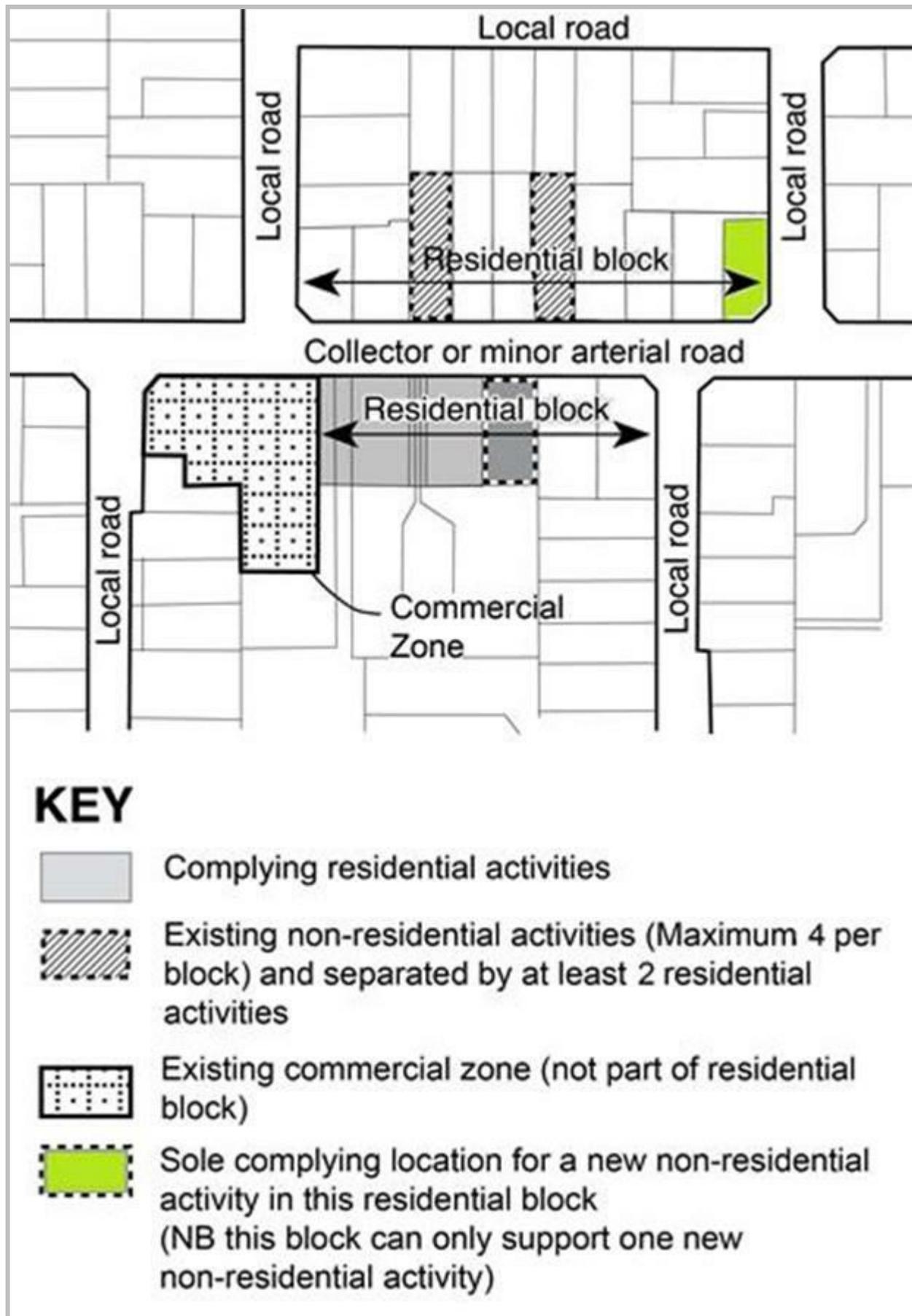


Figure 1 : Residential coherence

14.4.2.2 Controlled Activities

There are no controlled activities.

14.4.2.3 Restricted Discretionary Activities

The activities listed below are restricted discretionary activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [14.9](#) for each standard, as set out in the following table.

Activity		The Council's discretion shall be limited to the following matters:
RD1	Residential units (including any sleep-outs) containing more than 6 bedrooms in total.	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles – 14.9.6. b. Scale of activity - 14.9.14. c. Traffic generation access and safety - 14.9.15. d. Liquefaction susceptibility of the site and proposed development - 14.9.20.

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Activity		The Council's discretion shall be limited to the following matters:
RD2	<p><u>Sensitive activities</u> and <u>building</u> within the Electricity Transmission Line Corridor:</p> <ol style="list-style-type: none"> 1. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities: <ol style="list-style-type: none"> a. any new <u>sensitive activity</u> or additional <u>habitable space</u>; b. any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities; and c. any <u>sensitive activity</u>. 2. The centre of the transmission line is to be found by measuring a straight line from the centre of two adjoining support structures. 3. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner. 4. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent. <p>Note:</p> <ol style="list-style-type: none"> 1. The transmission line corridor is shown on the Planning Maps 9, 16, 21, 22, 23, 24, 26, 28, 29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49, 50, 51, 55, 56, 61, 62, 63, 69, 70, 78. 2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines. 	<ol style="list-style-type: none"> a. Electricity transmission line corridor - 14.9.19.
RD3	<p><u>Retirement villages</u>.</p>	<ol style="list-style-type: none"> a. Urban design and Māori urban design principles – 14.9.6. b. Scale of activity - 14.9.14. c. Traffic Generation access and Safety -14.9.15. <p>Note: Geriatric hospice and hospital care are subject to the Health Care Facilities standards.</p>

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Activity		The Council's discretion shall be limited to the following matters:
RD4	Temporary lifting or moving of earthquake damaged <u>buildings</u> that does not meet the standards in Rule 14.4.2.1 P13.	<p>a. Temporary lifting or moving of earthquake damaged <u>buildings</u> - 14.9.23.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>
RD5	<p>Non compliance with one or more of the following Rules: 14.4.3.6, 14.4.3.7.</p> <p>Any application arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule:</p> <p>a. Street scene - 14.9.3;</p> <p>b. Life-stage, adaptive design and energy and water efficiency - 14.9.21.</p>
RD6	<p>Non compliance with one or more of the following Rules: 14.4.3.1, 14.4.3.2, 14.4.3.3, 14.4.3.4, 14.4.3.5.</p>	<p>As relevant to the breached rule:</p> <p>a. <u>Site</u> Density and <u>Site</u> Coverage - 14.9.1;</p> <p>b. <u>Building height</u> and daylight recession planes - 14.9.2;</p> <p>c. Minimum <u>building</u> window and <u>balcony setbacks</u> from internal <u>boundaries</u> - 14.9.4; and</p> <p>d. Lyttelton Port influences overlay - 14.9.34;</p>
RD7	<p>Non compliance with Rule 14.4.3.9.</p> <p>Any application arising from this rule will only require the written approval of the New Zealand Fire Service to not be limited notified and shall not be fully publicly notified.</p>	<p>a. Water supply for fire fighting - 14.9.25.</p>
RD8	<u>Relocation of a building</u> .	<p>a. <u>Relocation of a building</u> - 14.9.34.</p>
RD9	Non-compliance with Rule 14.4.2.1 P23.	<p>a. Whether the any alteration to the <u>building</u> would impact on the amenity of adjoining properties.</p>

14.4.2.4 Discretionary Activities

The activities listed below are discretionary activities.

Activity

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D1	<u>Home occupation, education activities</u> , travellers accommodated for a tariff, care of non-resident children within a <u>residential unit, pre-school facilities, veterinary care facilities</u> , storage of <u>heavy vehicles</u> , camping grounds, show homes, and dismantling, repair or storage of motor vehicles and/or boats where it does not meet one or more of the permitted activity standards in Rule 14.4.2.1 P5, P6, P7, P8, P12.
D2	<u>Place of assembly</u> (except for a Lyttelton Port Noise <u>Sensitive Activity</u> within the Lyttelton Port Influences Overlay) where: <ol style="list-style-type: none"> The minimum <u>site</u> area is not less than 30m² per person; All outdoor areas associated with the activity are screened with a 1.8m high fence or solid planting which ensures privacy for adjoining <u>sites</u>; The hours of operation are between 0700 – 2200 hours Monday to Sunday and public holidays; and There is no use of <u>heavy vehicles</u> associated with the activity.
D3	<u>Health care facility</u> (except for a Lyttelton Port Noise <u>Sensitive Activity</u> within the Lyttelton Port Influences Overlay) where: <ol style="list-style-type: none"> The maximum floor area used for Health Care activities on any <u>site</u> does not exceed 100m²; and There is no use of <u>heavy vehicles</u> associated with the activity.
D4	Retail where: <ol style="list-style-type: none"> all outdoor areas associated with the activity are screened with a 1.8m high fence or solid planting which ensures privacy for adjoining <u>sites</u>; the hours of operation are between 0700 – 2200 hours Monday to Sunday and public holidays; the maximum floor area used for <u>retail activities</u> on any <u>site</u> does not exceed 50m²; the activity does not include trade or yard-based suppliers or <u>service stations</u>; and there is no use of <u>heavy vehicles</u> associated with the activity.
D5	Emergency service facilities.
D6	All other non- <u>residential activities</u> not otherwise listed in these tables.

14.4.2.5 Non Complying Activities

The activities listed below are a non complying activity.

Activity	
NC1	Any activity not provided as a permitted, controlled, restricted discretionary, discretionary or prohibited activity.

14.4.2.6 Prohibited Activities

There are no prohibited activities.

14.4.3 Built form standards

14.4.3.1 Site density

Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	Area/Location	Standard
1.	Residential Banks Peninsula Zone.	400m ²
2.	Residential Banks Peninsula Zone – Diamond Harbour Density Overlay.	600m ²
3.	10 Pages Road, Lyttelton (described as Lot 2 DP 52500).	Five or fewer <u>residential units</u> in total may be erected on the <u>site</u> .
4.	10 Harmans Road, Lyttelton (described as Lot 1 DP 71436).	One <u>residential unit</u> per 5000m ² .

14.4.3.2 Building height

1. The maximum height of any building shall be seven metres.
2. The maximum height of any accessory buildings shall be 4.5 metres.
Note: See the permitted height exceptions contained within the definition of height.

14.4.3.3 Site coverage

The maximum percentage of the net site area of any site covered by buildings excluding:

1. fences, walls and retaining walls;
2. eaves and roof overhangs up to 600 millimetres in width from the wall of a building;
3. uncovered swimming pools up to 800 millimetres in height above ground level; and
4. decks, terraces, balconies, porches, verandahs, bay or box windows (supported or cantilevered) which:
 - a. are no more than 800 millimetres above ground level and are uncovered or unroofed; or
 - b. where greater than 800 millimetres above ground level and/or covered or roofed, are in total no more than 6m² in area for any one site.

shall be 35 percent.

14.4.3.4 Minimum building setback from side and rear internal boundaries

The minimum building setback from side and rear internal boundaries shall be:

1.

a.	Side internal <u>boundaries</u> .	One of 1.5m and one of 2m.
b.	Rear internal <u>boundaries</u> .	2m

2. There shall be no minimum setback from internal boundaries for accessory buildings where the length of any wall within

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the setbacks specified in 1. is less than six metres.

14.4.3.5 Daylight recession planes

No part of any building shall project beyond a building envelope contained by a 45 degree recession plane measured at any point 2.0 metres above any adjoining site boundary, that is not a road boundary.

14.4.3.6 Building setbacks from road boundaries

Minimum building setback from road boundaries shall be as follows:

	Applicable to	Standard
1.	Residential Banks Peninsula Zone where a <u>garage</u> contains a vehicle entrance way which generally faces a <u>road</u> .	5m
2.	All other <u>buildings</u> in the Residential Banks Peninsula zone.	3m

14.4.3.7 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1. Pathways
A sealed path from either the road boundary of the site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:
 - a. a minimum clear width of 1.2metres;
 - b. a slope not exceeding 1:20;
 - c. a cross fall of not more than 1:50;
 - d. a slip resistant surface; and
 - e. pathway lighting that is switched on from a light switch located at the door at the end of the path.
2. Primary pedestrian entrance door
A primary pedestrian entrance door to the residential unit with:
 - a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
 - b. a maximum threshold of 20mm; and
 - c. an external landing area that has a slip resistant surface.
3. Doors within the living space of the residential unit:
All doorways to and within living space have:
 - a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
 - b. a level transition and threshold (accepting difference in floor materials on either site of the door).
4. Corridors, hallways, and passageways within the residential unit:
All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.
5. Door handles
All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.
6. Electrical switches

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The centre of all electrical switches on walls, are at the same height as the centre of door handles.

7. Powerpoints, television, telephone and computer outlets
All powerpoints, television, telephone and computer outlets are installed at a that same height throughout the residential unit at no less than 0.3 metres above the finished floor level.
8. Window controls
All window controls are lever handles and are able to be operated with one hand.
9. Space around bed to support ease of movement
Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.
0. Laundry space
Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.
1. Kitchen
The kitchen is not a residential thoroughfare.
2. Toilet
 - a. A toilet is installed or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall.
 - b. and
 - c. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
3. Shower
 - a. A shower is installed or the space is provided for a shower to be installed in the future, on the primary living level that has:
 - i. a level entry shower recess with minimum dimensions of 1.2 metres x 1.2metres;
 - ii. drainage of the shower recess located at the corner of a room;
 - iii. a clear space that provides for a 1.5 metre turning circle; and
 - iv. 800mm clear space beside the shower seat.
 - b. All shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
4. Slip resistant floors on bathrooms
All bathrooms have slip resistant floor surfaces.
5. Multi-storey access
All stairway walls have:
 - a. reinforced walls for future installation of a stair-lift or platform lift;
 - b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
 - c. a minimum clear width of 0.9 metres;
(diagram)
 - d. a straight design with no winder treads;
 - e. consistent tread depth with a minimum dimension of 0.31 metres;
 - f. consistent riser height with a minimum dimension of 0.18 metres;
 - g. no open risers; and
 - h. lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

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6. Lever action door handles
All door handles are lever action.
7. Tap fixtures
All tap fixtures lever, push button, or electronic.

14.4.3.8 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value</u> 3.2.
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value</u> 0.31.
d.	Wall insulation.	<u>Insulation R value</u> 2.8.
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value</u> 2.2, 25mm XPS with 9mm fibre cement board glued to the face.
f.	Ventilation.	<ol style="list-style-type: none"> i. Dedicated extraction <u>installed</u> in kitchen and bathrooms. ii. Provision to vent a clothes drier to the outside of the residential unit.
g.	Water efficiency.	<u>WELS</u> 3 Star Shower. <u>WELS</u> 4 Star Toilets. <u>WELS</u> 4 Star Taps.
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

14.4.3.9 Water supply for fire fighting

1. Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS: 4509:2008), whereby:
 - a. All residential units must be connected to the Council's urban reticulated system that provides sufficient fire fighting water supply; or
 - b. Where a reticulated water supply compliant with SNZ PAS:4509:2008 ins not available to serve the residential unit, or the only supply available is the controlled restricted rural type water supply which is not compliant with SNZ PAS:4509:2008 water supply and access to water supplies for fire fighting that is in compliance with the rule 2. below must be provided.

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2. Each residential unit shall have a sprinkler system installed (to an improved standard in accordance with SNZ PAS:4509:2008) in the building plumbed to ensure 7000 litres of water is always available to the sprinkler system in the event of a fire.

14.4.4 Area specific activities and standards

14.4.4.1 Port Influences Overlay Area Permitted Activities

	Activity	Area Specific Standards
P1.	Extension to an existing <u>habitable space</u> or the erection of a new <u>habitable space</u> associated with an existing <u>residential unit</u> where the combined <u>gross floor area</u> of the <u>habitable space</u> does not exceed 40m ² within a 10 year continuous period.	a. Compliance with Rule 14.4.4.4 .
P2.	Replacement for an existing <u>residential unit</u> where the combined gross floor area of the <u>habitable space</u> does not exceed the combined gross floor area of the <u>habitable spaces</u> contained in the previous <u>residential unit</u> by more than 40m ² within a 10 year continuous period.	a. Compliance with Rule 14.4.4.4 .

14.4.4.2 Port Influences Overlay Area Restricted Discretionary Activities

	Activity	The <u>Council's</u> discretion shall be limited to the following matters
RD1	Extension to an existing <u>habitable space</u> or the erection of a new <u>habitable space</u> associated with an existing <u>residential unit</u> where the combined gross floor area of the <u>habitable space</u> exceeds 40m ² within a 10 year continuous period with a <u>no complaints covenant</u> that complies with Rule 14.4.4.4 . Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.	a. Port Influences Overlay - 14.9.34 .
RD2	Replacement <u>residential unit</u> for an existing <u>residential unit</u> where the combined gross floor area of the <u>habitable space</u> exceeds the combined gross floor area of the <u>habitable space</u> contained in the previous <u>residential unit</u> by more than 40m ² within a 10 year continuous period with a <u>no complaints covenant</u> that complies with Rule 14.4.4.4 . Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.	

14.4.4.3 Port Influences Overlay Area Non Complying Activities

	The activities listed below are a Non Complying Activity.
NC1	<p>Extension under Rule 14.4.4.1 (P1) that does not comply with Rule 14.4.4.4.</p> <p>Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.</p>
NC2	<p>Replacement under Rule 14.4.4.1 (P2) that does not comply with Rule 14.4.4.4.</p> <p>Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.</p>
NC3	<p>Extension to an existing <u>habitable space</u> or the erection of a new <u>habitable space</u> associated with an existing <u>residential unit</u> where the combined gross floor area of the <u>habitable space</u> exceeds 40m² within a 10 year continuous period that:</p> <ol style="list-style-type: none"> 1. does not have a <u>no complaints covenant</u>; or 2. does not comply with Rule 14.4.4.4; or 3. a does not have a <u>no complaints covenant</u> and does not comply with Rule 14.4.4.4. <p>Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.</p>
NC4	<p>Replacement <u>residential unit</u> for an existing <u>residential unit</u> where the combined <u>gross floor area</u> of the <u>habitable space</u> exceeds the combined gross floor area of the <u>habitable space</u> contained in the previous <u>residential unit</u> by more than 40m² within a 10 year continuous period that:</p> <ol style="list-style-type: none"> 1. does not have a <u>no complaints covenant</u>; or 2. does not comply with Rule 14.4.4.4; or 3. a does not have a <u>no complaints covenant</u> and does not comply with Rule 14.4.4.4. <p>Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.</p>
NC5	<p>New noise <u>sensitive activities</u>.</p> <p>Any application arising from this rule will only require the written approval of the Lyttelton Port Company and shall not be fully publicly notified.</p>

14.4.4.4 Port Influences Overlay Area Built Form Standards

New habitable space or extensions to existing habitable space shall have an internal sound design level of 40dBA L_{dn} (5 day) with ventilating windows or with windows and doors closed and mechanical ventilation installed and operating.

Note: Refer to [Appendix 14.10.2](#) on how to determine the appropriate internal design sound level.

14.5 Rules - Residential Conservation Zones

14.5.1 How to use the rules

- 14.2.1.1 The rules that apply to activities in the Residential Conservation Zone are contained in:
- The Activity Status Tables (incl. Activity Specific Standards) in Rules [14.5.2.1](#), [14.5.2.2](#), [14.5.2.3](#), [14.5.2.4](#), [14.5.2.5](#), and [14.5.2.6](#); and
 - Built Form Standards in Rules [14.5.3.1](#), [14.5.3.2](#), [14.5.3.3](#), [14.5.3.4](#), [14.5.3.5](#), [14.5.3.6](#), [14.5.3.7](#), [14.5.3.8](#), and [14.5.3.9](#).
- 14.2.1.2 The rules that apply to activities within the Lyttelton Port Influences Overlay Area are contained in [14.5.4.1](#), [14.5.4.2](#), [14.5.4.3](#), and [14.5.4.4](#).
- 14.2.1.3 The Activity Status Tables and Standards in the following Chapters (where relevant):
- | | |
|----|--|
| 5 | Natural Hazards; |
| 6 | General Rules and Procedures; |
| 7 | Transport; |
| 8 | Subdivision, Development and Earthworks; |
| 9 | Heritage and Natural Environment; |
| 11 | Utilities, Energy and Infrastructure; and |
| 12 | Hazardous Substances and Contaminated Land |

14.5.2 Activity status tables

14.5.2.1 Permitted Activities

In the Residential Banks Peninsula Zone the activities listed below are permitted activities if they comply with any Activity Specific Standards set out in this table and the Built Form Standards in [Rule 14.5.3](#).

Activities may also be restricted discretionary, discretionary, non complying or prohibited as specified in Rules [14.5.2.3](#), [14.5.2.4](#), [14.5.2.5](#), and [14.5.2.6](#).

Activity		Activity specific standards
P1	<u>Residential Activities</u> that occur within a <u>residential unit</u> .	a. Note: for <u>residential activities</u> within the Lyttelton Port Influences Overlay Area refer to area specific standards 14.4.4 .
P2	Accommodation of travellers for a tariff.	There shall be: <ol style="list-style-type: none"> a maximum of six travellers accommodated at any one time; and at least one owner of the <u>residential unit</u> residing permanently on <u>site</u>.

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Activity		Activity specific standards
P3	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer.	<p>There shall be:</p> <ul style="list-style-type: none"> a. a maximum of 4 non-resident children being cared for in return for monetary payment to the carer at any one time; and b. at least one carer residing permanently within the <u>residential unit</u>.
P4	Conversion of an elderly persons housing unit existing at 6 December 2013, into a <u>residential unit</u> that may be occupied by any person(s) and without the need to be encumbered by a bond or other appropriate legal instrument.	<p>Each converted unit shall have:</p> <ul style="list-style-type: none"> a. a minimum <u>gross floor area</u>, excluding terraces, <u>garages</u>, sundecks and verandahs, of 35m²; and b. a separate <u>outdoor living space</u> readily accessible from its <u>living area</u> that is at least 30m² with a minimum dimension of 3m.
P5	<u>Home Occupation</u> .	<p><u>Home occupation</u> shall limit:</p> <ul style="list-style-type: none"> a. the <u>gross floor area</u> of the building plus the area used for <u>outdoor storage area</u> occupied by the occupation to less than 40m²; b. the number of <u>FTE</u> employed persons, who reside permanently elsewhere than on the <u>site</u>, to one; c. any <u>retailing</u> to the sale of goods grown or produced on the <u>site</u>, or internet-based sales where no customer visits occur; d. the hours of operation to 50 hours per week; e. the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ul style="list-style-type: none"> i. 0900 – 2100 Monday to Friday; and ii. 0900 – 1300 Saturday, Sunday and public holidays; f. visitor or staff <u>parking area</u> to outside the <u>road boundary setback</u>; and g. activity, where that activity is: <ul style="list-style-type: none"> i. open to visitors and clients; and ii. in a multiple level apartment complex; to the ground floor.

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Activity	Activity specific standards
<p>P6 <u>Pre-schools</u> facility.</p>	<p>The facility shall:</p> <ol style="list-style-type: none"> a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial or collector road</u> where <u>right turn offset</u>, either informal or formal is available; b. only occupy a <u>gross floor area of building</u> of less than 200m²; c. limit outdoor play areas and facilities to those that comply with the Group 1 acoustic standard for residential zones; d. limit signage to a maximum area of 1m²; e. limit the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ol style="list-style-type: none"> i. 0700 – 2100 Monday to Friday; and ii. 0700 – 1300 Saturday, Sunday and public holidays; f. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and g. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block. <p>Note: See Figure 1.</p>

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Activity	Activity specific standards
<p>P7 <u>Veterinary Care Facility</u></p>	<p>The facility shall:</p> <ul style="list-style-type: none"> a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial or collector road</u> where <u>right turn offset</u>, either informal or formal is available; b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; c. limit signage to a maximum area of 1m²; d. limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100; e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block; and g. limit the boarding of animals on the <u>site</u> to four. <p>Note: See Figure 1.</p>

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Activity		Activity specific standards
P8	<u>Education activity</u> .	<p>The activity shall:</p> <ul style="list-style-type: none"> a. only locate on <u>site</u>s with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; c. limit signage to a maximum area of 1m²; d. limit the hours of operation when the <u>site</u> is open to students, or clients, and deliveries to between the hours of: <ul style="list-style-type: none"> i. 0700 – 2100 Monday to Saturday, and ii. Closed Sunday and public holidays; e. only locate on <u>site</u>s where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u> is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u> and have <u>frontage</u> to the same <u>road</u>; and f. only locate on residential blocks where there are no more than two non-<u>residential activity</u> already within that block. <p>Note: See Figure 1.</p>
P9	Temporary military or emergency service training activities.	a. NIL.
P10	Market gardens, community gardens, and garden <u>allotments</u> .	a. NIL.
P11	Storage of <u>heavy vehicles</u> .	a. No more than one vehicle shall be stored on the <u>site</u> .
P12	Dismantling, repair, or storage of motor vehicles and boats.	a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u> .

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Activity	Activity specific standards
<p>P13 Temporary lifting or moving of earthquake damaged <u>buildings</u> where there is non compliance with one or more of: 14.5.3.2, 14.5.3.3, 14.5.3.4.</p>	<p>a. <u>Buildings</u> shall not be:</p> <ul style="list-style-type: none"> i. moved to within 1m of an internal <u>boundary</u> and/or within 3m of any <u>waterbody</u>, scheduled tree, listed heritage item, natural resources and <u>Council</u> owned structure, <u>archaeological site</u>, or the coastal marine area; ii. lifted to a <u>height</u> exceeding 2.5m above the applicable recession plane or <u>height</u> control. <p>b. The <u>building</u> must be lowered back or moved back to its original position, or a position compliant with the <u>District Plan</u> or consistent with a resource consent, within eight weeks of the lifting or moving works having first commenced.</p> <p>c. In all cases of a <u>building</u> being moved or lifted, the owners/occupiers of land adjoining the <u>site</u> shall be informed of the work at least seven days prior to the lift or move of the <u>building</u> occurring. The information provided shall include details of a contact person, details of the lift or move, and the duration of the lift or move.</p> <p>d. The <u>Council</u>'s Resource Consents Manager shall be notified of lifting or moving the <u>building</u> at least seven days prior to the lift or move of the <u>building</u> occurring. The notification must include details of the lift or move, property address, contact details and intended start date.</p>
<p>P14 Heli-Landing areas.</p>	<ul style="list-style-type: none"> a. <u>Site</u> shall be greater than 3000m² in area. b. The number of flights shall not exceed 12 (24 movements) in any calendar year. c. The flights (movements) shall not take place on more than five days in any one month period. d. The flights (movements) shall not exceed three in any one week. e. Any movements shall only occur between 0800 and 1800 hours. f. No movements shall take place within 25m of any <u>residential unit</u> unless that <u>residential unit</u> is owned or occupied by the applicant. g. A log detailing the time and date of each helicopter movement shall be maintained and made available for inspection by the Christchurch City Council when requested.

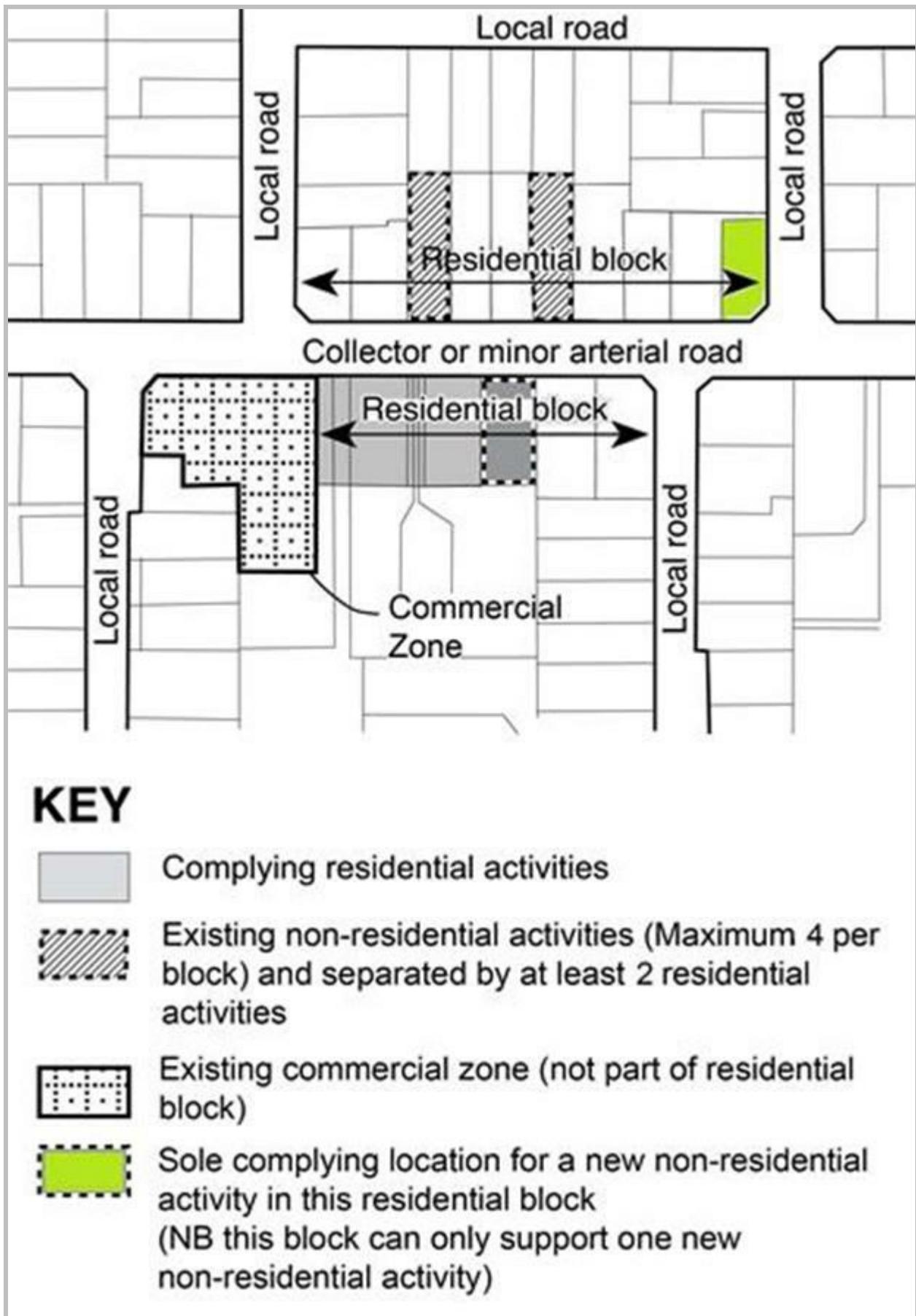


Figure 1 : Residential coherence.

14.5.2.2 Controlled Activities

There are no controlled activities.

14.5.2.3 Restricted Discretionary Activities

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

The activities listed below are Restricted Discretionary Activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in 14.9 for each standard, as set out in the following table.

Activity		The Council's discretion shall be limited to the following matters:
RD1	<i><u>Residential units</u> (including any <u>sleep-outs</u>) containing more than six bedrooms in total.</i>	<ul style="list-style-type: none"> a. <i>Urban design and Māori urban design principles – 14.9.6.</i> b. <i>Scale of activity - 14.9.14.</i> c. <i>Traffic generation access and safety - 14.9.15.</i> d. <i>Liquefaction susceptibility of <u>site</u> and development - 14.9.20.</i>

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Activity		The Council's discretion shall be limited to the following matters:
RD2	<p><u>Sensitive activities and building within the Electricity Transmission Line Corridor</u></p> <ol style="list-style-type: none"> 1. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities: <ol style="list-style-type: none"> a. any new <u>sensitive activity</u> or additional <u>habitable space</u>; b. any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities; c. any <u>sensitive activity</u>. 2. The centre of the transmission line is to be found by measuring a straight line from the centre of two adjoining support structures. 3. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner. 4. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent. <p>Note:</p> <ol style="list-style-type: none"> 1. The transmission line corridor is shown on the Planning Maps 9, 16, 21, 22, 23, 24, 26, 28,29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49,50, 51, 55, 56, 61, 62, 63, 69, 70, 78. 2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines. 	<ol style="list-style-type: none"> a. Electricity Transmission Line Corridor - 14.9.19.
RD3	<p><u>Retirement villages</u>.</p>	<ol style="list-style-type: none"> a. Urban design and Māori urban design principles – 14.9.6. b. Scale of activity - 14.9.14. c. Traffic Generation access and Safety - 14.9.15. <p>Note: Geriatric hospice and hospital care are subject to the Health Care Facilities standards.</p>

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Activity		The Council's discretion shall be limited to the following matters:
RD4	Temporary lifting or moving of earthquake damaged <u>buildings</u> that does not meet the standards in Rule 14.5.2.1 P13 .	<p>a. Temporary lifting or moving of earthquake damaged <u>buildings</u> - 14.9.23.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>
RD5	<p>Non compliance with Rules 14.5.3.2, 14.5.3.6, 14.5.3.7.</p> <p>Any application arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule:</p> <p>a. Street scene - 14.9.3.</p> <p>b. Life-stage, adaptive design and energy and water efficiency - 14.9.21.</p> <p>c. Rainwater tanks for new <u>residential units</u> that use water from listed streams and bores - 14.9.22.</p>
RD6	Non Compliance with Rules 14.5.3.1 , 14.5.3.2 , 14.5.3.3 , 14.5.3.4 , and 14.5.3.9 .	<p>As relevant to the breached rule:</p> <p>a. <u>Site density and site coverage</u> - 14.9.1.</p> <p>b. <u>Building height</u> and daylight recession planes - 14.9.2.</p> <p>c. Minimum <u>building window and balcony setbacks</u> from internal boundaries - 14.9.4.</p> <p>d. Lyttelton Port influences overlay - 14.9.34.</p>
RD7	<p>Non compliance with Rule 14.5.3.8.</p> <p>Any application arising from this rule will only require the written approval of the New Zealand Fire Service to not be limited notified and shall not be fully publicly notified.</p>	<p>a. Water Supply for Fire Fighting - 14.9.25.</p>
RD8	<u>Relocation of a building</u>	<p>a. <u>Relocation of a building</u> - 14.9.17.</p>

The activities listed below are Restricted Discretionary Activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [14.9](#) for each standard, as set out in the following table.

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Activity		The Council's discretion shall be limited to the following matters:
RD1	<p>Residential units (including any sleep-outs) containing more than six bedrooms in total.</p>	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles – 14.9.6. b. Scale of activity - 14.9.14. c. Traffic generation access and safety - 14.9.15. d. Liquefaction susceptibility of site and development - 14.9.20.
RD2	<p>Sensitive activities and building within the Electricity Transmission Line Corridor</p> <ol style="list-style-type: none"> 1. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities: <ul style="list-style-type: none"> a. any new sensitive activity or additional habitable space; b. any building between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities; c. any sensitive activity. 2. The centre of the transmission line is to be found by measuring a straight line from the centre of two adjoining support structures. 3. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner. 4. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent. <p>Note:</p> <ol style="list-style-type: none"> 1. The transmission line corridor is shown on the Planning Maps 9, 16, 21, 22, 23, 24, 26, 28,29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49,50, 51, 55, 56, 61, 62, 63, 69, 70, 78. 2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines. 	<ul style="list-style-type: none"> a. Electricity Transmission Line Corridor - 14.9.19.

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Activity		The Council's discretion shall be limited to the following matters:
RD3	<u>Retirement villages</u> .	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles – 14.9.6. b. Scale of activity - 14.9.14. c. Traffic Generation access and Safety - 14.9.15. <p>Note: Geriatric hospice and hospital care are subject to the Health Care Facilities standards.</p>
RD4	Temporary lifting or moving of earthquake damaged <u>buildings</u> that does not meet the standards in Rule 14.5.2.1 P13.	<ul style="list-style-type: none"> a. Temporary lifting or moving of earthquake damaged <u>buildings</u> - 14.9.23. <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>
RD5	Non compliance with Rules 14.5.3.2 , 14.5.3.6 , 14.5.3.7 . Any application arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.	<p>As relevant to the breached rule:</p> <ul style="list-style-type: none"> a. Street scene - 14.9.3. b. Life-stage, adaptive design and energy and water efficiency - 14.9.21. c. Rainwater tanks for new <u>residential units</u> that use water from listed streams and bores - 14.9.22.
RD6	Non Compliance with Rules 14.5.3.1 , 14.5.3.2 , 14.5.3.3 , 14.5.3.4 , and 14.5.3.9 .	<p>As relevant to the breached rule:</p> <ul style="list-style-type: none"> a. <u>Site</u> density and <u>site</u> coverage - 14.9.1. b. <u>Building height</u> and daylight recession planes - 14.9.2. c. Minimum <u>building</u> window and <u>balcony setbacks</u> from internal <u>boundaries</u> - 14.9.4. d. Lyttelton Port influences overlay - 14.9.34.
RD7	Non compliance with Rule 14.5.3.8 . Any application arising from this rule will only require the written approval of the New Zealand Fire Service to not be limited notified and shall not be fully publicly notified.	<ul style="list-style-type: none"> a. Water Supply for Fire Fighting - 14.9.25.
RD8	<u>Relocation of a building</u> .	<ul style="list-style-type: none"> a. <u>Relocation of a building</u> - 14.9.17.

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Activity		The Council's discretion shall be limited to the following matters:
RD9	Relocation of a <u>building</u> ; erection of a new <u>building</u> ; external additions or alterations to a <u>building</u> ; demolition and removal of <u>buildings</u> .	<ol style="list-style-type: none"> a. Relocation of a building - 14.9.17. b. Lyttelton Residential Design Guides - Appendix 14.10.6 or the Akaroa Residential Design Guidelines - Appendix 14.10.5 as applicable to the application area.

14.5.2.4 Discretionary Activities

The activities listed below are a Discretionary activity.

Activity	
D1	<u>Home occupation, education activities</u> , travellers accommodated for a tariff, care of non-resident children within a <u>residential unit, pre-school facilities, veterinary care facilities</u> , storage of <u>heavy vehicles</u> , and dismantling, repair or storage of motor vehicles and/or boats where it does not meet one or more of the permitted activity standards in Rule 14.5.2.1 P5, P6, P7, P8, P11, and P12.
D2	<p><u>Place of assembly</u> (except for a Lyttelton Port Noise <u>Sensitive Activity</u> within the Lyttelton Port Influences Overlay) where:</p> <ol style="list-style-type: none"> 1. The minimum <u>site</u> area is not less than 30m² per person; 2. All outdoor areas associated with the activity are screened with a 1.8m high fence or solid planting which ensures privacy for adjoining <u>sites</u>; 3. The hours of operation are between 0700 – 2200 hours Monday to Sunday and public holidays; and 4. There is no use of <u>heavy vehicles</u> associated with the activity.
D3	<p><u>Health care facility</u> (except for a Lyttelton Port Noise <u>Sensitive Activity</u> within the Port Influences Overlay) where:</p> <ol style="list-style-type: none"> 1. the maximum floor area used for Health Care activities on any <u>site</u> does not exceed 100m²; 2. there is no use of <u>heavy vehicles</u> associated with the activity.
D4	<p>Retail where:</p> <ol style="list-style-type: none"> 1. All outdoor areas associated with the activity are screened with a 1.8m high fence or solid planting which ensures privacy for adjoining <u>sites</u>; 2. The hours of operation are between 0700 – 2200 hours Monday to Sunday and public holidays; 3. The maximum floor area used for <u>retail activities</u> on any <u>site</u> does not exceed 50m²; 4. Does not include trade or yard-based suppliers or <u>service stations</u>; and 5. There is no use of <u>heavy vehicles</u> associated with the activity.
D5	Emergency service facilities.
D6	All other non- <u>residential activities</u> not otherwise listed in these tables.

14.5.2.5 Non Complying Activities

The activities listed below are a Non Complying Activity.

Activity	
NC1	Any activity not provided as a permitted, controlled, restricted discretionary, discretionary or prohibited activity.

14.5.2.6 Prohibited Activities

There are no Prohibited activities.

14.5.3 Built form standards

The following Built Form Standards shall be met by all permitted activities and restricted discretionary activities.

14.5.3.1 Site density

Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	<u>Site Density</u>	<u>Standard</u>
1.	Residential Conservation Zone Lyttelton.	250m ²
2.	Residential Conservation Zone Akaroa.	400m ²

14.5.3.2 Building height

1. The maximum height of any building shall be seven metres.
2. The maximum height of any accessory buildings shall be 4.5 metres.

Note: See the permitted height exceptions contained within the definition of height.

14.5.3.3 Daylight recession planes

No part of any building shall project beyond a building envelope contained by a 45 degree recession plane measured at any point 2.0 metres above any adjoining site boundary, that is not a road boundary.

14.5.3.4 Minimum setback from side internal boundaries

1. The minimum setback from side internal boundaries shall be 1.5 metres – one side internal boundary setback may be reduced to NIL where the written approval has been obtained from the owner and occupier of the site adjoining the relevant boundary.
2. There shall be no minimum setback from internal boundaries for accessory buildings where the length of any wall within the setbacks specified in 1. is less than six metres.

14.5.3.5 Building setbacks from road boundaries

1. In the setback from the front boundary on front sites no part of any wall of a building facing the road boundary shall be more than three metres either side of the line of sight connecting that part of each of the nearest buildings either side of the subject property closest to the road frontage.
2. In the setback from the front boundary, on corner sites no part of any wall of a building shall be more than three metres either side of a line from that part of each of the nearest buildings along both road frontages drawn parallel to the road boundaries and projected in a straight line to the point of intersection.

14.5.3.6 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1. Pathways
A sealed path from either the road boundary of the site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:
 - a. a minimum clear width of 1.2metres;
 - b. a slope not exceeding 1:20;
 - c. a cross fall of not more than 1:50;
 - d. a slip resistant surface; and
 - e. pathway lighting that is switched on from a light switch located at the door at the end of the path.
2. Primary pedestrian entrance door
A primary pedestrian entrance door to the residential unit with:
 - a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
 - b. a maximum threshold of 20mm; and
 - c. a external landing area that has a slip resistant surface.
3. Doors within the living space of the residential unit
All doorways to and within living space have:
 - a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
 - b. a level transition and threshold (accepting difference in floor materials on either site of the door).
4. Corridors, hallways, and passageways within the residential unit
All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.
5. Door handles
All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.
6. Electrical switches
The centre of all electrical switches on walls, are at the same height as the centre of door handles.
7. Powerpoints, television, telephone and computer outlets
All powerpoints, television, telephone and computer outlets are installed at the same height throughout the residential unit at no less than 0.3 metres above the finished floor level.
8. Window controls
All window controls are lever handles and are able to be operated with one hand.
9. Space around bed to support ease of movement
Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres

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by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.

0. Laundry space
Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.
1. Kitchen
The kitchen is not a residential thoroughfare.
2. Toilet
 - a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall; and
 - b. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
3. Shower
 - a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that has:
 - i. a level entry shower recess with minimum dimensions of 1.2 metres x 1.2metres;
 - ii. drainage of the shower recess located at the corner of a room;
 - iii. a clear space that provides for a 1.5 metre turning circle; and
 - iv. 800mm clear space beside the shower seat.
 - b. All shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
4. Slip resistant floors on bathrooms
All bathrooms have slip resistant floor surfaces.
5. Multi-storey access
All stairway walls have:
 - a. reinforced walls for future installation of a stair-lift or platform lift;
 - b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
 - c. a minimum clear width of 0.9 metres;
 - d. a straight design with no winder treads;
 - e. consistent tread depth with a minimum dimension of 0.31 metres;
 - f. consistent riser height with a minimum dimension of 0.18 metres;
 - g. no open risers; and
 - h. lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

6. Lever action door handles
All door handles are lever action.
7. Tap fixtures
All tap fixtures lever, push button, or electronic.

14.5.3.7 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

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	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value 3.2.</u>
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value 0.31.</u>
d.	Wall insulation.	<u>Insulation R value 2.8.</u>
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value 2.2</u> , 25mm XPS with 9mm fibre cement board glued to face.
f.	Ventilation.	<ul style="list-style-type: none"> i. Dedicated extraction <u>installed</u> in kitchen and bathrooms. ii. Provision to vent a clothes drier to the outside of the residential unit.
g.	Water efficiency.	<u>WELS 3 Star Shower.</u> <u>WELS 4 Star Toilets.</u> <u>WELS 4 Star Taps.</u>
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

14.5.3.8 Water supply for fire fighting

1. Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS: 4509:2008), whereby:
 - a. All residential units must be connected to the Council's urban reticulated system that provides sufficient fire fighting water supply; or
 - b. Where a reticulated water supply compliant with SNZ PAS:4509:2008 is not available to serve the residential unit, or the only supply available is the controlled restricted rural type water supply which is not compliant with SNZ PAS:4509:2008 water supply and access to water supplies for fire fighting that is in compliance with the rule 2. below must be provided.
2. Each residential unit shall have a sprinkler system installed (to an improved standard in accordance with SNZ PAS:4509:2008) in the building plumbed to ensure 7000 litres of water is always available to the sprinkler system in the event of a fire.

14.5.3.9 Site coverage

The maximum percentage of the of the net site area of any site covered by buildings excluding:

1. fences, walls and retaining walls;
2. eaves and roof overhangs of up to 600 millimetres in width from the wall of a building;

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3. uncovered swimming pools of up to 800 millimetres in height above ground level; and
4. decks, terraces, balconies, porches, verandahs, bay or box windows (supported or cantilevered) which:
 - a. are no more than 800 millimetres above ground level and are uncovered or unroofed; or
 - b. where greater than 800 millimetres above ground level and/or covered or roofed, are in total no more than 6m²s in area for any one site;

shall be:

Area	Standard
Lyttelton.	60%
Akaroa.	35%

14.5.4 Area specific activities and standards

14.5.4.1 Port Influences Overlay Area - Permitted Activities

Refer to [Rule 14.4.4.1](#)

14.5.4.2 Port Influences Overlay Area - Restricted Discretionary Activities

Refer to [Rule 14.4.4.2](#)

14.5.4.3 Port Influences Overlay Area - Non Complying Activities

Refer to [Rule 14.4.4.3](#)

14.5.4.4 Port Influences Overlay Area - Built Form Standards

Refer to [Rule 14.4.4.4](#)

14.6 Rules - New Neighbourhood Zones

14.6.1 How to use the rules

- 14.6.1.1 The rules that apply to activities in the New Neighbourhood Zones are contained in:
- a. The Activity Status tables, Activity Specific Standards in Rules [14.6.2.1](#), [14.6.2.2](#), [14.6.2.3](#), [14.6.2.4](#), [14.6.2.5](#), and [14.6.2.6](#); and
 - b. Built Form Standards in Rules [14.6.3.1](#), [14.6.3.2](#), [14.6.3.3](#), [14.6.3.4](#), [14.6.3.5](#), [14.6.3.6](#), [14.6.3.7](#), [14.6.3.8](#), [14.6.3.9](#), [14.6.3.10](#), [14.6.3.11](#), [14.6.3.12](#), [14.6.3.13](#), [14.6.3.14](#), [14.6.3.15](#), [14.6.3.16](#), [14.6.3.17](#), [14.6.3.18](#), and [14.6.3.19](#); and

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14.6.1.2 The Activity Status Tables and Standards in the following Chapters (where relevant):

- 5 Natural Hazards;
- 6 General Rules and Procedures;
- 7 Transport;
- 8 Subdivision, Development and Earthworks;
- 9 Heritage and Natural Environment;
- 11 Utilities, Energy and Infrastructure; and
- 12 Hazardous Substances and Contaminated Land

14.6.2 Activity status table

14.6.2.1 Permitted Activities

In the New Neighbourhood Zone the activities listed below are permitted activities if they comply with any Activity Specific Standards set out in this table and the Built Form Standards in [Rule 14.6.3](#).

Activities may also be restricted discretionary, discretionary, non complying or prohibited as specified in Rules [14.6.2.3](#), [14.6.2.4](#), [14.6.2.5](#), and [14.6.2.6](#).

Activity		Activity specific standards
P1	<u>Residential Activities that occur within a residential unit.</u>	a. NIL.
P2	Travellers accommodated for tariff within a <u>residential unit.</u>	There shall be: a. a maximum of six travellers accommodated at any one time; and b. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u> .
P3	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer.	There shall be: a. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and b. at least one carer residing permanently within the <u>residential unit</u> .
P4	Relocation of a <u>residential unit.</u>	a. NIL.

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Activity		Activity specific standards
P5	<u>Home Occupation.</u>	<p>The <u>home occupation</u> shall limit:</p> <ol style="list-style-type: none"> the <u>gross floor area</u> of the <u>building</u> plus the area used for <u>outdoor storage area</u> occupied by the occupation to less than 40m²; the number of <u>FTE</u> employed persons, who reside permanently elsewhere than on the <u>site</u>, to one; any <u>retailing</u> shall be limited to the sale of goods grown or produced on the <u>site</u>, or internet-based sales where no customer visits occur; the hours of operation to 50 hours per week; the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ol style="list-style-type: none"> 0900 – 2100 Monday to Friday; and 0900 – 1300 Saturday, Sunday and public holidays; visitor or staff <u>parking area</u> to outside the <u>road boundary setback</u>; signage to a maximum area of 1m²; and activity, where that activity is: <ol style="list-style-type: none"> open to visitors and clients; and in a multiple level apartment complex; to the ground floor.
P6	<u>Pre-schools facility.</u>	<p>The facility shall:</p> <ol style="list-style-type: none"> only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; only occupy a <u>gross floor area of building</u> of less than 200m²; limit outdoor play areas and facilities to those that comply with the Group 1 acoustic standard for residential zones; limit signage to a maximum area of 1m²; limit the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ol style="list-style-type: none"> 0700 – 2100 Monday to Friday; and 0700 – 1300 Saturday, Sunday and public holidays. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block. <p>Note: See Figure 1.</p>

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Activity		Activity specific standards
P7	<u>Health Care Facility.</u>	<p>The facility shall:</p> <ol style="list-style-type: none"> only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; limit signage to a maximum area of 1m²; limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100; only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block.
P8	<u>Veterinary Care Facility.</u>	<p>The facility shall:</p> <ol style="list-style-type: none"> only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; limit signage to a maximum area of 1m²; limit the hours of operation when the <u>site</u> is open to patients, or clients, and deliveries to between the hours of 0700 – 2100; only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block; and limit the boarding of animals on the <u>site</u> to four. <p>Note: See Figure 1.</p>

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Activity		Activity specific standards
P9	<u>Education activity.</u>	<p>The activity shall:</p> <ol style="list-style-type: none"> a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial</u> or <u>collector road</u> where <u>right turn offset</u>, either informal or formal is available; b. only occupy a <u>gross floor area</u> of <u>building</u> of less than 200m²; c. limit signage to a maximum area of 1m²; d. limit the hours of operation when the <u>site</u> is open to students, or clients, and deliveries to between the hours of: <ol style="list-style-type: none"> i. 0700 – 2100 Monday to Saturday; and ii. Closed Sunday and public holidays; e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; and f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block. <p>Note: See Figure 1.</p>
P10	Temporary military or emergency service training activities.	<ol style="list-style-type: none"> a. NIL.
P11	Market gardens, community gardens, and garden <u>allotments</u> .	<ol style="list-style-type: none"> a. NIL.
P12	Storage of <u>heavy vehicles</u> .	<ol style="list-style-type: none"> a. No more than one vehicle shall be stored on the <u>site</u>.
P13	Dismantling, repair, or storage of motor vehicles and boats.	<ol style="list-style-type: none"> a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u>.

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Activity		Activity specific standards
P14	<u>Places of Assembly.</u>	<p>The activity shall:</p> <ul style="list-style-type: none"> a. only locate on <u>sites</u> with <u>frontage</u> and the primary entrance to a <u>minor arterial or collector road</u> where <u>right turn offset</u>, either informal or formal is available; b. only occupy a <u>gross floor area of building</u> of less than 200m²; c. limit signage to a maximum area of 1m²; d. limit the hours of operation when the <u>site</u> is open to visitors, or clients, and deliveries to between the hours of: <ul style="list-style-type: none"> i. 0700 – 2100 Monday to Saturday; and ii. Closed Sunday and public holidays (except churches and church halls); e. only locate on <u>sites</u> where any <u>residential activity</u> on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, with <u>frontage</u> to the same <u>road</u>, is left with at least one residential neighbour. That neighbour shall be on an adjoining front <u>site</u>, or front <u>site</u> separated by an <u>access</u>, and have <u>frontage</u> to the same <u>road</u>; f. only locate on residential blocks where there are no more than two non-<u>residential activities</u> already within that block. <p>Note: See Figure 1.</p>

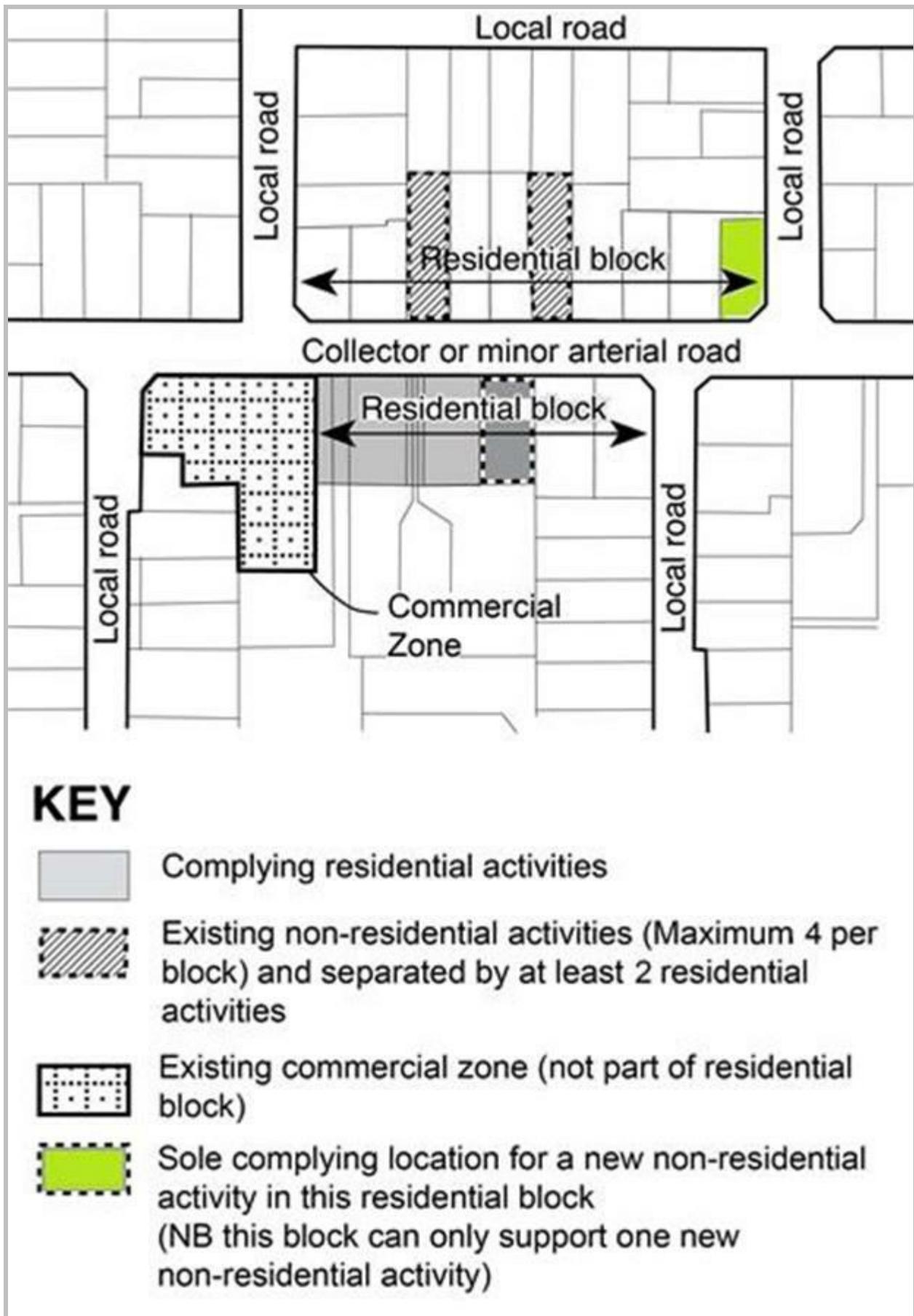


Figure 1 : Residential coherence.

14.6.2.2 Controlled Activities

There are no controlled activities.

14.6.2.3 Restricted Discretionary Activities

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The activities listed below are restricted discretionary activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in 14.9 for each standard, as set out in the following table.

Activity		The Council's discretion shall be limited to the following matters:
RD1	<i><u>Residential units</u> (including any <u>sleep-outs</u>) containing more than six bedrooms in total.</i>	<ul style="list-style-type: none"> a. <i>Urban design and Māori urban design principles – 14.9.6.</i> b. <i>Scale of activity - 14.9.14.</i> c. <i>Traffic generation access and safety - 14.9.15.</i> d. <i>Liquefaction susceptibility of the <u>site</u> and proposed development - 14.9.20.</i>
RD2	<i>Student hostels owned or operated by a secondary or <u>tertiary education and research activity</u> containing less than six bedrooms.</i>	<ul style="list-style-type: none"> a. <i>Urban design and Māori urban design principles – 14.9.6.</i> b. <i>Scale of activity - 14.9.14.</i> c. <i>Liquefaction susceptibility of the <u>site</u> and proposed development - 14.9.20.</i>
RD3	<i>Creation of stormwater drainage ponding areas within 3km of the edge of the Christchurch International Airport runways.</i>	<ul style="list-style-type: none"> a. <i>Stormwater Ponding areas within 3km of Christchurch International Airport - 14.9.18.</i>

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Activity		The Council's discretion shall be limited to the following matters:
RD4	<p><u>Sensitive activities and building within the Electricity Transmission Line Corridor:</u></p> <p>a. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities:</p> <ul style="list-style-type: none"> i. any new <u>sensitive activity</u> or additional <u>habitable space</u>; and ii. any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities; iii. any <u>sensitive activity</u>. <p>b. The centre of the transmission line is to be found by measuring a straight line from the centre of two adjoining support structures.</p> <p>c. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner.</p> <p>d. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent.</p> <p>Note:</p> <ol style="list-style-type: none"> 1. The transmission line corridor is shown on the Planning Maps 9, 16, 21, 22, 23, 24, 26, 28, 29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49, 50, 51, 55, 56, 61, 62, 63, 69, 70, 78. 2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines. 	<p>a. Electricity transmission line corridor - 14.9.19.</p>
RD5	<p><u>Retirement villages.</u></p>	<p>a. Urban design and Māori urban design principles – 14.9.6.</p> <p>b. Scale of activity - 14.9.14.</p> <p>c. Traffic generation access and safety - 14.9.15.</p>

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Activity		The Council's discretion shall be limited to the following matters:
RD6	<p><u>Convenience activities</u> where:</p> <ol style="list-style-type: none"> the <u>site</u> is located on the corner of a <u>minor arterial road</u> that intersects with either a <u>minor arterial</u> or <u>collector road</u>; the total area occupied by <u>retailing</u> on the <u>site</u> is no more than 40m² <u>public floor area</u>; the activity does not include the sale of alcohol; signage is limited to no more than 1m² and shall be within the <u>road boundary setback</u>; the hours of operation when the <u>site</u> is open to business visitors or clients are limited to between the hours of 0700 – 2200 Monday to Sunday and public holidays; and no on-site <u>parking area</u> for visitors or service purposes is to be provided. 	<ol style="list-style-type: none"> Urban design and Māori urban design principles – 14.9.6. Scale of activity - 14.9.14. Non residential hours of operation - 14.9.16. Traffic generation access and safety - 14.9.15.
RD7	<p><u>Building height</u> of between 11m and 12m on all <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process only.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<ol style="list-style-type: none"> <u>Building height</u> and daylight recession planes - 14.9.2.
RD8	<p><u>Building height</u> of between 8m and 9m on all <u>sites</u> not created by the Comprehensive Land Use and Subdivision consent process.</p>	<ol style="list-style-type: none"> <u>Building height</u> and daylight recession planes - 14.9.2.
RD9	<p><u>Site</u> coverage of between 40% and 45% on all <u>sites</u> not created by the Comprehensive Land Use and Subdivision consent process.</p>	<ol style="list-style-type: none"> <u>Site</u> density and <u>site</u> coverage - 14.9.1.
RD10	<p><u>Outdoor Living Space</u> with an area between 35m² and 60m² for a <u>residential unit</u> at the Ground Floor.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<ol style="list-style-type: none"> <u>Outdoor Living Space</u> - 14.9.5.
RD11	<p><u>Outdoor Living Space</u> with a minimum dimension of between 2m and 4m for a <u>residential unit</u> at the Ground floor .</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<ol style="list-style-type: none"> <u>Outdoor Living Space</u> - 14.9.5.
RD12	<p><u>Outdoor Living Space</u> with an area less than 10m² for a <u>residential unit</u> above ground floor.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<ol style="list-style-type: none"> <u>Outdoor Living Space</u> - 14.9.5.

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Activity		The Council's discretion shall be limited to the following matters:
RD13	<p><u>Outdoor Living Space</u> with a minimum dimension of less than 2m for a <u>residential unit</u> above ground floor.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. <u>Outdoor Living Space</u> - 14.9.5.</p>
RD14	<p>Non compliance with one or more of the following Rules: 14.6.3.8, 14.6.3.9, 14.6.3.10, 14.6.3.11, 14.6.3.13, 14.6.3.14, 14.6.3.15, 14.6.3.16, 14.6.3.17, and 14.6.3.18.</p> <p>Any applications arising from these rules will not require written approvals and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule:</p> <p>a. <u>Ground floor habitable space</u> - 14.9.10.</p> <p>b. <u>Streetscene – road boundary, building setback, front doors, fencing and planting</u> - 14.9.3.</p> <p>c. <u>Service storage and waste management spaces</u> - 14.9.11.</p> <p>d. <u>Minimum unit size</u> - 14.9.9.</p> <p>e. <u>Life-stage, adaptive design and energy and water efficiency</u> - 14.9.21.</p>
RD15	<p>Non compliance with one or more of the following Rules: 14.6.3.5, 14.6.3.6.</p>	<p>As relevant to the breached rule:</p> <p>a. <u>Building height and daylight recession planes</u> - 14.9.2</p> <p>b. <u>Minimum building window and balcony setbacks from internal boundaries</u> - 14.9.4</p>
RD16	<p><u>Building</u> between 4.0m and 4.5m from the <u>road boundary</u> on South side of <u>road</u> oriented East - West.</p> <p>(Refer to Figure 9 for explanatory diagram of oriented East – West)</p> <p>Any Comprehensive subdivision and land use consent application as specified in Chapter 8 arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. <u>Streetscene - road boundary, building setback, front doors, fencing and planting</u> - 14.9.3</p>

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Activity		The Council's discretion shall be limited to the following matters:
RD17	<p><u>Building</u> between 3.5m and 4m from the <u>road boundary</u> on all <u>roads</u> that are not on South side of <u>road</u> oriented East - West.</p> <p>(Refer to Figure 9 for explanatory diagram of oriented East - West)</p> <p>Any Comprehensive subdivision and land use consent application as specified in Chapter 8 arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. Street scene - <u>road boundary</u>, <u>building setback</u>, front doors, fencing and planting - 14.9.3</p>
RD18	<p>Non compliance with Rule 14.6.3.19.</p> <p>Any application arising from this rule will only require the written approval of the New Zealand Fire Service to not be limited notified and shall not be fully publicly notified.</p>	<p>a. Water supply for fire fighting - 14.9.25</p>
RD19	<p>Construction of a <u>residential unit</u> on a <u>site</u> created under Rules 8.4.2.1 RD3 and 8.4.2.2 D3.</p>	<p>a. Urban design and Maori urban design principles – 14.9.6.</p> <p>b. Building Typology - 8.5.4.5.</p>

The activities listed below are restricted discretionary activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [14.9](#) for each standard, as set out in the following table.

Activity		The Council's discretion shall be limited to the following matters:
RD1	<p><u>Residential units</u> (including any <u>sleep-outs</u>) containing more than six bedrooms in total.</p>	<p>a. Urban design and Māori urban design principles – 14.9.6.</p> <p>b. Scale of activity - 14.9.14.</p> <p>c. Traffic generation access and safety - 14.9.15.</p> <p>d. Liquefaction susceptibility of the <u>site</u> and proposed development - 14.9.20.</p>

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Activity		The Council's discretion shall be limited to the following matters:
RD2	Student hostels owned or operated by a secondary or <u>tertiary education and research activity</u> containing less than six bedrooms.	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles – 14.9.6. b. Scale of activity - 14.9.14. c. Liquefaction susceptibility of the <u>site</u> and proposed development - 14.9.20.
RD3	Creation of stormwater drainage ponding areas within 3km of the edge of the Christchurch International Airport runways.	<ul style="list-style-type: none"> a. Stormwater Ponding areas within 3km of Christchurch International Airport - 14.9.18.
RD4	<p><u>Sensitive activities</u> and <u>building</u> within the Electricity Transmission Line Corridor:</p> <ul style="list-style-type: none"> a. Within 12m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities: <ul style="list-style-type: none"> i. any new <u>sensitive activity</u> or additional <u>habitable space</u>; and ii. any <u>building</u> between 12m and 32m of any transmission line or transmission line support structure, the following shall be restricted discretionary activities; iii. any <u>sensitive activity</u>. b. The centre of the transmission line is to be found by measuring a straight line from the centre of two adjoining support structures. c. Any application within the corridor need not be publicly notified and need not be served on any affected party other than the network utility owner. d. The Electricity Transmission Line network utility owner or operator shall be considered an affected party for any activity requiring consent. <p>Note:</p> <ul style="list-style-type: none"> 1. The transmission line corridor is shown on the Planning Maps 9, 16, 21, 22, 23, 24, 26, 28, 29, 30, 32, 33, 35, 36, 37, 38, 40, 43, 44, 45, 46, 47, 48, 49, 50, 51, 55, 56, 61, 62, 63, 69, 70, 78. 2. The requirements of the New Zealand Electrical Code of Practice should be noted in relation to land use activities and vegetation under or near transmission lines. 	<ul style="list-style-type: none"> a. Electricity transmission line corridor - 14.9.19.

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Activity		The Council's discretion shall be limited to the following matters:
RD5	<u>Retirement villages</u> .	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles – 14.9.6. b. Scale of activity - 14.9.14. c. Traffic generation access and safety - 14.9.15.
RD6	<p><u>Convenience activities</u> where:</p> <ol style="list-style-type: none"> 1. the <u>site</u> is located on the corner of a <u>minor arterial road</u> that intersects with either a <u>minor arterial</u> or <u>collector road</u>; 2. the total area occupied by <u>retailing</u> on the <u>site</u> is no more than 40m² <u>public floor area</u>; 3. the activity does not include the sale of alcohol; 4. signage is limited to no more than 1m² and shall be within the <u>road boundary setback</u>; 5. the hours of operation when the <u>site</u> is open to business visitors or clients are limited to between the hours of 0700 – 2200 Monday to Sunday and public holidays; and 6. no on-site <u>parking area</u> for visitors or service purposes is to be provided. 	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles – 14.9.6. b. Scale of activity - 14.9.14. c. Non residential hours of operation - 14.9.16. d. Traffic generation access and safety - 14.9.15.
RD7	<p><u>Building height</u> of between 11m and 12m on all <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process only.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<ul style="list-style-type: none"> a. <u>Building height</u> and daylight recession planes - 14.9.2.
RD8	<p><u>Building height</u> of between 8m and 9m on all <u>sites</u> not created by the Comprehensive Land Use and Subdivision consent process.</p>	<ul style="list-style-type: none"> a. <u>Building height</u> and daylight recession planes - 14.9.2.
RD9	<p><u>Site</u> coverage of between 40% and 45% on all <u>sites</u> not created by the Comprehensive Land Use and Subdivision consent process.</p>	<ul style="list-style-type: none"> a. <u>Site</u> density and <u>site</u> coverage - 14.9.1.
RD10	<p><u>Outdoor Living Space</u> with and area between 35m² and 60m² for a <u>residential unit</u> at the Ground Floor.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<ul style="list-style-type: none"> a. <u>Outdoor Living Space</u> - 14.9.5.

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Activity		The Council's discretion shall be limited to the following matters:
RD11	<p><u>Outdoor Living Space</u> with a minimum dimension of between 2m and 4m for a <u>residential unit</u> at the Ground floor .</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	a. <u>Outdoor Living Space</u> - 14.9.5.
RD12	<p><u>Outdoor Living Space</u> with an area less than 10m² for a <u>residential unit</u> above ground floor.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	a. <u>Outdoor Living Space</u> - 14.9.5.
RD13	<p><u>Outdoor Living Space</u> with a minimum dimension of less than 2m for a <u>residential unit</u> above ground floor.</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	a. <u>Outdoor Living Space</u> - 14.9.5.
RD14	<p>Non compliance with one or more of the following Rules: 14.6.3.8, 14.6.3.9, 14.6.3.10, 14.6.3.11, 14.6.3.13, 14.6.3.14, 14.6.3.15, 14.6.3.16, 14.6.3.17, and 14.6.3.18.</p> <p>Any applications arising from these rules will not require written approvals and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule:</p> <ul style="list-style-type: none"> a. Ground floor <u>habitable space</u> - 14.9.10. b. Streetscene – <u>road boundary, building setback</u>, front doors, fencing and planting - 14.9.3. c. Service storage and waste management spaces - 14.9.11. d. Minimum unit size - 14.9.9. e. Life-stage, adaptive design and energy and water efficiency - 14.9.21.
RD15	<p>Non compliance with one or more of the following Rules: 14.6.3.5, 14.6.3.6.</p>	<p>As relevant to the breached rule:</p> <ul style="list-style-type: none"> a. <u>Building height</u> and daylight recession planes - 14.9.2 b. Minimum <u>building window and balcony setbacks</u> from internal boundaries - 14.9.4

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Activity		The Council's discretion shall be limited to the following matters:
RD16	<p><u>Building</u> between 4.0m and 4.5m from the <u>road boundary</u> on South side of <u>road</u> oriented East - West.</p> <p>(Refer to Figure 9 for explanatory diagram of oriented East – West)</p> <p>Any Comprehensive subdivision and land use consent application as specified in Chapter 8 arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. Streetscene - <u>road boundary</u>, <u>building setback</u>, front doors, fencing and planting - 14.9.3</p>
RD17	<p><u>Building</u> between 3.5m and 4m from the <u>road boundary</u> on all <u>roads</u> that are not on South side of <u>road</u> oriented East - West.</p> <p>(Refer to Figure 9 for explanatory diagram of oriented East - West)</p> <p>Any Comprehensive subdivision and land use consent application as specified in Chapter 8 arising from non compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. Street scene - <u>road boundary</u>, <u>building setback</u>, front doors, fencing and planting - 14.9.3</p>
RD18	<p>Non compliance with Rule 14.6.3.19.</p> <p>Any application arising from this rule will only require the written approval of the New Zealand Fire Service to not be limited notified and shall not be fully publicly notified.</p>	<p>a. Water supply for fire fighting - 14.9.25</p>
RD19	<p>Construction of a <u>residential unit</u> on a <u>site</u> created under Rules 8.4.2.1 RD3 and 8.4.2.2 D3.</p>	<p>a. Urban design and Maori urban design principles – 14.9.6.</p> <p>b. Building Typology - 8.5.4.5.</p>
RD20	<p>Non-compliance with Rule 14.6.3.20 Maximum <u>building</u> length</p>	<p>a. Urban design and Maori urban design principles – 14.9.6.</p>

14.6.2.4 Discretionary Activities

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The activities listed below are a discretionary activities.

Activity

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D1	<i>Home occupation, student hostels, pre-schools facilities, health care facilities, education activities, and conversion of an elderly person's housing unit into a residential unit, travellers accommodated for a tariff in a residential unit, care of non-resident children within a residential unit, veterinary care facilities, and show homes where it does not meet one or more of the Activity Specific Standards for permitted activities.</i>
----	--

The activities listed below are a discretionary activities.

Activity	
D1	<i>Home occupation, student hostels, pre-schools facilities, health care facilities, education activities, and conversion of an elderly person's housing unit into a residential unit, travellers accommodated for a tariff in a residential unit, care of non-resident children within a residential unit, veterinary care facilities, and show homes where it does not meet one or more of the Activity Specific Standards for permitted activities.</i>
D2	Non-compliance with any Area Specific Standard under rule 14.6.4

14.6.2.5 Non Complying Activities

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The activities listed below are a non complying activity.

Activity	
NC1	<i>Any activity not provided as a permitted, controlled, restricted discretionary, discretionary or prohibited activity.</i>
NC2	<i>Non Compliance with Rule 14.6.3.1 Site Density.</i>
NC3	<i>More than 3 storeys within <u>buildings</u> on <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process.</i>
NC4	<i>Minimum front façade <u>height</u> on <u>buildings</u> on <u>sites</u> created by the Comprehensive Subdivision and Land Use consent process as specified in Chapter 8 of less than 4m.</i>
NC5	<i><u>Site</u> coverage that exceeds 45% <u>sites</u> that have not received a comprehensive subdivision and land use consent as specified in Chapter 8.</i>

The activities listed below are a non complying activity.

Activity	
NC1	Any activity not provided as a permitted, controlled, restricted discretionary, discretionary or prohibited activity.
NC2	Non Compliance with Rule 14.6.3.1 Site Density .

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Activity	
NC3	More than 3 storeys within <u>buildings</u> on <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process or on Density A sites within an Outline Development Plan.
NC4	Minimum front façade <u>height</u> on <u>buildings</u> on <u>sites</u> created by the Comprehensive Subdivision and Land Use consent process as specified in Chapter 8 of less than 4m.
NC5	<u>Site</u> coverage that exceeds 45% <u>sites</u> that have not received a comprehensive subdivision and land use consent as specified in Chapter 8 .

14.6.2.6 Prohibited Activities

There are no prohibited activities.

14.6.3 Built form standards

14.6.3.1 Site Density

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Each residential unit shall be contained within its own separate site. The site shall have minimum net site area as follows:

		Standard
1.	Where a comprehensive subdivision and land use consent has been granted.	As required to accommodate the consented <u>residential unit</u> .
2.	Where a comprehensive subdivision and land use consent has not been granted.	300m ² ; Corner <u>site</u> 400m ² .
3.	<u>Social housing residential unit</u> .	There shall be no minimum <u>net site area</u> for a <u>site</u> for any <u>residential unit</u> that is part of a multi-unit residential complex.

Each residential unit shall be contained within its own separate site. The site shall have minimum net site area as follows:

		Standard
1.	Where a comprehensive subdivision and land use consent has been granted.	As required to accommodate the consented <u>residential unit</u> .
2.	Where a comprehensive subdivision and land use consent has not been granted.	300m ² ; Corner <u>site</u> 400m ² .

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		Standard
3.	<u>Social housing residential unit.</u>	There shall be no minimum <u>net site area</u> for a <u>site</u> for any <u>residential unit</u> that is part of a multi-unit residential complex.
4.	Within Density A areas in the Appendix 14.10.7 Yaldhurst ODP, Appendix 14.10.9 Awatea (North side of Awatea Road only) ODP, Appendix 14.10.10 Wigram ODP, and Appendix 14.10.11 Prestons ODP.	200m ²
5.	For the Spring Grove historic homestead <u>site</u> the minimum <u>allotment</u> size shall be:	3500m ²
6.	Within the areas identified as 'Dunlop House Heritage/Residential' in Appendix 14.10.11 Prestons <u>Outline Development Plan</u> .	1.5ha

14.6.3.2 Building height, minimum number of storeys (North Halswell only) maximum number of storeys and minimum façade height

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Maximum height of any building shall be:

		Standard
1.	<u>Height</u> all <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process only.	11m
2.	<u>Height</u> all <u>sites</u> not created by the Comprehensive Land Use and Subdivision consent process.	8m
3.	Maximum number of storeys within <u>buildings</u> on <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process.	3
4.	Minimum front façade <u>height</u> on <u>buildings</u> on <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process.	4m
5.	Minimum number of storeys of residential <u>buildings</u> in North Halswell directly facing the <u>Key Activity Centre</u> .	2

Note: See the permitted height exceptions contained within the definition of height.

a. Maximum height of any building shall be:

		Standard

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1.	<u>Height all sites</u> created by the Comprehensive Land Use and Subdivision consent process only, Variable Density Area and the Density A areas in the Appendix 14.10.7 Yaldhurst ODP, Appendix 14.10.10 Wigram ODP, and Appendix 14.10.11 Prestons ODP.	11m
2.	<u>Height all sites</u> not created by the Comprehensive Land Use and Subdivision consent process.	8m
3.	Maximum number of storeys within <u>buildings</u> on <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process and within the Density A areas in the Appendix 14.10.7 Yaldhurst ODP, Appendix 14.10.10 Wigram ODP, and Appendix 14.10.11 Prestons ODP.	3
4.	Minimum front façade <u>height</u> on <u>buildings</u> on <u>sites</u> created by the Comprehensive Land Use and Subdivision consent process.	4m
5.	Minimum number of storeys of residential <u>buildings</u> in North Halswell directly facing the <u>Key Activity Centre</u> .	2

Note: See the permitted height exceptions contained within the definition of height.

- b. Where a site is adjacent to a site with a more restrictive height limit, the lesser height limit shall apply.

14.6.3.3 Site Coverage

The maximum percentage of the net site area for sites that have not received a comprehensive resource consent covered buildings shall be 40 percent.

- The maximum percentage of the net site area for sites that have not received a comprehensive resource consent covered buildings shall be 40 percent, except
- Density A areas in the Appendix 14.10.7 Yaldhurst ODP, Appendix 14.10.9 Awatea (North side of Awatea Road only) ODP, where the maximum coverage shall be 50% and no less than 25% of the site shall comprise permeable surfaces.
- Density A areas in the Appendix 14.10.10 Wigram ODP and Appendix 14.10.11 Prestons ODP where the maximum coverage shall be 80% and no less than 25% of the site shall comprise permeable surfaces.
- Density B areas in the Appendix 14.10.10 Wigram ODP and Appendix 14.10.11 Prestons ODP where the maximum coverage shall be 60% and no less than 25% of the site shall comprise permeable surfaces.

14.6.3.4 Outdoor living space

- For residential units with two more bedrooms outdoor living space shall be provided on site for each residential unit, and shall not be occupied by parking or access. The required outdoor living space can be in a mix of private and communal areas, at the ground level or in balconies, within the following dimensions:

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Minimum total area for each <u>residential unit</u> .	Minimum private area.	Minimum dimension private area when provided at <u>ground level</u> .	Minimum dimension private area when provided by a <u>balcony</u> .	Minimum dimension of communal space.	<u>Accessibility</u> of communal space.	General <u>accessibility</u> for each <u>residential unit</u> .	Minimum required <u>outdoor living space</u> at <u>ground level</u> for the entire <u>site</u> .
30m ²	16m ²	4m	1.5m	4m	Accessible by all units.	At least one private <u>outdoor living space</u> shall be accessible from a <u>living area</u> of the <u>residential unit</u> .	50%

2. For one bedroom units or studios on the ground floor outdoor living space shall be provided, and shall not be occupied by parking or access within the following dimensions:

Minimum total private area for each <u>residential unit</u> .	Minimum dimension private area when provided at <u>ground level</u> .
16m ²	4m

3. For one bedroom units or studios entirely at an upper level outdoor living space shall be provided within the following dimensions. The required outdoor living space can be in a mix of private and communal areas, at the ground level or in balconies, within the following dimensions:

Minimum total private area for each <u>residential unit</u> .	Minimum private <u>balcony</u> dimensions.
16m ²	6 m ² area. 1.5m dimension.

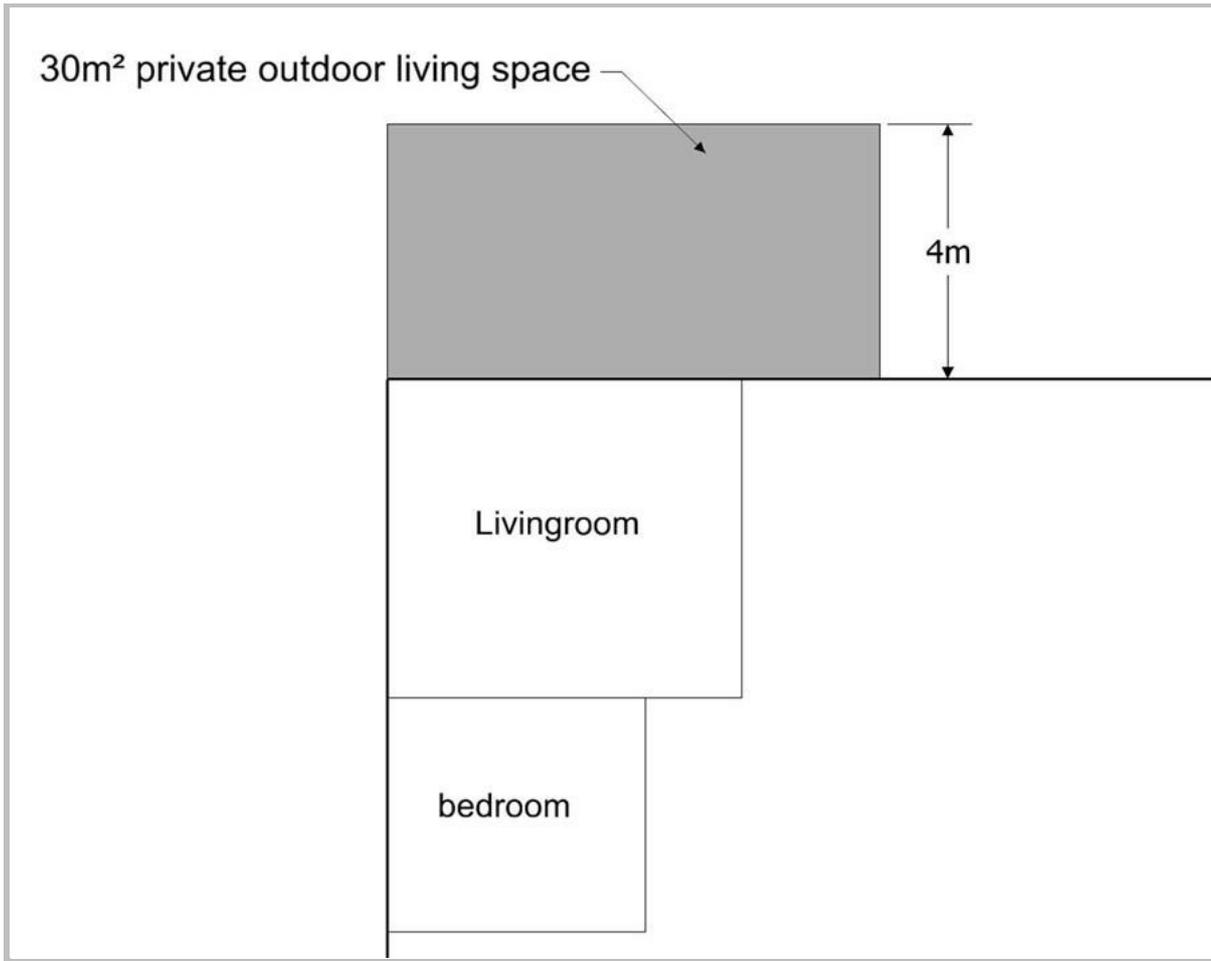


Figure 10 : Outdoor living space

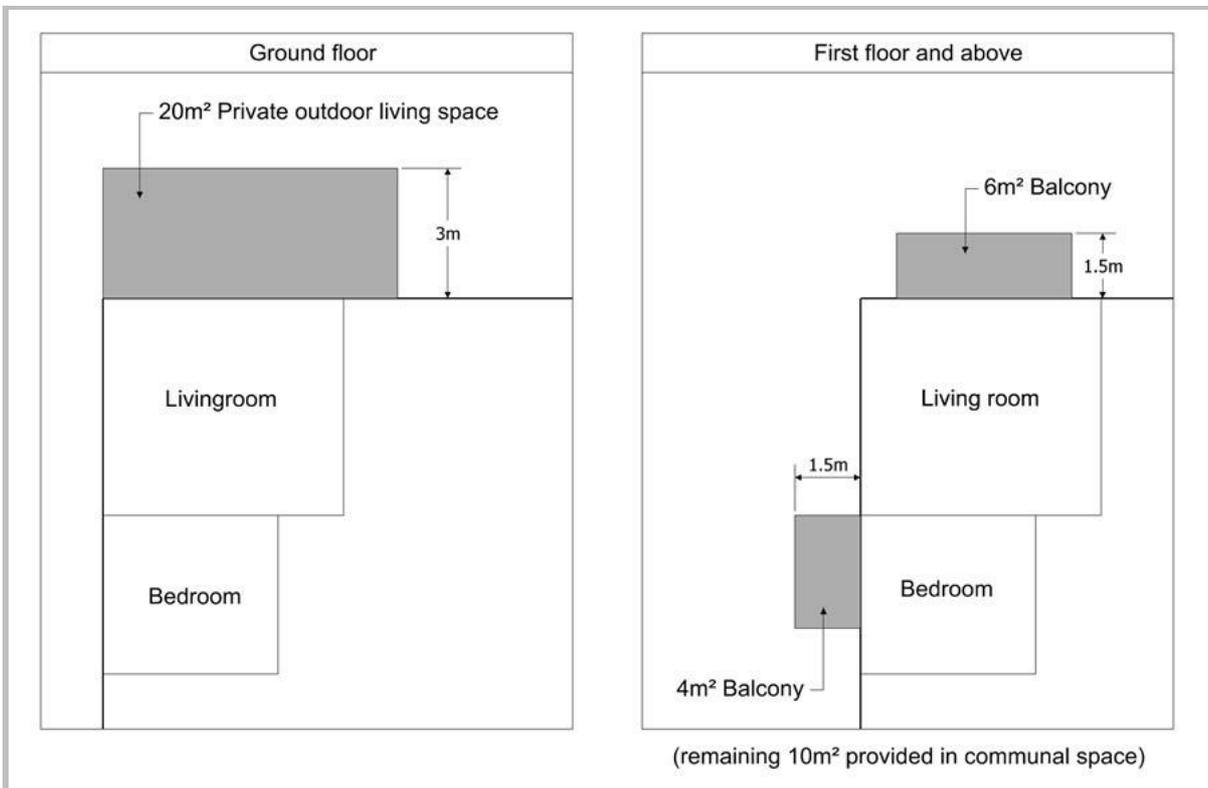


Figure 11 : Outdoor living space

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Note:

1. This diagram is an illustrative example only, showing one way the rule may be applied
2. For two storey units, allocation of space could be spread over both levels, e.g. 24m² at ground level and 6m² as a balcony at first floor.

14.6.3.5 Daylight recession planes

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

- a. Buildings shall not project beyond a building envelope constructed by recession planes, as shown in [Appendix 14.10.2 Diagram A](#), from points 2.3 metres above:
 - i. internal boundaries; or
 - ii. where an internal boundary of a site abuts an access lot or access strip the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access lot or access strip or any combination of these areas; or
 - iii. where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.
- b. Where the building is located in an overlay that has a permitted height of more than 11 metres, the recession plane measurement shall commence from points 2.3 metres above internal boundaries and continue on the appropriate angle to points 11 metres above ground level, at which point the recession plane becomes vertical.

Refer to [Appendix 14.10.2](#) for permitted intrusions.

- c. Where sites are located within a Floor Level and Fill Management Area, recession plane breaches created by the need to raise floor levels will not require the written consent of other persons and shall be non-notified.
- a. Buildings shall not project beyond a building envelope constructed by recession planes, as shown in [Appendix 14.10.2 Diagram A](#) or [Diagram C](#) for Density A areas in the [Appendix 14.10.7 Yaldhurst](#), [Appendix 14.10.10 Wigram](#), [Appendix 14.10.11 Prestons Outline Development Plan](#) areas, from points 2.3 metres above:
 - i. internal boundaries; or
 - ii. where an internal boundary of a site abuts an access lot or access strip the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access lot or access strip or any combination of these areas; or
 - iii. where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.
- b. Where the building is located in an overlay that has a permitted height of more than 11 metres, the recession plane measurement shall commence from points 2.3 metres above internal boundaries and continue on the appropriate angle to points 11 metres above ground level, at which point the recession plane becomes vertical.

Refer to [Appendix 14.10.2](#) for permitted intrusions.

- c. Where sites are located within a Floor Level and Fill Management Area, recession plane breaches created by the need to raise floor levels will not require the written consent of other persons and shall be non-notified.
- d. Where a site is adjacent to a site of a more restricted height limit [Diagram A](#) is to apply.

14.6.3.6 Minimum building setback internal boundaries

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

The minimum building setback from internal boundaries shall be:

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1.	All <u>buildings</u> not listed below	1.8m
2.	Where residential <u>buildings</u> on adjoining <u>sites</u> have a ground floor window of a <u>habitable space</u> located within 1.8m of the common internal <u>boundary</u> .	1.8m from that neighbouring window for a minimum length of 2m either side of the window – refer diagram below.
3.	All other <u>accessory buildings</u> where the total length of walls or parts of the <u>accessory building</u> within 1.8m of each internal <u>boundary</u> does not exceed 10.1m in length.	NIL
4.	<u>Buildings</u> that share a common wall along an internal <u>boundary</u> .	NIL
5.	All other <u>buildings</u> where the internal <u>boundary</u> of the <u>site</u> adjoins an <u>access</u> or part of an <u>access</u> .	1m

Refer to [Figure 3](#).

Note: This diagram is an illustrative example only, showing one way the rule may be applied (refer to full rule for application of 1.8m separation).

The minimum building setback from internal boundaries shall be:

1.	All <u>buildings</u> not listed below	1.8m
2.	Where residential <u>buildings</u> on adjoining <u>sites</u> have a ground floor window of a <u>habitable space</u> located within 1.8m of the common internal <u>boundary</u> .	1.8m from that neighbouring window for a minimum length of 2m either side of the window – refer diagram below.
3.	All other <u>accessory buildings</u> where the total length of walls or parts of the <u>accessory building</u> within 1.8m of each internal <u>boundary</u> does not exceed 10.1m in length.	NIL
4.	<u>Buildings</u> that share a common wall along an internal <u>boundary</u> .	NIL
5.	All other <u>buildings</u> where the internal <u>boundary</u> of the <u>site</u> adjoins an <u>access</u> or part of an <u>access</u> .	1m
6.	Prestons Residential <u>allotments</u> adjoining Rural Zone.	15m from the rural zone boundary

Refer to [Figure 3](#).

Note: This diagram is an illustrative example only, showing one way the rule may be applied (refer to full rule for application of 1.8m separation).

14.6.3.7 Minimum setback and distance to ground level for windows and balconies

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

The minimum setback for a living area window from an internal boundary shall be 4m. Note where the window is adjacent to an accessway the setback shall be measured from the far side of the accessway.

- a. The minimum setback for a living area window from an internal boundary shall be 4m. Note where the window is adjacent to an accessway the setback shall be measured from the far side of the accessway.
- b. In the Appendix [14.10.7 Yaldhurst](#), Appendix [14.10.10 Wigram](#), Appendix [14.10.11 Prestons Outline Development Plan](#) areas the minimum setback for a living space window or balcony shall be 3m, except where located at the first floor level or above the minimum setback shall be 4m. This rule shall not apply where a window is at an angle of 90 or greater to the internal boundary.

14.6.3.8 Planting in the road boundary setback

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

The full length of the road frontage, not used as a vehicle or pedestrian access, shall be planted to a depth of two metres.

1. The full length of the road frontage, not used as a vehicle or pedestrian access, shall be planted to a depth of two metres;
2. Except for the full length of the road frontage for Hills and Hawkins Road as shown in Appendix [14.10.22 Highfield Development Plan](#), and is not used as a vehicle or pedestrian access, it shall be planted to a depth of 5m.

14.6.3.9 Fencing in the road boundary setback and adjacent to public open space

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

The maximum height of any fence in the setback from the road frontage with a local road shall be one metre.

- a. The maximum height of any fence in the setback from the road frontage with a local road shall be one metre.
- b. The maximum height of any fence within 4m of the boundary to a public open space shall be 1.2m.

14.6.3.10 Parking areas

Parking areas shall be separated from adjoining roads by either planting, fences, or a combination thereof. Where separation is by way of fencing the minimum height of fencing shall be 1.2 metres.

14.6.3.11 Garages

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

Garages and carports shall not comprise more than 50 percent of any ground floor elevation viewed from any one road boundary on any one site and shall not be more than 6.5 metres wide. For garages with the vehicle door generally facing a shared access or road boundary the minimum garage setback shall be 5.5 metres from the shared access or road kerb.

- a. Garages and carports shall not comprise more than 50 percent of any ground floor elevation viewed from any one road boundary on any one site and shall not be more than 6.5 metres wide. For garages with the vehicle door generally facing a shared access or road boundary the minimum garage setback shall be 5.5 metres from the shared access or road kerb.
- b. No garage shall be located forward of the front façade of the associated residential unit.

14.6.3.12 Road boundary building setback, fencing and planting

used to mark stage 1 OLD stage 1 text that will be copied to show stage 2 changes

	Situation / location	Permitted
1.	South side of a <u>road</u> oriented East – West. (Refer to the following figure for explanatory diagram of oriented East – West.)	4.5m
2.	All other <u>road boundaries</u> New Neighbourhood North Halswell Zone.	3m
3.	All other <u>road boundaries</u> .	4m

Except: where a garage has a vehicle door generally facing a road or an access the minimum garage setback shall be 5.5 metres from the road boundary or shared access (not including access lots).

	Situation / location	Permitted
1.	South side of a <u>road</u> oriented East – West. (Refer to the following figure for explanatory diagram of oriented East – West.)	4.5m
2.	All other <u>road boundaries</u> New Neighbourhood North Halswell Zone. All road boundaries in Appendix 14.10.7 Yaldhurst Outline Development Plan, Appendix 14.10.11 Prestons Outline Development Plan. All road boundaries in Density A areas Appendix 14.10.9 Awatea (North side of Awatea Road only) Outline Development Plan and Appendix 14.10.10 Wigram Outline Development Plan.	3m
3.	All other <u>road boundaries</u> .	4m
4.	The <u>boundary</u> of Hill and Hawkins Roads in Appendix 14.10.22 Highfield Development Plan	10m

Except: where a garage has a vehicle door generally facing a road or an access the minimum garage setback shall be 5.5 metres from the road boundary or shared access (not including access lots).

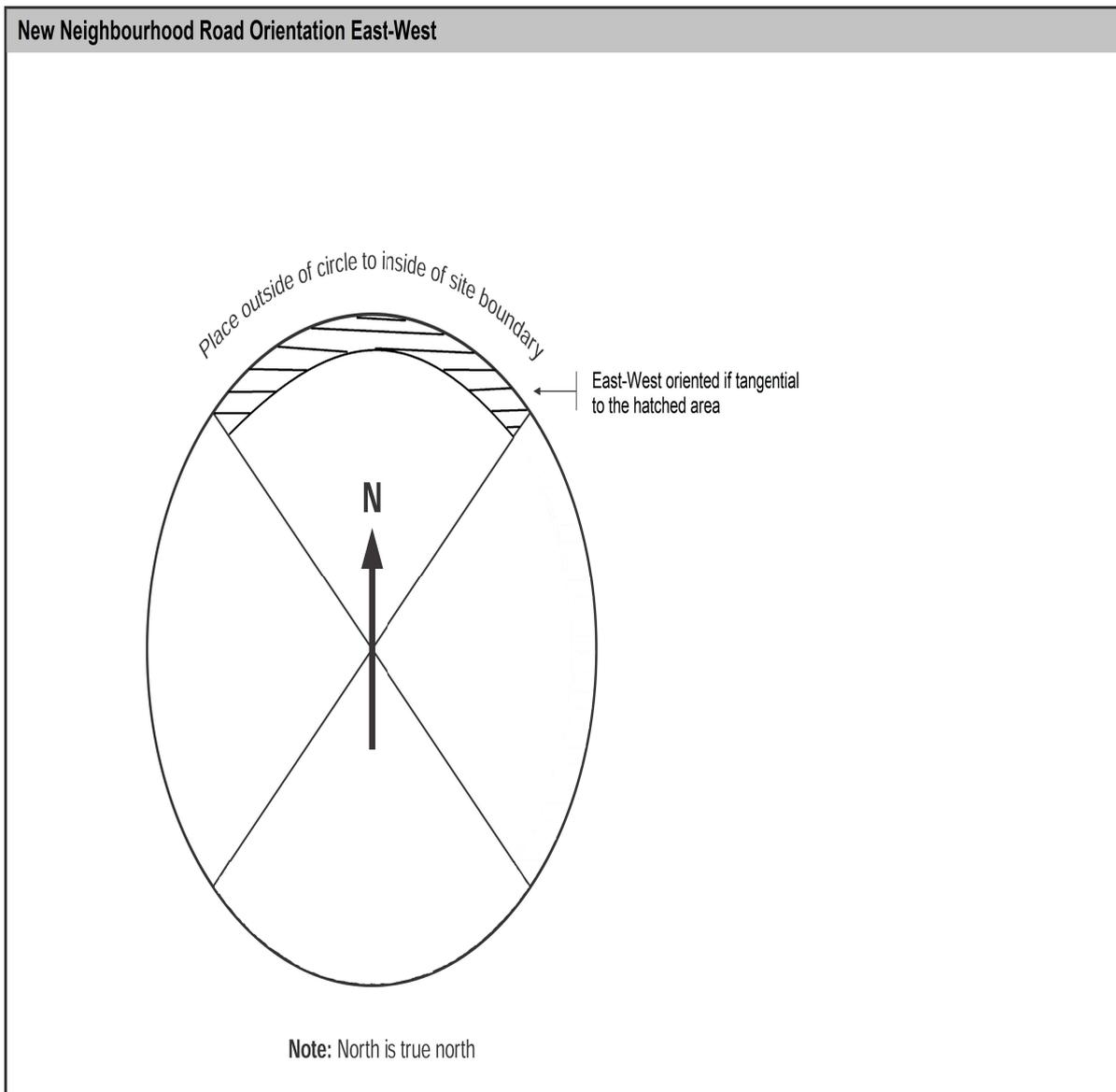


Figure 14 : New neighbourhood road orientation East-West.

14.6.3.13 Ground floor habitable space and overlooking of the street

1. Each residential unit, except for loft units, shall have a habitable space at the ground floor.
2. Each of the habitable space located at the ground floor shall have a minimum floor area of 12m², a minimum internal dimension of three metres and be internally accessible to the rest of the unit.
3. Each ground floor habitable space shall provide a total window area of at least 4m² that overlooks the setback from the road boundary.

14.6.3.14 Front doors

Front doors shall be clearly visible from the primary street.

14.6.3.15 Service, storage, and waste management spaces

1. Each residential unit shall be provided with:

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- a. an outdoor service space of 3m² and waste management area of 2.25m² with a minimum dimension of 1.5 metres; and
 - b. a single, indoor storage space of 4m³ with a minimum dimension of one metre.
2. Any space designated for waste management, whether private or communal, shall not be located between the road boundary and any habitable space and shall be screened from adjoining sites, conservation or open space zones, roads, and adjoining outdoor living spaces to a height of 1.5 metres.
 3. If a communal waste management area is provided within the site, the minimum required outdoor service space is 3m² for each residential unit.
 4. If a communal waste management area is provided, it must be demonstrated to be:
 - a. of a sufficient size to accommodate the number and dimensions of bins required to meet the predicted volume of waste generated by the residential units;
 - b. accessible and safe for use by all residents; and
 - c. easily accessible for the collection of bins by waste management contractors.

14.6.3.16 Minimum unit size, and mix of units

1. The minimum net floor area (including toilets and bathrooms, but excluding carparking, garaging or balconies) for any residential unit shall be:

	Number of Bedrooms	Area
1.	Studio.	35m ²
2.	1 Bedroom.	45m ²
3.	2 Bedrooms.	70m ²
4.	3 or more Bedrooms.	90m ²

14.6.3.17 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1. Pathways

A sealed path from either the road boundary of site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:

 - a. a minimum clear width of 1.2metres;
 - b. a slope not exceeding 1:20;
 - c. a cross fall of not more than 1:50;
 - d. a slip resistant surface; and
 - e. pathway lighting that is switched on from a light switch located at the door at the end of the path.
2. Primary pedestrian entrance door

A primary pedestrian entrance door to the residential unit with:

 - a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;

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- b. a maximum threshold of 20mm; and
 - c. a external landing area that has a slip resistant surface.
3. Doors within the living space of the residential unit
All doorways to and within living space have:
- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
 - b. a level transition and threshold (accepting difference in floor materials on either site of the door).
4. Corridors, hallways, and passageways within the residential unit
All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.
5. Door handles
All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.
6. Electrical switches
The centre of all electrical switches on walls, are at the same height as the centre of door handles.
7. Powerpoints, television, telephone and computer outlets
All powerpoints, television, telephone and computer outlets are installed at a that same height throughout the residential unit at no less than 0.3 metres above the finished floor level.
8. Window controls
All window controls are lever handles and are able to be operated with one hand.
9. Space around bed to support ease of movement
Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.
10. Laundry space
Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.
11. Kitchen
The kitchen is not a residential thoroughfare.
12. Toilet
- a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall.
 - b. and
 - c. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
13. Shower
- a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that has:
 - i. a level entry shower recess with minimum dimensions of 1.2 metres x 1.2metres;
 - ii. drainage of the shower recess located at the corner of a room;
 - iii. a clear space that provides for a 1.5 metre turning circle; and
 - iv. 800mm clear space beside the shower seat.
 - b. All shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
14. Slip resistant floors on bathrooms
All bathrooms have slip resistant floor surfaces.
15. Multi-storey access
All stairway walls have:
- a. reinforced walls for future installation of a stair-lift or platform lift;

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- b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
- c. a minimum clear width of 0.9 metres;
- d. a straight design with no winder treads;
- e. consistent tread depth with a minimum dimension of 0.31 metres;
- f. consistent riser height with a minimum dimension of 0.18 metres;
- g. no open risers; and
- h. lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

- 16. Lever action door handles
All door handles are lever action.
- 17. Tap fixtures
All tap fixtures lever, push button, or electronic.

14.6.3.18 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value 3.2.</u>
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value 0.31.</u>
d.	Wall insulation.	<u>Insulation R value 2.8.</u>
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value 2.2</u> , 25mm XPS with 9mm fibre cement board glued to face.
f.	Ventilation.	<ul style="list-style-type: none"> i. Dedicated extraction <u>installed</u> in kitchen and bathrooms. ii. Provision to vent a clothes drier to the outside of the residential unit.
g.	Water efficiency.	<u>WELS 3 Star Shower.</u> <u>WELS 4 Star Toilets.</u> <u>WELS 4 Star Taps.</u>
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

14.6.3.19 Water supply for fire fighting

Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008), where by all residential units must be connected to the Council's urban reticulated system that provide sufficient fire fighting water supply.

14.6.3.20 Maximum building length

The maximum length of any building frontage shall be 20m.

14.6.4 Area Specific Standards

14.6.4.1 Restrictions on land development

- a. Within the area under Appendix 14.10.11 Prestons ODP, no non-residential activities and not more than 400 residential units shall occur in the until the upgrade has commenced of the Lower Styx Road/Marshland Road intersection (including traffic signals).
- b. Within the area under Appendix 14.10.11 Prestons ODP, no more than the following shall occur until such time as the portion of the main primary road in Appendix 14.10.11 Prestons ODP linking Prestons Road to Mairehau Road in the Prestons Zone is open to traffic:
 - i. 1700 residential units within the areas identified as 'Density Area A-D' sites and 'Urban Village/Commercial';
 - ii. 7200m2 of non-residential activities (comprising of 4000m2 for a supermarket and 3200m2 for other non-residential activities) within the areas identified as 'Urban Village/Commercial', 'Commercial' and 'Commercial A and B' on Appendix 14.10.11 the Prestons Outline Development Plan.
- c. Within the area under Appendix 14.10.12 North West Belfast ODP- Densities and Infrastructure, Residential activities are not permitted to have direct vehicular access to Johns Road other than via intersections identified as A2 and A3 in Appendix 14.10.12 North West Belfast Densities and Key Infrastructure, while Johns Road between Groynes Drive and Main North Road, is defined as a major arterial road or until the state highway status of this part of Johns Road is revoked, whichever occurs the earlier.

14.6.4.2 Area specific standards for other matters

- a. Within Appendix 14.10.8 East Belfast Outline Development Plan, residential activity or travellers' accommodation is not permitted within the identified buffer area.
- b. Within Appendix 14.10.9 Awatea Outline Development Plan residential activities on land south of the Christchurch Southern Motorway cannot be constructed until the relocation of the Carrs Road Kart Club.
- c. Within Appendix 14.10.10 Wigram Outline Development Plan school activities identified on the education site shall comply with the rules of the Specific Purpose School Zone Chapter 21 or the Residential New Neighbourhood Zone provisions if the school is not developed.
- d. Within Appendix 14.10.11 Prestons Outline Development Plan any alterations to any existing buildings or structures or the construction of any new building in the area identified as "Dunlop House Heritage/Residential" must be undertaken in accordance with the Accidental Discovery Protocol contained in Appendix 14.10.11.9 Prestons Accidental Discovery Protocol.
- e. Within Appendix 14.10.11 Prestons Outline Development Plan the following landscaping and setback provisions shall apply:
 - ii. The following shall apply on all sites adjoining Lower Styx Road
 - A A 10m deep landscape strip shall be planted along the frontage with Lower Styx Road with native shrubs and small trees selected from the Planting List Appendix 14.10.11.8.

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- B 1 large native tree selected from The Planting List Appendix [14.10.11.8](#) shall be provided per 40m² of required landscape strip and shall be planted within the 10m landscape strip.
 - C A minimum 15m building setback from Lower Styx Road.
 - D Fencing along the boundary with Lower Styx Road, and fencing along first 10m of internal boundaries back from Lower Styx Road, shall not exceed a maximum height of 1.2m and shall be at least 50% visually transparent.
- ii. The following shall apply on all sites adjoining Mairehau Road Boundary
- A. A 3m landscape strip shall be planted along with Mairehau Road with native shrubs and small trees selected from The Planting List Appendix [14.10.11.8](#).
 - B. 1 tree selected from The Planting List Appendix [14.10.11.8](#) shall be provided per 20m² of required landscaping strip and shall be planted within the 3m landscape strip. A Minimum 50% of required trees shall be native.
 - C. A minimum 10m building setback from Mairehau Road.
 - D. Fencing on the boundary with Mairehau Road, and fencing along first 3m of internal boundaries, back from Mairehau Road shall not exceed a maximum height of 1.2m and shall be at least 50% visually transparent.
- iii. The following shall apply on all its sites adjoining the Windsor or Waitikiri Golf Course Boundary as identified on Appendix [14.10.11 Prestons Outline Development Plan](#)
- A. A 10m landscape strip shall be provided adjacent to boundary with the Waitikiri and Windsor Golf Courses and shall be maintained as turf.
 - B. 1 large tree selected from The Planting List Appendix [14.10.11.8](#) shall be provided per site adjoining golf courses plus 1 additional large tree selected from The Planting List Appendix [14.10.11.8](#) per 100m² of required landscaping strip and shall be planted within the 10m landscape strip.
 - C. A minimum 10m building setback from the boundary with the Waitikiri and Windsor Golf Courses.
 - D. Fencing on the boundary with Waitikiri and Windsor Golf Courses, and fencing along first 10m of internal boundaries back from Waitikiri and Windsor Golf Courses, shall not exceed a maximum height of 1.2m and shall be at least 50% visually transparent..
- iv. The following shall apply on sites within the areas identified as 'Urban Village / Commercial', 'Commercial A & B' in Appendix [14.10.11 Prestons Outline Development Plan](#), adjoining Rural Zone boundaries
- A. along the boundary of the area identified as 'Commercial B' adjacent to the Rural Zone to the South, a minimum 3m building setback shall apply. Along the length of that boundary, the tree planting required for Commercial Zone road frontages shall also apply.
 - B. screening to a minimum height of 1.8m shall be provided for boundaries with a residential site.
 - C. The minimum building setback from Marshland Road shall be 10m.

14.6.4.3 Outline Development Plans

a. Any development of land shall be in accordance with:

- i. Appendix [14.10.7.0 Yaldhurst Outline Development Plan](#)
- ii. Appendix [14.10.7.1 Yaldhurst Outline Development Plan Key Structuring Elements](#)
- iii. Appendix [14.10.7.2 Yaldhurst Outline Development Plan Open Space Network](#)
- iv. Appendix [14.10.7.3 Yaldhurst Outline Development Plan Water Network](#)
- v. Appendix [14.10.7.4 Yaldhurst Outline Development Plan Road Network](#)
- vi. Appendix [14.10.7.5 Yaldhurst Outline Development Plan Cycle Network](#)
- vii. Appendix [14.10.7.6 Yaldhurst Outline Development Plan Public Transport Network](#)
- viii. Appendix [14.10.7.7 Yaldhurst Outline Development Plan Road Design Parameters](#)
- ix. Appendix [14.10.8.0 East Belfast Outline Development Plan](#)
- x. Appendix [14.10.8.1 East Belfast Outline Development Plan Open Space Network](#)
- xi. Appendix [14.10.8.2 East Belfast Outline Development Plan Water Network](#)
- xii. Appendix [14.10.8.3 East Belfast Outline Development Plan Road Network](#)
- xiii. Appendix [14.10.8.4 East Belfast Outline Development Plan Public Transport Network](#)
- xiv. Appendix [14.10.8.5 East Belfast Outline Development Plan Cycle Network](#)
- xv. Appendix [14.10.8.6 East Belfast Outline Development Plan Pedestrian Network](#)
- xvi. Appendix [14.10.9.0 Awatea Outline Development Plan](#)

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- xvii. Appendix 14.10.9.1 Awatea Outline Development Plan Plan A
- xviii. Appendix 14.10.9.2 Awatea Outline Development Plan Fixed Structural Elements
- xix. Appendix 14.10.9.3 Awatea Outline Development Plan Open Space Network
- xx. Appendix 14.10.9.4 Awatea Outline Development Plan Water Network
- xxi. Appendix 14.10.9.5 Awatea Outline Development Plan Road Network
- xxii. Appendix 14.10.9.6 Awatea Outline Development Plan Cycle Network
- xxiii. Appendix 14.10.9.7 Awatea Outline Development Plan Public Transport Network
- xxiv. Appendix 14.10.9.8 Awatea Outline Development Plan Road Design Parameters
- xxv. Appendix 14.10.9.9 Awatea Outline Development Plan Tangata Whenua
- xxvi. Appendix 14.10.10 Wigram Outline Development Plan
- xxvii. Appendix 14.10.10.1 Wigram Outline Development Plan Key Structuring Elements
- xxviii. Appendix 14.10.10.2 Wigram Outline Development Plan Open Space Network
- xxix. Appendix 14.10.10.3 Wigram Outline Development Plan Transportation Movement Network
- xxx. Appendix 14.10.10.4 Wigram Outline Development Plan Road Hierarchy
- xxxi. Appendix 14.10.10.5 Wigram Outline Development Plan Cross Section Reference
- xxxii. Appendix 14.10.10.6 Wigram Outline Development Plan Typical Cross Sections
- xxxiii. Appendix 14.10.10.7 Wigram Outline Development Plan Public Transport Network
- xxxiv. Appendix 14.10.10.8 Wigram Outline Development Plan Cycle and Pedestrian Network
- xxxv. Appendix 14.10.10.9 Wigram Outline Development Plan Stormwater Network
- xxxvi. Appendix 14.10.11 Prestons Outline Development Plan
- xxxvii. Appendix 14.10.11.1 Prestons Outline Development Plan Density
- xxxviii. Appendix 14.10.11.2 Prestons Road Network
- xxxix. Appendix 14.10.11.3 Prestons Outline Development Plan Cycle Network
- xl. Appendix 14.10.11.4 Prestons Outline Development Plan Pedestrian network
- xli. Appendix 14.10.11.5 Prestons Outline Development Plan Master Plan Road
- xl. Appendix 14.10.11.6 Prestons Outline Development Plan Water Network
- xliii. Appendix 14.10.11.7 Prestons Outline Development Plan Open Space Network
- xliv. Appendix 14.10.11.8 Prestons Outline Development Plan Planting List
- xlvi. Appendix 14.10.11.9 Prestons Outline Development Plan Accidental Discovery Protocol
- xlvi. Appendix 14.10.11.10 Prestons Outline Development Plan Intersection Upgrade V
- xlvi. Appendix 14.10.12.0 North West Belfast Outline Development Plan Densities and Key Infrastructure
- xlvi. Appendix 14.10.12.1 North West Belfast Outline Development Plan Zone
- xlix. Appendix 14.10.12.2 North West Belfast Outline Development Plan Open Space Network
- l. Appendix 14.10.12.3 North West Belfast Outline Development Plan Protected Trees
- li. Appendix 14.10.12.4 North West Belfast Outline Development Plan Water Network
- lii. Appendix 14.10.12.5 North West Belfast Outline Development Plan Road Network
- liii. Appendix 14.10.12.6 North West Belfast Outline Development Plan Spine Road 2 with Boulevard
- liv. Appendix 14.10.12.7 North West Belfast Outline Development Plan Local Road with Boulevard
- lv. Appendix 14.10.12.8 North West Belfast Outline Development Plan Transportation – Spine Road 1
- lvi. Appendix 14.10.12.9 North West Belfast Outline Development Plan Transportation – Public Transport Network
- lvii. Appendix 14.10.12.10 North West Belfast Outline Development Plan Interim Public Transport Network
- lviii. Appendix 14.10.12.11 North West Belfast Outline Development Plan Cycle Network
- lix. Appendix 14.10.12.12 North West Belfast Outline Development Plan Pedestrian Network
- lx. Appendix 14.10.14 Upper Styx Outline Development Plan
- lxi. Appendix 14.10.15 Hendersons Outline Development Plan
- lxii. Appendix 14.10.16 South Halswell Outline Development Plan
- lxiii. Appendix 14.10.17 South-East Halswell Outline Development Plan
- lxiv. Appendix 14.10.18 South-West Halswell Outline Development Plan
- lxv. Appendix 14.10.19 South-East Belfast Outline Development Plan
- lxvi. Appendix 8.6.15 Highfield Park Outline Development Plan
- lxvii. Appendix 14.10.22 Highfield cross sections for roads
- lxviii. Appendix 14.10.23 Highsted Outline Development Plan
- lix. Appendix 14.10.24 Highsted Outline Development Plan Movement network

14.7 Rules - Enhanced Development Mechanism

14.7.1 How to use these rules and duration of rules

- 14.7.1.1 The rules that define where the enhanced development mechanism can be used are contained in [Rule 14.7.3](#).
- 14.7.1.2 The activity status tables, and built form standards in Rules [14.7.2.1](#), [14.7.2.2](#), [14.7.2.3](#) and [14.7.4.1](#), [14.7.4.2](#), [14.7.4.3](#), [14.7.4.4](#), [14.7.4.5](#), [14.7.4.6](#), [14.7.4.7](#), [14.7.4.8](#), [14.7.4.9](#), [14.7.4.10](#), [14.7.4.11](#), [14.7.4.12](#), [14.7.4.13](#), [14.7.4.14](#), and [14.7.4.15](#) determine the activity status of the of resource consent application to use the enhanced development mechanism.
- 14.7.1.3 The information that is required for resource consent applications is set out in [Rule 14.7.5](#).
- 14.7.1.4 The Enhanced Development Mechanism specified in sub-Chapter 14.7 shall cease to have effect on 31st December 2018.

14.7.2 Activity status tables

14.7.2.1 Restricted Discretionary Activities

The activities listed below are Restricted Discretionary Activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [14.9](#) for each standard, as set out in the following table.

Activity	The Council's discretion shall be limited to the following matters:
<p>RD1 Residential activities that comply with all qualifying standards in Rules: 14.7.3 and are not in breach of the built form standards in Rules: 14.7.4.1, 14.7.4.2, 14.7.4.3, 14.7.4.4, 14.7.4.5, 14.7.4.6, 14.7.4.7, 14.7.4.8, 14.7.4.9, 14.7.4.10, 14.7.4.11, 14.7.4.12, 14.7.4.13, 14.7.4.14.</p> <p>Resource consent applications in relation to this rule shall not be publicly or limited notified.</p>	<p>a. Assessment matters for restricted discretionary activities – Enhanced Development Mechanism and Community Housing Redevelopment Mechanism - 14.9.37.</p>

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Activity		The Council's discretion shall be limited to the following matters:
<p>RD2</p>	<p><u>Residential activities</u> that comply with all qualifying standards in Rule: 14.7.3 but do not comply with one or more of the built form standards in Rules: 14.7.4.1, 14.7.4.2, 14.7.4.3, 14.7.4.4, 14.7.4.5, 14.7.4.6, 14.7.4.7, 14.7.4.8, 14.7.4.9, 14.7.4.10, 14.7.4.11, 14.7.4.12, 14.7.4.13, 14.7.4.14.</p> <p>Resource consent applications in relation to these rules shall not be publicly or limited notified.</p>	<p>a. Assessment matters for restricted discretionary activities – Enhanced Development Mechanism and Community Housing Redevelopment Mechanism - 14.9.37.</p> <p>b. As relevant to the breached rules:</p> <ul style="list-style-type: none"> i. <u>Site</u> density and <u>site</u> coverage - 14.9.1. ii. <u>Building height</u> and daylight recession planes - 14.9.2. iii. Street scene - <u>road boundary, building setback</u>, front doors, fencing and planting - 14.9.3. iv. Minimum <u>building</u>, window and <u>balcony setbacks</u> from internal <u>boundaries</u> - 14.9.4. v. <u>Outdoor living space</u> - 14.9.5. vi. Minimum unit size and unit mix - 14.9.9. vii. Ground floor <u>habitable space</u> - 14.9.10. viii. Service storage and waste management spaces - 14.9.11. ix. Tree and garden planting - 14.9.12. x. Acoustic insulation - 14.9.13. xi. Traffic generation and access safety - 14.9.15. xii. Life-stage, adaptive design and energy and water efficiency - 14.9.21.
<p>RD3</p>	<p>Non compliance with Rule 14.7.4.15.</p> <p>Any application arising from this rule will only require the written approval of the New Zealand Fire Service to not be limited notified and shall not be fully publicly notified.</p>	<p>a. Water Supply for Fire Fighting - 14.9.25.</p>

14.7.2.2 Discretionary Activities

The activities listed below are discretionary activities.

Activity	
D1	<u>Residential activities</u> where part of the <u>site</u> , but not all of the <u>site</u> complies with all of the location qualifying standards in Rule 14.7.3-4 , and complies with all other qualifying standards in Rule 14.7.3 .

14.7.2.3 Non Complying Activities

The activities listed below are non-complying activities.

Activity	
NC1	<u>Residential activities</u> that do not comply with Zoning Qualifying Standards in Rule 14.7.3-1 .
NC2	<u>Residential activities</u> that do not comply with <u>Site</u> Size Qualifying Standards in Rule 14.7.3-2 .
NC3	<u>Residential activities</u> that do not comply with Housing Yield Qualifying Standards in Rule 14.7.3-3 .
NC4	Use of the Enhanced Development Mechanism within the area of the development plan contained in Chapter 15 - Commercial, Appendix 15.9.7

14.7.3 Qualifying standards

Sites shall comply with the following Qualifying Standards:

1. Zoning Qualifying Standards

Qualifying sites shall be located in the Residential Suburban Density Transition Zone and the Residential Medium Density Zone.

2. Site Size Qualifying Standards

Qualifying sites shall be:

- Of a size greater than 1500m² and less than 10,000m²; and
- In one continuous block of land.

3. Housing Yield Qualifying Standards

Comprehensive development of a site shall deliver a minimum density of 30 households per hectare (one unit per 330m²), and a maximum density of 65 households per hectare (one unit per 150m²).

4. Location Qualifying Standards

a. Accessibility Criteria

Qualifying sites shall lie fully within all of the following four criteria:

- 800 metres EDM walking distance of:
 - Central City Business Zone as at 6 December 2013;

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- B Central City Mixed Use Zone as at 6 December 2013;
 - C an area that was zoned Business 2 in the Christchurch City District Plan as at 6 December 2013; and
 - D an EDM qualifying supermarket; and
- ii. 800 metres EDM walking distance of:
 - A either a primary or intermediate school; and
 - B 400 metres EDM walking distance of an Open Space 2 zone or an Open Space 1 zone that has an area greater than 4,000m²; and
 - C 600 metres EDM walking distance of an EDM core public transport route.
 - D For a. – c. where the walking route is bisected by an arterial road in [Chapter 7 Transport Appendix 17.12](#), the EDM walking distance shall be measured at a formal pedestrian crossing point.
- b. Constraint Criteria
 - c. No part of a qualifying site shall lie within:
 - i. Special Amenity Areas (Special Amenity Area) indentified in the City Plan as at 6 December 2013; or
 - ii. 400 metres of the boundary of an Industrial - Heavy zone; or
 - iii. The tsunami inundation area; or
 - iv. The Riccarton wastewater interceptor catchment.

Note:

1. The Council shall maintain a publicly accessible database of all of the above criteria categories for the purposes of administering the rules.
2. Constraint criteria iv shall apply until such time as asset improvement works remove this constraint criteria.
3. The Tsunami Inundation area is set out in Environment Canterbury Report number R12/38 “Modelling coastal inundation in Christchurch and Kaiapoi from a South American Tsunami using topography from after the 2011 February Earthquake (2012), NIWA

14.7.4 Built form standards

Comprehensive development under the Enhanced Development Mechanism shall comply with the following standards:

14.7.4.1 Building Height

Within 15 metres of the site boundary, the maximum height of any building shall be 8 metres where the site adjoins the Residential Suburban Zone. Across the rest of the proposal area the maximum building height shall be 11 metres.

14.7.4.2 Daylight recession planes

Buildings shall not project beyond a building envelope constructed by recession planes from points 2.3 metres above boundaries with other sites as shown in [Appendix 14.10.2](#), Diagram C except that:

1. where an internal boundary of a site abuts an access lot, access strip, or access to a rear lot, the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access lot, access strip, or access to a rear lot or any combination of these areas;
2. where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.

Note: The level of internal boundaries shall be measured from filled ground level except where the site on the other side of the internal boundary is at a lower level, then that lower level shall be adopted.

14.7.4.3 Street Scene

Buildings shall be set back a minimum of 4.5 metres from road boundaries, other than where a site has a road boundary that is subject to another standard in this Plan, except that:

1. where a garage has a vehicle door facing a road the garage door shall be set back a minimum of 4.5 metres unless the garage door(s) provided tilt or swing outwards, in which case the garage door shall be set back a minimum of 5.5 metres;
2. where a garage has the vehicle door facing a shared access way, the garage door shall be set back a minimum of seven metres measured from the garage door to the furthest formed edge of the adjacent shared access unless the garage door(s) provided tilt or swing outwards, in which case the garage door shall be set back a minimum of eight metres;
3. for residential units fronting the street; garages, carports, and other accessory buildings (excluding basement car parking and swimming pools) shall be located at least 1.2 metres further from the road boundary than the front facade of any ground level habitable space of that unit.

14.7.4.4 Separation from neighbours

1. Buildings that adjoin an access lot, access strip, or access to a rear site shall be set back a minimum of one metre from that part of an internal boundary of a site.
2. Accessory buildings which face the ground floor window of a habitable space on an adjoining site shall be set back a minimum of 1.8 metres from that neighbouring window for a minimum length of two metres either side of the window.
3. In all other instances buildings shall be set back a minimum of 1.8 metres from internal boundaries of a site.

except that:

- a. No setback is required from an access lot or access strip on the same site, provided that any windows on the ground floor facing and within one metre of the access lot or access strip are non-opening;
 - b. Other than provided in 2. above, no setback for accessory buildings is required, provided the total length of walls or parts of accessory buildings facing and located within the setback is less than nine metres;
 - c. No setback is required along that part of an internal boundary where buildings on adjoining sites have a common wall along the internal boundary; and
 - d. No setback is required for basements, provided that any part of a basement located within 1.8 metres of an internal boundary is wholly below ground level.
4. Parts of a balcony or any window of a living area at first floor level or above shall not be located within four metres of an internal boundary of a site, except that this shall not apply to a window at an angle of 90 degrees or greater to boundary, or a window or balcony which begins within 1.2 metres of ground level (such as above a garage which is partly below ground level).

14.7.4.5 Minimum unit size, and mix of units

1. The minimum net floor area (including toilets and bathrooms, but excluding carparking, garaging, or balconies) for any residential unit in a multi-unit social housing complex, and a multi-unit residential complex, and a minor dwelling unit shall be:

	Number of Bedrooms	Minimum <u>net floor area</u>
1.	Studio.	35m ²
2.	1 Bedroom.	45m ²

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	Number of Bedrooms	Minimum <u>net floor area</u>
3.	2 Bedrooms.	70m ²
4.	3 or more Bedrooms.	90m ²

- Where six or more residential units are proposed as part of a multi-unit social housing complex or a multi-unit residential complex, there shall be a mix of at least two unit size types ranging across one, two, three or more bedrooms. No unit size type shall account for more than two thirds of the overall number of units on a site.

14.7.4.6 Ground floor habitable space

- Any residential unit facing a road or public space, unless built over an access way, shall have a habitable space located at ground level.
- At least 50 percent of all residential units within a comprehensive development shall have a habitable space located at the ground level.

Each habitable space located at the ground level shall have a minimum floor area of 12m² and a minimum internal dimension of three metres.

14.7.4.7 Outdoor living space

- For residential units with two or more bedrooms a minimum of 30m² of outdoor living space shall be provided on site for each residential unit, and shall not be occupied by parking or access. The required outdoor living space can be in a mix of private and communal areas, at the ground level or in balconies provided that:
 - Each unit shall have private outdoor living space of at least 16m² in total. The balance of the outdoor living space required for each residential unit may be provided as communal space;
 - Private outdoor living space shall have a minimum dimension of four metres when provided at ground level and a minimum dimension of 1.5 metres when provided by a balcony;
 - At least one private outdoor living space shall be directly accessible from a living area of that unit;
 - Outdoor living space provided as a communal space shall be accessible for use by all units and shall have a minimum dimension of four metres; and
 - 50 percent of the outdoor living space required across the entire site shall be provided at ground level.
- For one bedroom residential units on the ground floor a minimum of 16m² private outdoor living space with a minimum dimension of four metres shall be provided on site for each residential unit, and shall not be occupied by parking or access.
- For one bedroom residential units entirely at an upper level at total of 16m² of outdoor living space shall be provided on site for each residential unit provided that:
 - one space can be a private balcony with a minimum area of 6m² and a minimum dimension of 1.5 metres;
 - the balance 10m² can be provided in a communal space.

14.7.4.8 Service, storage, and waste management spaces

- Each residential unit shall be provided with:

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- a. an outdoor service space and waste management area of 5m² with a minimum dimension of 1.5 metres; and
 - b. a single, indoor storage space of 4m³ with a minimum dimension of one metre.
2. Any space designated for waste management, whether private or communal, shall not be located between the road boundary and any habitable space and shall be screened from sites, conservation or open space zones, roads, and adjoining outdoor living spaces to a height of 1.5 metres.

Except that:

3. if a communal waste management area is provided within the site:
 - a. the minimum required outdoor service space may be reduced to 3m² for each residential unit; and
 - b. it must be demonstrated to be:
 - i. of a sufficient size to accommodate the number and dimensions of bins required to meet the predicted volume of waste generated by the residential units;
 - ii. accessible and safe for use by all residents; and
 - iii. easily accessible for the collection of bins by waste management contractors

14.7.4.9 Landscaping and tree planting

1. A minimum of 20 percent of the site shall be provided for landscaping (which may include private or communal outdoor living space).
2. A tree shall be planted inside the site adjacent to the road boundary for every 10 metres of road boundary, or part thereof.
3. In addition to the trees required by rule 2. above, all sites shall be planted with a minimum of one tree for every 250 square metre of gross site area (prior to subdivision), or part thereof.
4. All trees shall be of a species capable of reaching a minimum height at maturity of four metres and shall be not less than 1.5 metres high at the time of planting.

14.7.4.10 Acoustic Insulation

Any habitable space within a residential unit which is within:

1. 40 metres of the edge of the nearest marked traffic lane of an arterial road, or a railway line; or
2. 20 metres of the edge of the nearest marked traffic lane of a collector road as defined in [Chapter 7 Transportation Appendix 7.12](#) shall achieve an external sound insulation level Dtr,2m,nTw.

Note:

1. Compliance with this rule may be achieved by ensuring any construction is in accordance with the acceptable solutions listed in [Appendix 14.10.1 - Measurement and Assessment of Noise](#). No alternative ventilation is required in situations where the rule is only met with windows closed. Alternatively, compliance with the rule can be achieved through certification by a qualified acoustic engineer that the design is capable of achieving compliance with the performance standard.
2. Where no traffic lane is marked, the distances stated shall be measured from two metres on the road ward side of the formed kerb.

14.7.4.11 Parking space numbers

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1. A minimum of one car parking space shall be provided for each residential unit.
2. Parking areas shall be screened on internal boundaries by landscaping, wall(s), fence(s), or a combination of these to a minimum height of 1.5 metres from any adjoining site. Where this screening is by way of landscaping it shall be for a minimum depth of 1.5 metres.
3. A minimum of one cycle space shall be provided at ground level for each residential unit except where parking for that unit is provided in a garage.

Note: this development standard applies in place of any equivalent minimum or maximum car or cycle parking requirement for the underlying zone in [Chapter 7 Transportation](#) of this Plan.

14.7.4.12 Maximum building coverage within Enhanced Development Mechanism proposal areas

The maximum percentage of the gross area covered by buildings within proposals using the Enhanced Development Mechanism shall be 40 percent.

14.7.4.13 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1. Pathways
A sealed path from either the road boundary of the site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:
 - a. a minimum clear width of 1.2metres;
 - b. a slope not exceeding 1:20;
 - c. a cross fall of not more than 1:50;
 - d. a slip resistant surface; and
 - e. pathway lighting that is switched on from a light switch located at the door at the end of the path.
2. Primary pedestrian entrance door
A primary pedestrian entrance door to the residential unit with:
 - a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
 - b. a maximum threshold of 20mm; and
 - c. a external landing area that has a slip resistant surface.
3. Doors within the living space of the residential unit
All doorways to and within living space have:
 - a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
 - b. a level transition and threshold (accepting difference in floor materials on either site of the door).
4. Corridors, hallways, and passageways within the residential unit
All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.
5. Door handles
All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.
6. Electrical switches
The centre of all electrical switches on walls, are at the same height as the centre of door handles.
7. Powerpoints, television, telephone and computer outlets
All powerpoints, television, telephone and computer outlets are installed at a that same height throughout the residential unit at no less than

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0.3 metres above the finished floor level.

8. Window controls

All window controls are lever handles and are able to be operated with one hand.

9. Space around bed to support ease of movement

Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.

10. Laundry space

Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.

11. Kitchen

The kitchen is not a residential thoroughfare.

12. Toilet

a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall.

b. and

c. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.

13. Shower

a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that has:

- i. a level entry shower recess with minimum dimensions of 1.2 metres x 1.2metres;
- ii. drainage of the shower recess located at the corner of a room;
- iii. a clear space that provides for a 1.5 metre turning circle; and
- iv. 800mm clear space beside the shower seat.

b. All shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.

14. Slip resistant floors on bathrooms

All bathrooms have slip resistant floor surfaces.

15. Multi-storey access

All stairway walls have:

- a. reinforced walls for future installation of a stair-lift or platform lift;
- b. reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
- c. a minimum clear width of 0.9 metres;
- d. a straight design with no winder treads;
- e. consistent tread depth with a minimum dimension of 0.31 metres;
- f. consistent riser height with a minimum dimension of 0.18 metres;
- g. no open risers; and
- h. lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

16. Lever action door handles

All door handles are lever action.

17. Tap fixtures

All tap fixtures lever, push button, or electronic.

14.7.4.14 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value</u> 3.2.
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value</u> 0.31.
d.	Wall insulation.	<u>Insulation R value</u> 2.8.
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value</u> 2.2, 25mm XPS with 9mm fibre cement board glued to face.
f.	Ventilation.	<ul style="list-style-type: none"> i. Dedicated extraction <u>installed</u> in kitchen and bathrooms. ii. Provision to vent a clothes drier to the outside of the residential unit.
g.	Water efficiency.	<u>WELS</u> 3 Star Shower. <u>WELS</u> 4 Star Toilets. <u>WELS</u> 4 Star Taps.
h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

14.7.4.15 Water supply for fire fighting

Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008), where by all residential units must be connected to the Council's urban reticulated system that provide sufficient fire fighting water supply.

14.7.5 Information requirements for applications

Any application for resource consent using the Enhanced Development Mechanism must include a detailed 'design statement' (prepared by an expert suitably qualified in Architecture or Urban Design).

14.8 Rules - Community Housing Redevelopment Mechanism

14.8.1 How to use the rules

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14.8.1.1 The areas that show where the Community Housing Redevelopment Mechanism (CHRM) shown on [Planning Maps](#) 18, 23, 24, 25, 26, 29, 30, 31, 32, 33, 37 and 45.

14.8.1.2 The activity status tables, and built form standards in Rules [14.8.2.1](#), [14.8.2.2](#), [14.8.3.1](#), [14.8.3.2](#), [14.8.3.3](#), [14.8.3.4](#), [14.8.3.5](#), [14.8.3.6](#), [14.8.3.7](#), [14.8.3.8](#), [14.8.3.9](#), [14.8.3.10](#), [14.8.3.11](#), [14.8.3.12](#), [14.8.3.13](#), [14.8.3.14](#), [14.8.3.15](#), [14.8.3.16](#), and [14.8.3.17](#) determine the activity status of the of resource consent application to use the Community Housing Redevelopment Mechanism.

The information that is required for resource consent applications is set out in [Rule 14.8.4](#).

14.8.1.3

14.8.2 Activity status tables

14.8.2.1 Restricted Discretionary Activities

The activities listed below are Restricted Discretionary Activities.

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [14.9](#) for each standard, as set out in the following table.

Activity		The Council's discretion shall be limited to the following matters:
RD1	Proposals to use the Community Housing Redevelopment Mechanism on <u>sites</u> located within the <u>CHRM</u> areas shown on Planning Maps 18, 23, 24, 25, 26, 29, 30, 31, 32, 33, 37 and 45 that are not in breach of the development standards in Rules: 14.8.3.1 , 14.8.3.2 , 14.8.3.3 , 14.8.3.4 , 14.8.3.5 , 14.8.3.6 , 14.8.3.7 , 14.8.3.8 , 14.8.3.9 , 14.8.3.10 , 14.8.3.11 , 14.8.3.12 , 14.8.3.13 , 14.8.3.14 , 14.8.3.16 , 14.8.3.17 .	a. Assessment Matters for Restricted Discretionary Activities – Enhanced Development Mechanism and Community Housing Redevelopment Mechanism - 14.9.37 .
RD2	Proposals to use the Community Housing Redevelopment Mechanism on <u>sites</u> located within the <u>CHRM</u> areas shown on Planning Maps 18, 23, 24, 25, 26, 29, 30, 31, 32, 33, 37 and 45 but do not comply with one or more of the built form standards in Rules: 14.8.3.1 , 14.8.3.2 , 14.8.3.3 , 14.8.3.4 , 14.8.3.5 , 14.8.3.6 , 14.8.3.7 , 14.8.3.8 , 14.8.3.9 , 14.8.3.10 , 14.8.3.11 , 14.8.3.12 , 14.8.3.13 , 14.8.3.14 , 14.8.3.16 , 14.8.3.17 .	a. Assessment Matters for Restricted Discretionary Activities – Enhanced Development Mechanism and Community Housing Redevelopment Mechanism - 14.9.37 . b. As relevant to the breached rules:

Activity	
	<p>The Council's discretion shall be limited to the following matters:</p> <ul style="list-style-type: none"> i. <u>Site</u> density and <u>site</u> coverage - 14.9.1. ii. <u>Building</u> height and daylight recession planes - 14.9.2. iii. Street scene - <u>road boundary building setback</u>, front doors, fencing and planting - 14.9.3. iv. Minimum <u>building</u>, window and <u>balcony setbacks</u> from internal <u>boundaries</u> - 14.9.4. v. <u>Outdoor living space</u> - 14.9.5. vi. Minimum unit size and unit mix - 14.9.9. vii. Ground floor <u>habitable space</u> - 14.9.10. viii. Service storage and waste management spaces - 14.9.11. ix. Tree and garden planting - 14.9.12. x. Acoustic insulation - 14.9.13. xi. Traffic generation and access safety - 14.9.15. xii. Life-stage, adaptive design and energy and water efficiency - 14.9.21.

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Activity		The Council's discretion shall be limited to the following matters:
RD3	<p>Non compliance with Rule 14.8.3.15.</p> <p>Any application arising from this rule will only require the written approval of the New Zealand Fire Service to not be limited notified and shall not be fully publicly notified.</p>	<p>a. Water Supply for Fire Fighting - 14.9.25.</p>

Resource consent applications in relation to these rules shall not be publicly or limited notified.

14.8.2.2 Non Complying Activities

The activities listed below are a non complying activity.

Activity	
NC1	Proposals to use the Community Housing Redevelopment Mechanism on <u>sites</u> not located within the within the <u>CHRM</u> areas shown on the planning maps.
NC2	Proposals to use the Community Housing Redevelopment Mechanism that do not comply with Rule 14.8.3.13 .
NC3	Proposals to use the Community Housing Redevelopment Mechanism that do not comply with Rule 14.8.3.14 .
NC4	Proposals to use the Community Housing Redevelopment Mechanism that do not comply with Appendix 14.10.3 .

14.8.3 Built form standards

14.8.3.1 Building height

Within 15 metres of the site boundary, the maximum height of any building shall not exceed 8m where the site adjoins the Suburban Residential Zone and the Suburban Residential Density Transition Zone. Across the rest of the proposal area the maximum building height shall not exceed 11 metres.

14.8.3.2 Daylight recession planes

Buildings shall not project beyond a building envelope constructed by recession planes from points 2.3 metres above boundaries with other sites as shown in [Appendix 14.10.2](#), Diagram C, except that:

- where an internal boundary of a site abuts an access lot, access strip, or access to a rear lot, the recession plane may be constructed from points 2.3 metres above the furthest boundary of the access lot, access strip, or access to a rear lot or any combination of these areas; and
- where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.

Note: The level of internal boundaries shall be measured from filled ground level except where the site on the other side of the

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internal boundary is at a lower level, then that lower level shall be adopted.

14.8.3.3 Street scene

Buildings shall be set back a minimum of 4.5 metres from road boundaries, other than where a site has a road boundary that is subject to another standard in this Plan, except that:

1. where a garage has a vehicle door facing a road the garage door shall be set back a minimum of 4.5 metres unless the garage door(s) provided tilt or swing outwards, in which case the garage door shall be set back a minimum of 5.5 metres;
2. where a garage has the vehicle door facing a shared access way, the garage door shall be set back a minimum of seven metres measured from the garage door to the furthest formed edge of the adjacent shared access unless the garage door(s) provided tilt or swing outwards, in which case the garage door shall be set back a minimum of eight metres;
3. for residential units fronting the street; garages, carports, and other accessory buildings (excluding basement car parking and swimming pools) shall be located at least 1.2 metres further from the road boundary than the front facade of any ground level habitable space of that unit; and
4. on properties fronting Emmet Street the setback shall be 6.5 metres.

14.8.3.4 Separation from neighbours

1. Buildings that adjoin an access lot, access strip, or access to a rear site shall be set back a minimum of one metre from that part of an internal boundary of a site.
2. Accessory buildings which face the ground floor window of a habitable space on an adjoining site shall be set back a minimum of 1.8 metres from that neighbouring window for a minimum length of two metres either side of the window.
3. In all other instances buildings shall be set back a minimum of 1.8 metres from internal boundaries of a site.

except that:

- a. No setback is required from an access lot or access strip on the same site, provided that any windows on the ground floor facing and within one metre of the access lot or access strip are non-opening;
- b. Other than provided in 2. above, no setback for accessory buildings is required, provided the total length of walls or parts of accessory buildings facing and located within the setback is less than 9 metres;
- c. No setback is required along that part of an internal boundary where buildings on adjoining sites have a common wall along the internal boundary;
- d. No setback is required for basements, provided that any part of a basement located within 1.8 metres of an internal boundary is wholly below ground level;
- e. Parts of a balcony or any window of a living area at first floor level or above shall not be located within four metres of an internal boundary of a site, except that this shall not apply to a window at an angle of 90 degrees or greater to the boundary, or a window or balcony which begins within 1.2 metres of ground level (such as above a garage which is partly below ground level).

14.8.3.5 Minimum unit size, and mix of units

1. The minimum net floor area (including toilets and bathrooms, but excluding car parking, garaging or balconies) for any residential unit in a multi-unit social housing complex, and a multi-unit residential complex and a minor dwelling unit shall be:

	Number of Bedrooms	Minimum <u>net floor area</u>
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1.	Studio.	35m ²
2.	1 Bedroom.	45m ²
3.	2 Bedrooms.	70m ²
4.	3 or more Bedrooms.	90m ²

2. Where six or more residential units are proposed as part of a multi-unit social housing complex or a multi-unit residential complex, there shall be a mix of at least two unit size types ranging across one, two, three or more bedrooms. No unit size type shall account for more than two thirds of the overall number of units on a site.

14.8.3.6 Ground floor habitable space

1. Any residential unit facing a road or public space, unless built over an access way, shall have a habitable space located at ground level.
2. At least 50 percent of all residential units within a comprehensive development shall have a habitable space located at the ground level.
3. Each habitable space located at the ground level shall have a minimum floor area of 12m² and a minimum internal dimension of three metres.

14.8.3.7 Outdoor living space

1. For residential units with two or more bedrooms a minimum of 30m² of outdoor living space shall be provided on site for each residential unit, and shall not be occupied by parking or access. The required outdoor living space can be in a mix of private and communal areas, at the ground level or in balconies provided that:
 - a. Each unit shall have private outdoor living space of at least 16m² in total. The balance of the outdoor living space required for each residential unit may be provided as communal space;
 - b. Private outdoor living space shall have a minimum dimension of four metres when provided at ground level and a minimum dimension of 1.5 metres when provided by a balcony;
 - c. At least one private outdoor living space shall be directly accessible from a living area of that unit;
 - d. Outdoor living space provided as a communal space shall be accessible for use by all units and shall have a minimum dimension of four metres; and
 - e. 50 percent of the outdoor living space required across the entire site shall be provided at ground level.
2. For one bedroom residential units on the ground floor a minimum of 16m² private outdoor living space with a minimum dimension of four metres shall be provided on site for each residential unit, and shall not be occupied by parking or access.
3. For one bedroom residential units entirely at an upper level at total of 16m² of outdoor living space shall be provided on site for each residential unit provided that:
 - a. one space can be a private balcony with a minimum area of 6m² and a minimum dimension of 1.5 metres; and
 - b. the balance 10m² can be provided in a communal space.

14.8.3.8 Service, storage, and waste management spaces

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1. Each residential unit shall be provided with:
 - a. an outdoor service space and waste management area of 5m² with a minimum dimension of 1.5 metres; and
 - b. a single, indoor storage space of four metres cubed with a minimum dimension of one metre.
2. Any space designated for waste management, whether private or communal, shall not be located between the road boundary and any habitable space and shall be screened from adjoining sites, conservation or open space zones, roads, and adjoining outdoor living spaces to a height of 1.5 metres.

Except that:

3. if a communal waste management area is provided within the site:
 - a. the minimum required outdoor service space may be reduced to 3m² for each residential unit; and
 - b. it must be demonstrated to be:
 - i. of a sufficient size to accommodate the number and dimensions of bins required to meet the predicted volume of waste generated by the residential units;
 - ii. accessible and safe for use by all residents; and
 - iii. easily accessible for the collection of bins by waste management contractors.

14.8.3.9 Landscaping and tree planting

1. A minimum of 20 percent of the site shall be provided for landscaping (which may include private or communal outdoor living space).
2. A tree shall be planted inside the site adjacent to the road boundary for every 10 metres of road boundary, or part thereof.
3. In addition to the trees required by rule 2. above, all sites shall be planted with a minimum of one tree for every 250m² of gross site area (prior to subdivision), or part thereof.
4. All trees shall be of a species capable of reaching a minimum height at maturity of four metres and shall be not less than 1.5 metres high at the time of planting.

14.8.3.10 Acoustic insulation

Any habitable space within a residential unit which is within:

1. 40 metres of the edge of the nearest marked traffic lane of a minor arterial, or major arterial road, or a railway line; or
2. 20 metres of the edge of the nearest marked traffic lane of a collector road as defined [Chapter 7 Transportation Appendix 7.12](#) shall achieve an external sound insulation level Dtr,2m,nTw.

Note: Compliance with this rule may be achieved by ensuring any construction is in accordance with the acceptable solutions listed in [Appendix 14.10.1](#). No alternative ventilation is required in situations where the rule is only met with windows closed. Alternatively, compliance with the rule can be achieved through certification by a qualified acoustic engineer that the design is capable of achieving compliance with the performance standard.

Where no traffic lane is marked, the distances stated shall be measured from two metres on the road ward side of the formed kerb.

14.8.3.11 Parking space numbers

1. A minimum of one car parking space shall be provided for each residential unit.

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2. Parking areas shall be screened on internal boundaries by landscaping, wall(s), fence(s), or a combination of these to a minimum height of 1.5 metres from any adjoining site. Where this screening is by way of landscaping it shall be for a minimum depth of 1.5 metres.
3. A minimum of one cycle space shall be provided at ground level for each residential unit except where parking for that unit is provided in a garage.

Note: this development standard applies in place of any equivalent minimum or maximum car or cycle parking requirement for the underlying zone in [Chapter 7 Transportation](#) of this Plan.

14.8.3.12 Maximum building coverage

The maximum percentage of the gross area covered by buildings within proposals using the Community Housing Redevelopment Mechanism shall be 40 percent.

14.8.3.13 Community housing site size

Sites shall be:

1. of a size greater than 1500m² and less than 10,000m²; and
2. in one continuous block of land.

14.8.3.14 Community housing unit proportion and yield

1. Proposals to use the CHRMs shall demonstrate that community housing units will comprise:
 - a. at least one third of the residential unit yield; or
 - b. a quantity equal to the amount of community housing units on the application site either occupied or unoccupied at 6 December 2013.
whichever is the greater.
2. Comprehensive development of a site under the CHRMs shall deliver a minimum density of 30 households per hectare (one unit per 330m²), and a maximum density of 65 households per hectare (one unit per 150m²).

14.8.3.15 Water supply for fire fighting

Provision shall be made for sufficient water supply and access to water supplies for fire fighting consistent with the New Zealand Fire Service Fire Fighting Water Supplies Code of Practice (SNZ PAS:4509:2008), where by all residential units must be connected to the Council's urban reticulated system that provides sufficient fire fighting water supply.

14.8.3.16 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1. Pathways
 - A sealed path from either the road boundary of the site (where a road boundary exists) or a carparking space to a door (not including a garage door) into the residential unit is able to be added, and that path can have:
 - a. a minimum clear width of 1.2metres;
 - b. a slope not exceeding 1:20;
 - c. a cross fall of not more than 1:50;

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- d. a slip resistant surface; and
 - e. pathway lighting that is switched on from a light switch located at the door at the end of the path.
2. Primary pedestrian entrance door
- A primary pedestrian entrance door to the residential unit with:
- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres;
 - b. a maximum threshold of 20mm; and
 - c. a external landing area that has a slip resistant surface.
3. Doors within the living space of the residential unit
- All doorways to and within living space have:
- a. a minimum clear opening width of 0.81 metres with a door leaf of 0.86 metres; and
 - b. a level transition and threshold (accepting difference in floor materials on either site of the door).
4. Corridors, hallways, and passageways within the residential unit
- All corridors, hallways, and passageways have a minimum clear width of 1.05 metres.
5. Door handles
- All door handles are installed at 0.9 metres – 1.2metres above the finished floor level.
6. Electrical switches
- The centre of all electrical switches on walls, are at the same height as the centre of door handles.
7. Powerpoints, television, telephone and computer outlets
- All powerpoints, television, telephone and computer outlets are installed at a that same height throughout the residential unit at no less than 0.3 metres above the finished floor level.
8. Window controls
- All window controls are lever handles and are able to be operated with one hand.
9. Space around bed to support ease of movement
- Enough space in a lounge or bedroom in the primary living level to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8 metres around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed.
10. Laundry space
- Laundry space is large enough to provide at least 1.05m clearance provided in front of fixed benches and appliances.
11. Kitchen
- The kitchen is not a residential thoroughfare.
12. Toilet
- a. A toilet is installed, or the space is provided for a toilet to be installed in the future, on the primary living level that has a minimum 0.8 metres clear space beside the toilet and a centre line of the toilet pan that is 0.45 metres from the wall.
 - b. and
 - c. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be installed in the future.
13. Shower
- a. A shower is installed, or the space is provided for a shower to be installed in the future, on the primary living level that has:
 - i. a level entry shower recess with minimum dimensions of 1.2 metres x 1.2metres;
 - ii. drainage of the shower recess located at the corner of a room;
 - iii. a clear space that provides for a 1.5 metre turning circle; and
 - iv. 800mm clear space beside the shower seat.
 - b. All shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be installed in the future.

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14. Slip resistant floors on bathrooms
All bathrooms have slip resistant floor surfaces.
15. Multi-storey access
All stairway walls have:
- reinforced walls for future installation of a stair-lift or platform lift;
 - reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides;
 - a minimum clear width of 0.9 metres;
 - a straight design with no winder treads;
 - consistent tread depth with a minimum dimension of 0.31 metres;
 - consistent riser height with a minimum dimension of 0.18 metres;
 - no open risers; and
 - lighting with light switches at the top and bottom of the stairs.

Note: The following are recommended (but not mandatory) at time of construction.

16. Lever action door handles
All door handles are lever action.
17. Tap fixtures
All tap fixtures lever, push button, or electronic.

14.8.3.17 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value</u> 3.2.
b.	Recessed down lights.	No recessed down lights penetrating the thermal envelope.
c.	Windows.	Thermally broken double glazing <u>insulation R value</u> 0.31.
d.	Wall insulation.	<u>Insulation R value</u> 2.8.
e.	Concrete slab.	Raft / pod with slab edge <u>insulation R value</u> 2.2, 25mm XPS with 9mm fibre cement board glued to face.
f.	Ventilation.	<ol style="list-style-type: none"> Dedicated extraction <u>installed</u> in kitchen and bathrooms. Provision to vent a clothes drier to the outside of the residential unit.
g.	Water efficiency.	<u>WELS</u> 3 Star Shower. <u>WELS</u> 4 Star Toilets. <u>WELS</u> 4 Star Taps.

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h.	Gas heating.	No <u>installed</u> un-flued gas heating.
i.	Lighting.	Low energy lighting capable.
j.	Materials.	No non FSC certified tropical hardwoods.

14.8.4 Information requirements for applications

Any application for resource consent using the Community Housing Redevelopment Mechanism must include a detailed 'design statement' (prepared by an expert suitably qualified in Architecture or Urban Design).

14.9 Matters of Discretion

In considering whether or not to grant consent, the Council shall have regard to the following assessment matters.

14.9.1 Site density and site coverage

Whether the infringement is appropriate to its context taking into account:

1. The balance of open space and buildings within the Residential Medium Density Zone, or the maintenance of a lower density, open, landscaped residential character within the Residential Suburban Zone;
2. Any visual dominance of the street resulting from a proposed building's incompatible scale;
3. Any loss of privacy, access to sunlight and daylight or opportunities for views in the Residential Banks Peninsula and Residential Conservation Zones; and
4. Any reduction in site density that is accompanied by the proposed building complying with other built form standards so that the outcome is a small building that is in proportion with a small site.

14.9.2 Building height and daylight recession planes

Whether the increased height or recession plane intrusion would result in buildings that:

1. remain compatible with the scale of other buildings anticipated in the area; or
2. do not compromise the amenity of adjacent properties;

taking into account:

- a. The visual dominance of proposed buildings on the outlook from adjacent sites, roads and public open space in the surrounding area, which is out of character with the local environment;
- b. Overshadowing of adjoining sites resulting in reduced sunlight and daylight admission to internal and external living spaces beyond that anticipated by the recession plane, and where applicable the horizontal containment requirements for the zone;
- c. Any potential loss of sunlight admission to internal living spaces in winter with regard to energy utilisation;
- d. Any loss of privacy through being over-looked from neighbouring buildings;
- e. Whether development on the adjoining site, such as large building setbacks, location of outdoor living spaces, or separation by land used for vehicle access, reduces the need for protection of adjoining sites from overshadowing;
- f. The ability to mitigate any adverse effects of increased height or recession plane breaches through increased separation distances between the building and adjoining sites, the provision of screening or any other methods; and
- g. Within a Floor Level and Fill Management Area, whether the recession plane infringement is the minimum necessary

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in order to achieve the required minimum floor level.

14.9.3 Street scene - road boundary building setback, front doors, fencing and planting

Whether the development will engage with and contribute to the street, access lane or adjacent open space to make them lively, safe, and attractive public places, taking into account:

1. In relation to the Road Boundary Setback:
 - a. Necessity in order to allow more efficient, practical and/or pleasant use of the remainder of the site or the long-term protection of significant trees, listed heritage buildings, or natural features on the site;
 - b. The visibility of the building's internal habitable spaces and their ability to provide passive surveillance to the street;
 - c. The ability to provide opportunities for garden and tree planting in the vicinity of road boundaries;
 - d. The openness of the site to the street;
 - e. The adverse effects of the building intrusion into the street scene or reduction of screening on the outlook and privacy of people on adjoining sites;
 - f. The compatibility of the building, parking or outdoor storage area with the appearance, layout and scale of other buildings and sites in the surrounding area, and in particular whether the proposed building is consistent with the road boundary setback of existing buildings in the vicinity;
 - g. The size, form, proportions, roof line, style, external materials and colour of the proposed building, and whether they are similar to or in keeping with those of existing buildings on the site; and
 - h. The relevance of other factors in the surrounding environment in reducing the adverse effects, such as existing wide road widths, street plantings and the orientation of existing buildings on adjoining sites.

And

2. In relation to Garages and Driveways:
 - a. Alternative practical locations that are available on the site for the location of the garage, without intruding into the street scene;
 - b. The ability to provide adequate parking and manoeuvring space for vehicles clear of the road in respect of traffic and pedestrian safety;
 - c. The dominance of the garage when viewed from the street;
 - d. In relation to road boundary Planting and Fencing;
 - e. Increased opportunities for tree and garden planting in the remainder of the site;
 - f. The ability to screen parking and outdoor storage areas from adjoining roads by alternative means;
 - g. Contribution to the character, visual appropriateness, or suitability of reduction in visual transparency to the site or area;
 - h. Contribution of a reduction in visual transparency to levels of privacy, security, or acoustic insulation where the residential unit has its primary outdoor living area between the unit and the road and/or the road carries high volumes of traffic;
 - i. Variety in terms of incorporating steps, changes in height, materials, incorporation of landscaping;
 - j. Avoidance of presentation of a blank, solid facade to the street; and
 - k. Any reduction in public surveillance over open space areas that may lead to or promote unsafe or insecure environments.

14.9.4 Minimum building, window and balcony setbacks from internal boundaries

Whether the site layout and use of spaces maintains adequate levels of privacy and outlook, taking into account:

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1. in relation to the amenity of occupants:
 - a. the need to enable an efficient, practical and/or pleasant use of the remainder of the site;
 - b. requirements for the long term protection of significant trees or natural features on the site;
 - c. the need to provide opportunities for garden and tree plantings around buildings;
 - d. unique or exceptional site specific circumstances that would result in a situation where compliance with the standards would have an unduly restrictive impact on the ability to develop the site;
 - e. the need to provide future occupants with adequate levels of privacy from neighbouring sites;
 - f. the need to provide future occupants with adequate levels of daylight and outlook from internal living spaces;
2. in relation to the amenity of neighbours and users of adjacent public spaces:
 - a. where a building on an adjacent site already has windows of habitable spaces located in close proximity to the boundary, other factors that may mitigate the effects on privacy of the reduced setback such as offsetting windows or planting to minimise overlooking;
 - b. adjacent less sensitive areas such as driveways, parking or service areas;
 - c. adequate separation distance from any existing direct facing windows or balconies (on adjoining sites or within the site) can ensure appropriate levels of privacy are maintained;
 - d. any adverse effects of the proximity or bulk of the building in terms of loss of access to daylight on adjoining sites; and
 - e. any adverse effects of the proximity or bulk of the building, in terms of visual dominance by buildings of the outlook from adjoining sites and buildings, which is out of character with the local environment.

14.9.5 Outdoor living space

Whether the level, location or configuration of outdoor living space will adversely affect the ability of the site to provide for the needs of occupants, taking into account:

1. In relation to the amount of Outdoor Living Space:
 - a. alternative provision of publicly available space on, or in close proximity to, the site to meet the needs of occupants now and in the future;
 - b. the size of the residential unit and the demands of the likely number of occupants now and in the future; and
 - c. compensation by alternative space within buildings with access to ample sunlight and fresh air.
2. In relation to the location and configuration of Outdoor Living Space:
 - a. allocation between private and communal outdoor living spaces within the site to meet the current and future needs of occupants of the site;
 - b. easy accessibility of outdoor living space to all occupants of the site;
 - c. design of communal space to clearly signal that it is for communal use;
 - d. where the communal outdoor/indoor spaces are not continuous on a large site, the ability of the spaces to meet the needs of occupants and provide a high level of residential amenity;
 - e. in the Residential Suburban Zone where the outdoor living space is split into more than one space, the range of recreational functions and accessibility from habitable spaces; and
 - f. the adverse effects of any additional loss of mature on-site vegetation and/or spaciousness of the area.

14.9.6 Urban design and Māori urban design principles

New developments shall be assessed against the five main Urban Design, Appearance and Amenity matters set out in the table below with the Council needing to be satisfied that the proposal makes positive a contribution under each.

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Consideration will also be given where appropriate to Māori urban design principles of Whanautanga, Kotahitanga, Wairuatanga, Mauritanga, Orangatanga, Manaakitanga, Kaitiakitanga, Rangatiratanga and Mātauranga.

The Key Criteria represent components which the Council will need to balance up in coming to a conclusion about the particular Assessment Matter. The importance of particular aspects will vary from site to site. For example, a site adjacent to a heritage building will have greater importance for a site under 1b) than one without, in the same way that 5b) would be a central consideration if a site lay along a high volume pedestrian or cycle route.

Scale: City context and character

Assessment matters "Whether the Council is satisfied that the development..."	Key criteria for demonstration of assessment matter "The development design..."
1. reinforces or complements the scale and character anticipated for the surrounding area and other built, natural, heritage and cultural features.	a. is in keeping or complementary to the context, including subdivision patterns, scale and form of buildings, building materials and design styles, landscape qualities, and environmental conditions. b. does not visually dominate any protected physical, natural, heritage (including mature trees) or cultural features (Ngai Tahu manawhenua cultural markers and local stories), which contribute to the identity or sense of place. c. retains or adapts character features, including reuse or renovation of existing buildings and landscape features on the site, including sightlines, site contours and trees. d. provides for large scale indigenous endemic tree planting that contributes to neighbourhood amenity.

Scale: Relationship to street and public open spaces

Assessment matters "Whether the Council is satisfied that the development..."	Key criteria for demonstration of assessment matter "The development design..."

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<p>2. engages with and contributes to the street, and any access lanes or adjacent open space to make them lively, safe and attractive public, or publically accessible, places.</p>	<ul style="list-style-type: none"> a. is well articulated including variation in buildingform and materials and the avoidance of blank, monotonous and over-repetitious facades, or facades that are dominated by garaging. b. incorporates Whanautanga, this refers to notions of membership and participation within communities. The design of spaces must encourage community participation, membership and not isolate its members. c. incorporates Crime Prevention Through Environmental Design (CPTED) principles, illustrated by: <ul style="list-style-type: none"> i. orientation of buildingstoward the street. ii. the placement of active living areas, such as the kitchen and living room, to face the street and public or shared open spaces, particularly at ground level. iii. transparent boundary treatments in key locations to enable passive surveillance of the street or open space. iv. generous areas of glazing across the buildingfrontages., particularly at ground level. v. identifiable pedestrian entrances directly accessible from the street (or access way). vi. pedestrian entrances that are highlighted through the use of projecting canopies, differentiated ground treatment, planting or other entry markers. d. clearly demarcates public and private space. e. orients corner buildingstowards all adjacent streets and public open spaces, with the corner itself being emphasised as a visual landmark.
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Scale: Built form and amenity of the site

<p>Assessment matters "Whether the Council is satisfied that the development..."</p>	<p>Key criteria for demonstration of assessment matter "The development design..."</p>
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<p>3. is designed to minimise the visual bulk of the buildings and provide a human scale.</p>	<ul style="list-style-type: none"> a. separates blocks of buildings within the site. b. is domestic in nature. c. limits the <ul style="list-style-type: none"> i. length of continuous roof ridgelines ii. long blank or bulky elevations (including those dominated by garage doors) iii. over-repetition of building forms d. utilises projections and/or recesses, such as balconies and deep window and door sills, to break up elevations. e. uses modulation, glazing and architectural detailing, including variations in material and colour for human scale.
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Scale:

<p>Assessment matters "Whether the Council is satisfied that the development..."</p>	<p>Key criteria for demonstration of assessment matter "The development design..."</p>
<p>4. provides a high level of internal and external amenity for occupants, neighbours and public.</p>	<ul style="list-style-type: none"> a. balances outlook, sunlight and weather protection with privacy in the site layout, orientation and internal layouts. b. orientates and screens windows and balconies on upper levels to limit direct overlooking of adjacent dwellings and their outdoor living space. c. provides outdoor spaces that are functional extensions of the internal living spaces. d. includes tree and garden planting that are indigenous and endemic particularly in regard to street frontage, building entrances, boundaries, accessways, and car parking and stormwater management areas. e. has communal spaces, where provided, that are <ul style="list-style-type: none"> i. consolidated to create accessible, usable and attractive areas ii. located or designed to restrict noise levels, light spill and loss of privacy on other residents and neighbours. f. provides environmental efficiency measures, including passive solar design principles for natural lighting, heating and ventilation, reduced energy consumption, climate appropriate/low-input planting and efficient water use and management.

Scale: Access, parking and service

<p>Assessment matters "Whether the Council is satisfied that the development..."</p>	<p>Key criteria for demonstration of assessment matter "The development design..."</p>

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<p>5. provides for good access and integration of space for parking and servicing.</p>	<ul style="list-style-type: none">a. provides connections to the street network with vehicle, cycle and pedestrian routes that maintain or enhance physical and visual links to the neighbourhoodb. integrates vehicle access, car parking and garaging in a way that is safe for pedestrians and cyclists as well as vehicles, and does not dominate the development, particularly when viewed from the street and open spaces.c. provides for storage and service space, including for washing lines, rubbish and recycling bins, in a manner which:<ul style="list-style-type: none">i. is readily accessible, conveniently located, safe and/or secure to use by building occupants.ii. is located and designed to minimise adverse effects on occupants, neighbours and public spaces.iii. is suitable to accommodate a typical range of maintenance and recreational equipment such as bicycles.
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14.9.7 Minor residential units

Whether the minor residential unit is appropriate to its context taking into account:

1. Location of the minor residential unit so that it is visually hidden from the road leaving the site with a similar street scene to that of a single residential unit;
2. The adverse visual effects associated with parking and access of any additional driveway to accommodate the minor residential unit on the street-scene;
3. The size and visual appearance of the minor residential unit and its keeping with the existing level of buildings in rear gardens or rear sections surrounding the site;
4. The consistency of the number of bedrooms and level of occupancy with a single large residential unit;
5. The convenience of the location of outdoor living space in relation the respective residential units; and
6. The adequacy of size and dimension of the outdoor living space to provide for the amenity needs of future occupants.

14.9.8 Building overhangs

Whether an increased overhang is appropriate taking into account:

1. any positive visual interest in the street scene;
2. the level of passive surveillance within, into or across the site;
3. how the overhang might be used to help to clearly define and shelter a pedestrian entrance or front door;
4. any compromise to the ability to provide associated landscaping;
5. avoidance of a long, dark covered driveway area; and
6. avoidance of a poor visual appearance of a 'top heavy' building that has large unsupported cantilevered elements.

14.9.9 Minimum unit size and unit mix

1. In considering under sized units, whether the reduced unit size is appropriate taking into account:
 - a. the floorspace available and the internal layout and their ability to support the amenity of current and future occupants;
 - b. other on-site factors that would compensate for a reduction in unit sizes e.g. communal facilities;
 - c. scale of adverse effects associated with a minor reduction in size in the context of the overall residential complex on

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the site; and

- d. needs of any social housing tenants.
2. In considering unit mix whether, the mix is appropriate taking into account:
 - a. marginal reductions arising from the way in which the standard is calculated;
 - b. the diversity in unit sizes available in the surrounding area;
 - c. the necessity to meet the specific needs of future social housing tenants; and
 - d. unique or exceptional site specific circumstances that would result in a situation where compliance with the standards would have an unduly restrictive impact on the ability to develop the site.

14.9.10 Ground floor habitable space

Whether:

1. Any reduction in habitable space at ground floor level compromises the surveillance of outdoor living spaces, service areas or other uses of the building's ground floor area;
2. The proposal is visually dominated by garaging and parking areas at ground floor level; and
3. An alternative site arrangement is available that satisfactorily provides for residential amenity whilst ensuring ground floor level passive surveillance of adjoining roads and spaces.

14.9.11 Service, storage, and waste management spaces

Whether there is sufficient useful and functional service, waste management, and storage space, taking into account:

1. in relation to the amount of space:
 - a. the adequacy of the amount of space to store rubbish and recycling, whether communal, outdoor or indoor; and
 - b. the adequacy of the volume of space provided for personal storage.
2. in relation to the configuration of space:
 - a. the convenience of the location of rubbish and recycling space for residents;
 - b. how the lack of screening of any outdoor service space will adversely affect the visual amenity within the site and of any adjoining site, activity, or the street scene;
 - c. the size and flexibility of the residential unit layout to provide other indoor storage options where an indoor storage space is not provided for each unit; and
 - d. the adequacy, accessibility and convenience of alternative storage areas provided on the site where indoor storage space is not provided for each residential unit.

14.9.12 Tree and garden planting

Whether there is sufficient tree and garden planting to provide a balance between buildings and hard surfacing, taking into account:

1. The effect of any reduced tree planting in terms of the scale and visual appearance or dominance of the buildings on the site;
2. Visibility of the site from adjoining sites and the likely effect of any reduction in tree planting standards for the amenity of neighbouring sites;
3. Any compensating factors for reduced tree planting, including the nature of planting proposed, or the location of activities (including heritage items) on the site;
4. The use of indigenous species endemic to the area;

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5. The visual appearance of the site in terms of the length of road frontage or any unusual characteristics of the site;
6. The adverse effect of the reduced tree planting on the Garden City image and the quality of the amenity of the site and neighbourhood;
7. The ability to retain large existing trees have been retained on the site so that overall the site provides a visual balance between buildings and landscaping, despite a reduction in the actual number of trees; and
8. The tree planting provided is evenly distributed across the site.

14.9.13 Acoustic insulation

Whether a reduction in acoustic insulation is appropriate taking into account:

1. A reduced level of acoustic insulation may be acceptable due to mitigation of adverse noise impacts through other means, e.g. screening by other structures, or distance from noise sources;
2. There is an ability to meet the appropriate levels of acoustic insulation through alternative technologies or materials; and
3. The provision of a report from an acoustic specialist provides evidence that the level of acoustic insulation is appropriate to ensure the amenity of present and future residents of the site.

14.9.14 Scale of activity

Whether the scale of activities and their impact on residential character and amenity are appropriate, taking into account:

1. The compatibility of the scale of the activity and the proposed use of the buildings with the scale of other buildings and activities in the surrounding area;
2. The potential adverse effects of over dominance on the character of respective living environments or special amenity areas within them;
3. In the Residential Suburban Zones, any adverse effects on existing character on the site defined by tree and garden plantings;
4. The ability of the site to remain dominated by residential activity, rather than by activities which are not associated with or incidental to residential activity on the site;
5. The meeting of the needs of residents principally within the surrounding living environment through the activity;
6. The adverse effects of additional staff, visitor and resident trips on the character of the surrounding living environment; and
7. The need for the additional employment as an integral and necessary part of other activities being undertaken on the site and its assistance in providing alternative home-based employment and income-generating opportunities for residents or occupiers of the site;

14.9.15 Traffic generation and access safety

Whether the traffic generated is appropriate to the residential character, amenity, safety and efficient functioning of the access and road network taking into account:

1. in the case of effects on residential character and amenity:
 - a. any adverse effects in terms of noise and vibration from vehicles entering and leaving the site or adjoining road, and their incompatibility with the noise levels acceptable in the respective living environments;
 - b. any adverse effects in terms of glare from headlights of vehicles entering and leaving the site or adjoining road on residents or occupants of adjoining residential sites;
 - c. any reduction in the availability of on-street parking for residents, occupants or visitors to adjoining residential sites to the point that it becomes a nuisance;
 - d. any adverse effects in terms of fumes from vehicles entering or leaving the site, on residents or occupiers of adjoining residential sites; and

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- e. the ability to mitigate any adverse effects of the additional traffic generation such as through the location and design of vehicle crossings, parking and loading areas or through the provision of screening and other factors that will reduce the effect of the additional traffic generation, such as infrequency of the activity, or limited total time over which the traffic movements occur;
2. in the case of the safe and efficient functioning of the road network:
 - a. any cumulative effect of traffic generation from the activity in conjunction with traffic generation from other activities in the vicinity;
 - b. adverse effects of the proposed traffic generation on activities in the surrounding living environment;
 - c. consistency of levels of traffic congestion or reduction in levels of traffic safety with the classification of the adjoining road;
 - d. the variance in the rate of vehicle movements throughout the week and coincidence of peak times with peak traffic movements on the wider network; and
 - e. the location of the proposed access points in terms of road and intersection efficiency and safety, and the adequacy of existing or alternative access points.

14.9.16 Non-residential hours of operation

Whether the hours of operation are appropriate in the context of the surrounding residential environment taking into account:

1. Traffic or pedestrian movements which are incompatible with the character of the surrounding residential area;
2. As for traffic generation Rule 9.2.20 1.- 3. inclusive;
3. Any adverse effects of pedestrian activity as a result of the extended hours of operation, in terms of noise, disturbance and loss of privacy, which is inconsistent with the respective living environments;
4. Any adverse effects of the extended hours of operation on the surrounding residential area, in terms of loss of security as a result of people other than residents frequenting the area; and
5. The ability to avoid, remedy or appropriately mitigate any adverse effects of the extended hours of operation; and other factors which may reduce the effect of the extended hours of operation, such as infrequency of the activity or limited total hours of operation.

14.9.17 Relocation of buildings

Whether the relocation of the building is appropriate taking into account:

1. The likely appearance of the building upon restoration or alteration;
2. The compatibility of the building with buildings on adjoining properties and in the vicinity;
3. The exterior materials used, and their condition and quality;
4. The period required for restoration work to be undertaken; and
5. Any requirements to impose a bond or other condition to ensure completion of restoration work to an acceptable standard.

14.9.18 Stormwater ponding areas within three kilometres of Christchurch International Airport

Whether the form of the stormwater ponding area is appropriate taking into account:

1. The attractiveness of the proposed ponding area to birdlife that might pose a bird strike risk to the operation of Christchurch International Airport;
2. Whether a management plan has been developed that demonstrates there will be ongoing operation and maintenance of the stormwater system to minimise bird strike risk for the life of the stormwater system, and whether that plan has been

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developed in consultation with Christchurch International Airport Limited; and

3. That the treatment of the stormwater ponding areas also incorporates a minimum of 80 per cent indigenous planting endemic to the area.

14.9.19 Electricity transmission line corridor

Whether the health and safety of the community and the security of electricity supply is provided for taking into account:

1. The risk to the structure and functioning of the transmission line;
2. The effects on the ability of the transmission line owner (or an authorised agent) to operate, maintain and upgrade the high-voltage transmission network;
3. The proximity of buildings to electrical hazards;
4. The risk of electrical hazards affecting public safety, and/or risk of property damage;
5. The risk of electrical faults causing disruption to electrical supply;
6. The extent of earthworks required, and use of mobile machinery near the transmission line corridor which may put the line at risk;
7. The risk of electrical hazards due to the mature height of any associated vegetation, including within landscaped areas;
8. The location and orientation of buildings in relation to transmission lines to minimise visual effects from transmission lines;
9. The risk of generating radio interference or earth potential rise; and
0. The extent of compliance with NZECP34:2001.

14.9.20 Liquefaction susceptibility of the site and proposed development

Whether adequate consideration has been given to the potential for lateral spread when determining the activities and the layout proposed for those activities on the site.

14.9.21 Life-stage, adaptive design and energy and water efficiency

Whether, taking into account practicality and the cost of compliance with the standards:

1. a healthy living environment for the immediate and future occupants is provided for;
2. energy use reduction is provided for;
3. the building is able to be easily adapted to suit the changing life stages and physical needs of the occupants;
4. alternative solutions are proposed that provide the same outcomes sought; and
5. the needs of specialist housing complexes (e.g. retirement villages) are provided for.

14.9.22 Rainwater tanks for new residential units that use water from the listed streams

Whether there is an alternative method of detaining and reusing the stormwater onsite.

14.9.23 Temporary lifting or moving of earthquake damaged buildings

Whether the temporary lifting or moving of the earthquake damaged building is appropriate taking into account:

1. The effect of reduced proximity on the amenity and/or operation of any neighbouring sites, water way, coastal marine area, archaeological site, or protected tree;

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2. The duration of time that the building will intrude upon the recession plane;
3. Any adverse effects on adjoining owners or occupiers relating to shading and building dominance; and
4. Occupancy of the neighbouring properties of the duration of the works, the extent to which neighbouring properties are occupied for the duration of the works.

14.9.24 Screening of non-residential activities

Whether the screening is appropriate taking into account:

1. The effect of reduced landscaping and screening in terms of the visual impacts of the buildings and the scale of these buildings;
2. The importance of landscaping and screening on the particular site, taking into account the visual quality of the surrounding environment; and
3. The extent to which the site is visible from adjoining sites and the likely consequences on outlook from those sites of any reduction in landscaping or screening standards.

14.9.25 Water supply for fire fighting

Whether sufficient fire fighting water supply provision to ensure the health and safety of the community, including neighbouring properties, is provided.

14.9.26 Silent files

Whether a development will avoid adversely affecting Wāhi Tapu me Wahi Taonga taking into account:

1. the Cultural Impact Assessment that has been undertaken and supplied with the consent application; and
2. the consultation that has been undertaken with the Rununga showing they are satisfied with that any effects on Wāhi Tapu me Wahi Taonga are appropriately mitigated.

14.9.27 Springs in New Neighbourhood Zones

Whether springs identified on the ODP are protected, maintained and enhanced, and have a suitable buffer taking into account:

1. The degree to which springs in the ODP area are affected by development and any measures proposed to mitigate the effects;
2. The effects on ecological, cultural and amenity values associated with the springs;
3. Consistency with the Mahaanui Iwi Management Plan; and
4. Provision for existing natural flow pathways for the water to flow from the spring head.

14.9.28 Development plans

Whether the development need be in accordance with the development plan taking into account:

1. Co-ordination of development, particularly roading access and cycle linkages, with adjoining land;
2. The adequacy and location, of open space areas within the development;
3. Any adverse effects on the visual appearance of development in the zone as seen from outside the zone, particularly where the land is highly visible;
4. Adverse effects on the strength of definition of the rural urban boundary;
5. Any potential adverse effects on the surrounding road network;
6. Any adverse effects on Christchurch International Airport and its approach path, including any reverse sensitivity

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complaints;

7. Any adverse effects on the visual amenity of residents in adjoining areas;
8. Any adverse effects in terms of the enhancement of waterways within the development; and
9. Effective, efficient and economically viable provision of services;

14.9.29 Development plan - Chapter 15 Appendix 15.11

1. Whether activities need be in accordance with the development plan taking into account:
 - a. The continued achievement of comprehensive, mixed use development;
 - b. The ability of the proposal to integrate with the surrounding context; and
 - c. The relationship of proposals to any other existing development within the block.
2. Whether the first development within the development area can precede provision of a concept plan taking into account the continued development in a comprehensive and integrated manner.

14.9.30 Use of site and buildings - Prestons Road retirement village overlay

Whether the use of site and buildings is appropriate taking into account:

1. Enhancement of services of value to the elderly persons housing complex, or assistance in retaining the viability of the complex;
2. The likely effect of any additional activities on traffic generation, and the safety and efficiency of traffic movement within the elderly persons housing complex and the wider road network; and
3. The effect of additional activities on residential amenities in the vicinity, particularly noise, traffic safety, parking congestion and visual amenity.

14.9.31 Concept plan - Prestons Road retirement village overlay

Whether the concept plan for the whole site is appropriate taking into account:

1. coordination and integration of road and pedestrian access with adjoining networks;
2. provision for landscaping, outdoor living space, passive recreational facilities, and stormwater systems, swales for stormwater soakage, wetlands and retention basins. These must be planted with native species (not left as grass) that are appropriate to the specific use, recognising the ability of particular species to absorb water and filter waste for 165 independent units and a multi storey health facility including 45 services apartments;
3. the provision, and design and layout of pedestrian circulation and connectivity of pedestrian access to Snellings Drain reserve;
4. the efficient design and layout of carparking, vehicle manoeuvring, and garaging;
5. the incorporation and enhancement of existing landscape and water features;
6. the external appearance of the health facility and how it respects the character and amenity values of the area, including building colours and materials, roof pitch and the effect and form of façade modulation, while recognising the use and functional nature of the health facility;
7. adequacy of provision of planting for amenity and screening, enhancement of ecological and habitat values, and interface with surrounding areas. The incorporation of a minimum of 60 per cent indigenous endemic species into new plantings;
8. the effectiveness, environmental sensitivity of the stormwater management systems; and
9. the integration of the stormwater management systems with the Council's drainage network.

14.9.32 Vehicular access - Prestons Road retirement village overlay

Whether vehicle access for the whole site is appropriate taking into account:

1. the actual or potential level of vehicle and pedestrian traffic likely to be generated from the proposed access;
2. adverse effects on the traffic use of the access on the traffic function or safety of Prestons Road or both;
3. adequate mitigation for the adverse effects of additional vehicle movements on the access; and
4. safe ingress and egress in relation to site distances at the access from Prestons Road with reference to the Austroads Guide.

14.9.33 Special setback provision - Residential Suburban Zone Wigram

Whether the location, form and function of the outdoor living area is appropriate taking into account:

1. adverse effects on the outdoor living needs of the likely future residents of the site;
2. any alternative provision on, or in close proximity to, the site for outdoor living space to meet the needs of likely future residents of the site;
3. adequacy of mitigation of potential adverse reverse sensitivity effects on current Royal New Zealand Air Force functions and operations through the location of outdoor living space, windows and the provision of fencing and/or landscaping;
4. adequacy of mitigation of adverse effects from current Royal New Zealand Air Force functions and operations through the location of outdoor living space, windows and the provision of fencing and/or landscaping; and
5. adequacy of glazing, window design and location in mitigating the potential adverse effects from current Royal New Zealand Air Force functions and operations.

14.9.34 Lyttelton Port influences overlay

Whether the development is appropriate taking into account:

1. increased potential for reverse sensitivity effects, including complaints, on the port activities resulting from residential outdoor living area activities; and
2. any other methods to reduce the potential for reverse sensitivity effects on the port operator, other than the required acoustic insulation, that have been or can be incorporated into the design of the proposal.

14.9.35 New neighbourhood development

Whether:

1. the residential unit type:
 - a. is appropriate for the allotment layout; and
 - b. contributes to an acceptable mix of residential unit types as specified in the relevant Outline Development Plan.
2. the development's relationship with the wider area:
 - a. reinforces or complements the scale and character anticipated for the surrounding area and other built, natural, heritage and cultural features;
 - b. is designed to minimise the visual bulk of the buildings and provide a human scale; and
 - c. provides a high level of internal and external amenity for occupants, neighbours and public.
3. the development engages with and contributes to the street, and any access lane or adjacent open space to make them lively, safe and attractive public, or publically accessible, places.

14.9.36 New neighbourhood North Halswell development and redevelopment of

Spreydon Lodge

Deferred

14.9.37 Assessment matters for restricted discretionary activities - Enhanced Development Mechanism and Community Housing Redevelopment Mechanism

Whether the development, while bringing change to existing environments, is appropriate to its context taking into account:

1. engagement with and contribution to adjacent streets and public open spaces with regard to fencing and boundary treatments, sightlines, building orientation and setback, configuration of pedestrian entrances, windows and internal living areas within buildings, and if on a corner site is designed to emphasise the corner;
2. integration of access, car parking and garaging in a way that is safe for pedestrians and cyclists, and that does not dominate the development, particularly when viewed from the street or other public spaces;
3. retention or response to existing character buildings or established landscape features on the site, particularly mature trees, which contribute to the amenity of the area;
4. appropriate response to context with respect to subdivision patterns, scale of buildings, degree of openness, building materials and design styles;
5. incorporation of Crime Prevention Through Environmental Design (CPTED) principles, including effective lighting, passive surveillance, management of common areas and clear demarcation of boundaries and legible entranceways;
6. residential amenity for occupants and neighbours, in respect of outlook, privacy, noise, odour, light spill, weather protection, and access to sunlight, through site design, building, outdoor living and service/storage space location and orientation, internal layouts, landscaping and use of screening;
7. creation of visual quality and interest through the separation of buildings, variety in building form, distribution of walls and openings, and in the use of architectural detailing, glazing, materials, and colour;
8. incorporation of environmental efficiency measures in the design, including passive solar design principles that provide for adequate levels of internal natural light and ventilation; and
9. specified staging and timing requirements to ensure development is undertaken in a coordinated and timely fashion;

And in addition for the Community Housing Redevelopment Mechanism:

0. contribution to delivering any relevant area Master Plan or other opportunities to improve the local area.

14.9.38 Indigenous vegetation clearance in Akaroa Hillslopes Density Overlay

- i. Whether it is necessary to remove indigenous vegetation, including whether the vegetation is removed to manage disease or plant pathogens.
- ii. The relationship with other areas of vegetation and whether the proposed removal or alteration would negatively impact on that relationship, including in relation to habitat fragmentation and the effectiveness of any ecological corridor.
- iii. Whether the vegetation has a positive effect in managing erosion, slope stability or other hazard.
- iv. The extent to which existing vegetation will continue to contain and define the edge of Akaroa township, providing it with a distinct edge.
- v. The degree to which alteration or removal of vegetation will adversely affect soil conservation, water quality or the hydrological function of the catchment and the efficacy of mitigating measures.
- vi. The extent of any revegetation proposed and its efficacy in mitigating any adverse effects.

14.9.39 Character Areas Overlay

a. Area Context

Whether the development recognises the Character Area context and amenity in respect to the retention of:

- i. the distinctive topographic qualities and landforms or features that contribute to landscape quality and built form;
- ii. the form, pattern and grain of subdivision, including the size of sites;
- iii. the balance of open space to buildings across the site;
- iv. large scale mid block vegetation and tree planting;
- v. the continuity and coherence of the area.

b. Street Interface

Whether the development achieves a street interface and amenity which:

- i. contributes to the existing landscape qualities of the Character Area including the extent of open space, established planting and constructed landscape features;
- ii. maintains a front yard building setback which is consistent with the overall depth and pattern of the Character Area;
- iii. retains the front yard for open space, tree and garden planting, and a pedestrian path to the residential unit where appropriate to the character of the Character Area;
- iv. avoids the placement of car parking, garaging and associated manoeuvring area within the street interface;
- v. minimises the visual dominance of garaging, including garage doors, on the street scene
- vi. minimises the width of vehicle access within the street interface;
- vii. has low height or no fencing, or avoids fencing that reduces the level of visual interaction between the dwelling and the street;
- viii. enables high level of visual interaction between the residential unit and the street.

c. Built Character

Whether the building style and built elements of the existing residential units, are incorporated into the development, with particular regard to the street interface and amenity, in respect to:

- i. the scale of the development, including height and bulk;
- ii. the building and roof form and proportion;
- iii. key architectural detailing including features such as verandas and porches, materials, the level of glazing and window design, and finer detailing;
- iv. the residential unit's front entry and it's prominence within the street.

14.9.40 Hillside and small settlement development

a. Area Context

Whether the development maintains or enhances the context, amenity and resilience of the settlement and area in respect to:

- i. the retention and enhancement of, free of built development, the distinctive topographic qualities, landforms, water bodies, vegetated hillsides and rural landscape, coastal edges or other significant features that contribute to the cultural and ecological values and landscape quality;
- ii. the protection and enhancement of Ngāi Tahu manawhenua cultural values and where possible the provision of access to mahinga kai, places of cultural significance; and connections to key public open spaces;
- iii. the achievement of a compact settlement form and the retention of the pattern and grain of subdivision within that settlement and area, while allowing for well-integrated new housing opportunities in areas of minimal risk;
- iv. the retention of the balance of open space and vegetation to buildings across the settlement and area;
- v. the demonstration of environmentally sustainable and innovative low impact design.

b. Immediate neighbourhood context

Whether the development achieves a site and built character and amenity which:

- i. contributes to the existing landscape qualities of the area including the extent of open space and established planting, reducing the potential dominance of the building;
- ii. maintains building setbacks which are consistent with the overall depth and pattern of the neighbourhood;

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- iii. continuing or complementing the colours and textures of the surrounding natural and built environment especially with respect to colour reflectivity and tonal value of the building facades and roofs.
- c. Site context
 - Whether the building:
 - i. maintains a building scale and form that is appropriate with the surrounding built and landscape environment; and
 - ii. on sloping sites takes account of the slope and minimises excessive length and height for buildings and roof ridgelines along contours, especially when viewed from valley basins and the sea.

14.10 Appendices

14.10.1 Appendix - Measurement and assessment of noise

1. The measurement of noise shall be in accordance with NZS 6801:1991, 'Measurement of Sound' and assessed in accordance with NZS 6802:1991, 'Assessment of Environmental Sound'.
2. For the purposes of administering these rules the following meanings shall apply:
 - a. dBA means the A-frequency weighted sound pressure level in decibels relative to a reference sound pressure of 20 micro pascals.
 - b. L10 means the L10 exceedance level set in A-weighted decibels which is equalled or exceeded ten percent of the measurement time.
 - c. Lmax means the period of time between 10pm and 7am the following day.
 - d. Night-time means the period of time between 10 pm and 7 am the next day.
 - e. Long-term average sound level shall be the time-average sound level (day-night level) Ldn and shall be determined from the inverse-logarithmic mean of the measured Ldn level for each day over any five day period in a week.
 - f. The 'notional boundary' of any boundary shall be 20 metres from the façade of that dwelling, or the legal boundary of the site where this is closer to the boundary.

Minimum construction requirements for all central city zones

	Building Element	Minimum Construction Requirement
1.	External walls of habitable spaces.	<p>a. Walls with cladding: Minimum not to be less than 25kg/m² being the combined mass of external and internal linings excluding structural elements (e.g. window frames or wall studs).</p> <p>Assumes minimum 100mm wall cavity. Minimum exterior cladding to be 20mm timber or 9mm compressed fibre cement sheet over timber frame (100mm x 200mm). Fibrous acoustic blanket (Batts or similar) required in cavity for all exterior walls. Interior: One layer of 13mm gypsum plasterboard.</p> <p>Mass walls: 190mm concrete block, strapped and lined internally with 9.5mm gypsum plaster board OR 150mm concrete wall.</p> <p>Note: 1 (e.g. brick veneer or minimum 25mm stucco plaster), internal wall linings need to be no thicker than 10mm gypsum plasterboard.</p> <p>2 Where exterior wall cladding has a mass of greater than 25kg/m².</p>

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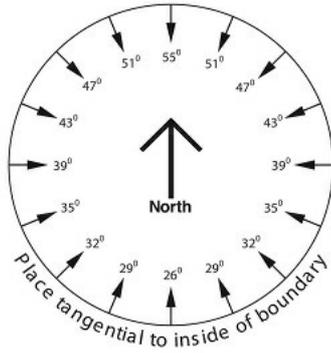
	Building Element	Minimum Construction Requirement
2.	Windows of habitable spaces.	<p>a. Windows of up to 35% of floor area: 10/12/6 double glazing or 14mm laminate glass or glazing systems of equivalent acoustic performance.</p> <p>b. Window areas greater than 35% of floor area will require a specialist acoustic report to show conformance with the insulation rule.</p> <p>c. Frames to be new aluminium window frames with compression seals or equivalent.</p>
3.	Pitched roof.	<p>a. Cladding: 0.55mm profiled steel or tiles or 6mm corrugated fibre cement.</p> <p>Frame: Timber truss with 100mm acoustic blanket. Fibrous acoustic blanket (Batts or similar) required for all ceilings with combined mass of less than 25 kg/m¹.</p> <p>Ceiling: 13mm gypsum plaster board.</p> <p>Note: (e.g. brick veneer or minimum 25mm stucco plaster), internal wall linings need to be no thicker than 10mm gypsum plasterboard.</p>
4.	Skillion roof.	<p>a. Cladding: 0.55mm profiled steel or 6mm fibre cement.</p> <p>Sarking: 20mm particle board (no gaps).</p> <p>Frame: 100mm gap with acoustic blanket.</p> <p>Ceiling: two layers of 9.5mm gypsum plaster board (no through ceiling lighting penetrations unless correctly acoustically rated).</p> <p>Fibrous acoustic blanket (Batts or similar) required for all ceilings with combined mass 25kg/m¹.</p> <p>Note: (e.g. brick veneer or minimum 25mm stucco plaster), internal wall linings need to be no thicker than 10mm gypsum plasterboard.</p>
5.	External Door to habitable spaces.	<p>a. Solid core door (min 24kg/m¹) with weather seals (where the door is exposed to exterior noise).</p> <p>Note: (e.g. brick veneer or minimum 25mm stucco plaster), internal wall linings need to be no thicker than 10mm gypsum plasterboard.</p>

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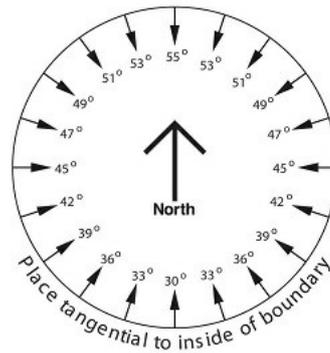
	Building Element	Minimum Construction Requirement
<p>Note:</p> <ol style="list-style-type: none"><li data-bbox="116 383 1394 658">1. Compliance with ventilation requirements of any other Act and these District Plan noise insulation requirements shall be concurrent. Ventilation should be provided in accordance with the provisions of the New Zealand Building Code G4 in a manner which does not compromise sound insulation. To this effect, relying on opening windows for ventilation will compromise the sound insulation performance provided by the District Plan standard. Alternative ventilation methods such as mechanical ventilation or passive methods should be considered. Inlets and outlets for passive and mechanical ventilation systems, and ventilation ductwork, are to be designed to incorporate acoustic insulation to ensure that the acoustic performance of the building facade achieves a minimum noise reduction consistent with Rule 1.3.4 in Part 11.<li data-bbox="116 680 1394 741">2. In determining the insulation performance of roof/ceiling arrangements, roof spaces are assumed to have no more than the casual ventilation typical of the jointing, capping and guttering detail used in normal construction.		

14.10.2 Appendix - Recession planes

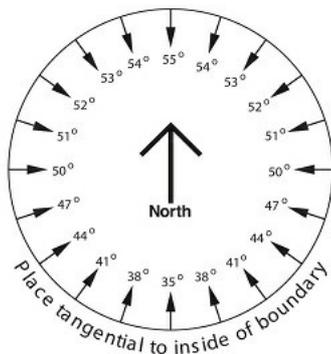
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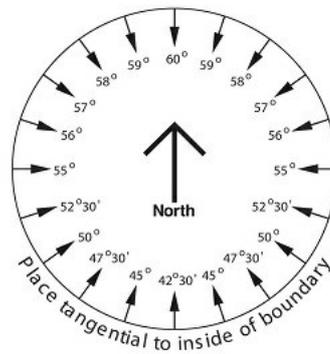
- A** Applicable to all buildings:
- in the Residential Suburban Zone
 - on sites in other non residential zones that adjoin the Residential Suburban Zone



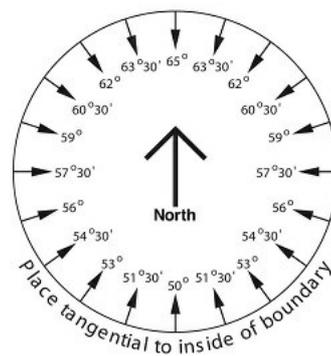
- B** Applicable to all buildings:
- Residential Suburban Density Transition Zone
 - On sites on other non residential zones that adjoin the Residential Suburban Density Transition Zone



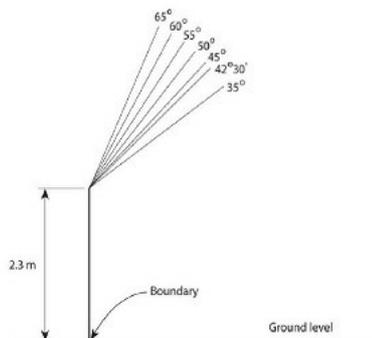
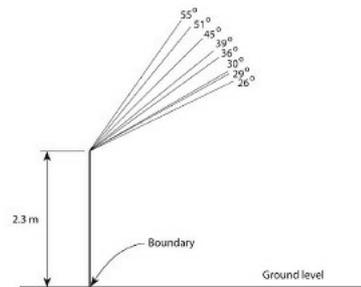
- C** Applicable to all buildings:
- in the Residential Medium Density Zone
 - on sites in other non residential zones that adjoin the Residential Medium Density Zone



- D** Applicable to all buildings:
- in the medium density higher height limit zones
 - on sites in other non residential zones that adjoin the medium density higher height limit zones
 - in the medium density higher height limit zones (except those buildings over 11 metres in height)
 - on sites in other non residential zones that adjoin the medium density (except those buildings over 11 metres in height)



- E** Applicable to all buildings:
- over 11 metres in height in the medium density higher height limit zones
 - over 11 metres in height on sites in other non residential zones that adjoin the medium density higher height limit zones



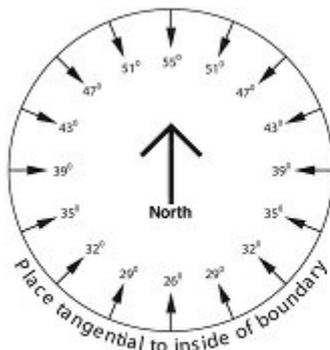
Note: North is true north

Note: The following intrusions are permitted:

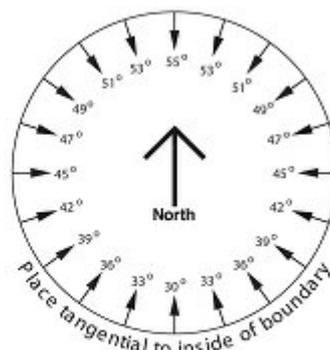
1. Gutters and eaves by up to 0.2 metres;

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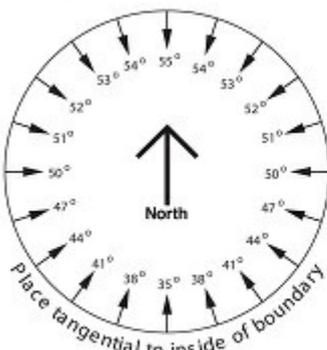
2. Solar panels up to two metres in length per boundary;
3. Chimneys, ventilation shafts, spires, poles and masts (where poles and masts are less than nine metres above ground level), provided that the maximum dimension thereof parallel to the boundary for each of these structures shall not exceed one metre.
4. Lift shafts, stair shafts, and roof water tanks provided that there is a maximum of one intrusion of a lift shaft or stair shaft or roof water tank (or structure incorporating more than one of these) permitted for every 20 metre length of internal boundary and the maximum dimension thereof parallel to the boundary for this structure shall not be 20 metres, and provided that for buildings over three storeys, such features are contained within or are sited directly against the outside structural walls.
5. Where a single gable end with a base (excluding eaves) of 7.5 metres or less faces a boundary and a recession plane strikes no lower than half way between the eaves and ridge line, the gable end may intrude through the recession plane.



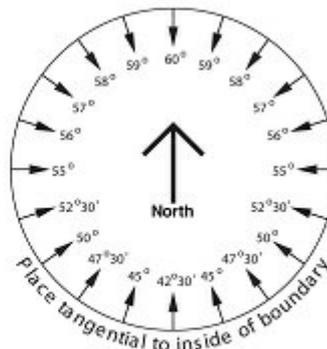
- A** Applicable to all buildings:
- in the Residential Suburban Zone
 - on sites in other non residential zones that adjoin the Residential Suburban Zone
 - in the Residential Small Settlement Zone Kainga Overlay Areas 1 and 2 and Spencerville Overlay Area



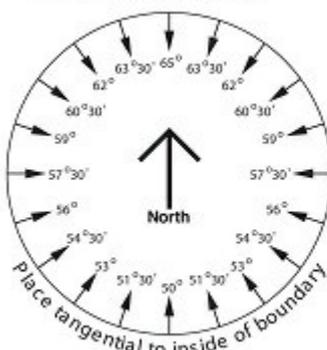
- B** Applicable to all buildings:
- Residential Suburban density overlay
 - On sites on other non residential zones that adjoin the Residential Suburban density overlay area
 - Residential Hills Zone



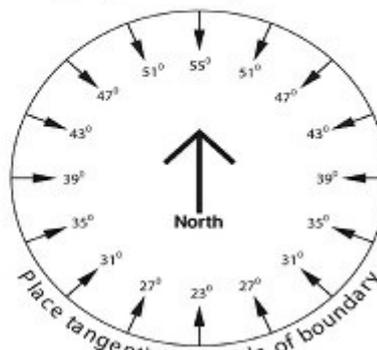
- C** Applicable to all buildings:
- in the Residential Medium Density Zone
 - on sites in other non residential zones that adjoin the Residential Medium Density Zone



- D** Applicable to all buildings:
- in the medium density higher height limit zones
 - on sites in other non residential zones that adjoin the medium density higher height limit zones
 - in the medium density higher height limit zones (except those buildings over 11 metres in height)
 - on sites in other non residential zones that adjoin the medium density (except those buildings over 11 metres in height)



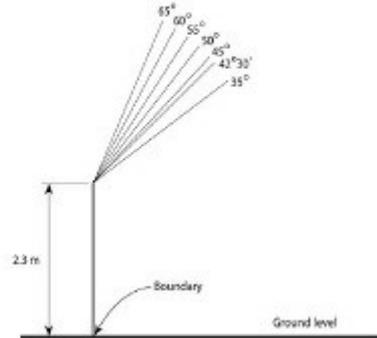
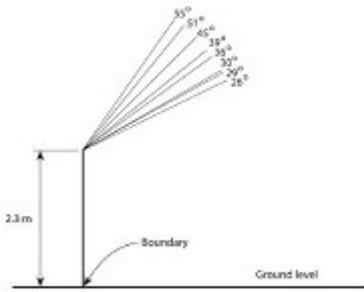
- E** Applicable to all buildings:
- over 11 metres in height in the medium density higher height limit zones



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- over 11 metres in height on sites in other non residential zones that adjoin the medium density higher height limit zones

- F Applicable to all buildings:
- in the Residential Large Lot Zones



Note: North is true north

Appendix 14.10.2A - Recession Planes and Gable End Diagrams

(c) Gable end diagrams: Where to measure a gable end

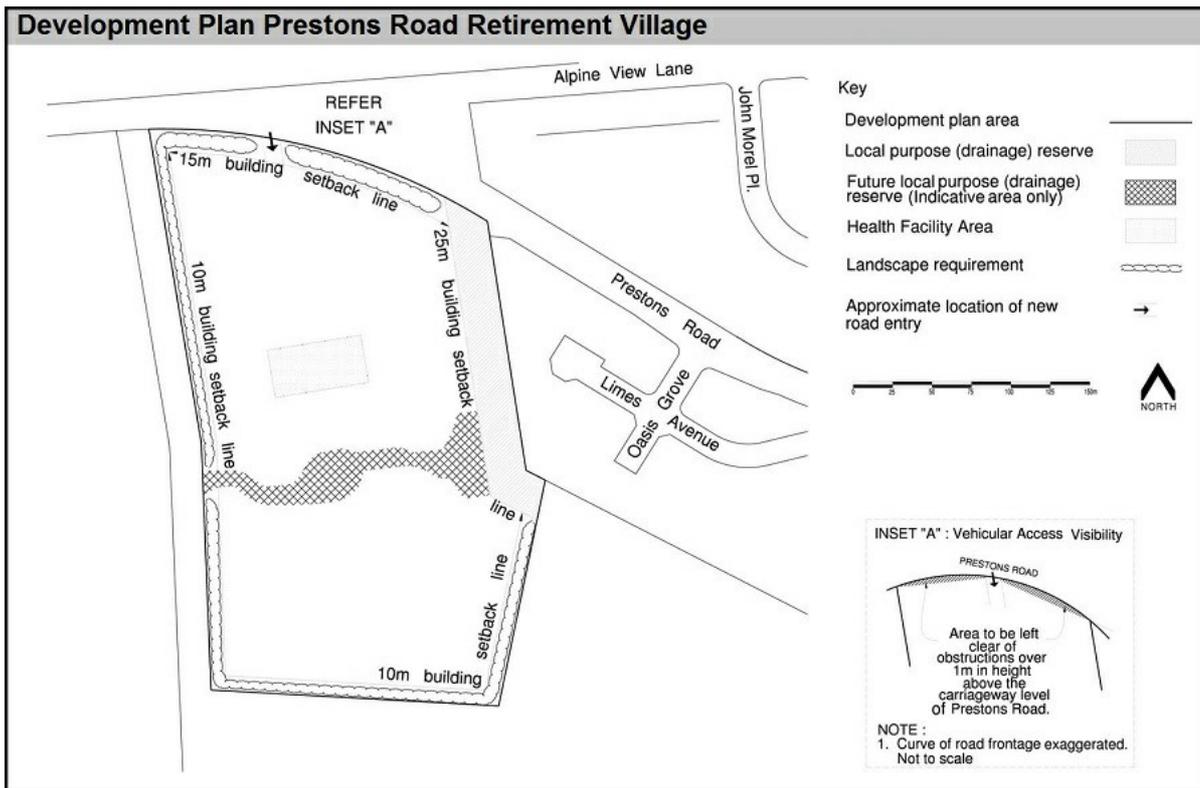
Examples of designs that do not meet the definition of a gable:

- Not gable 90° or more
- or any part Variations
- or any part Variations

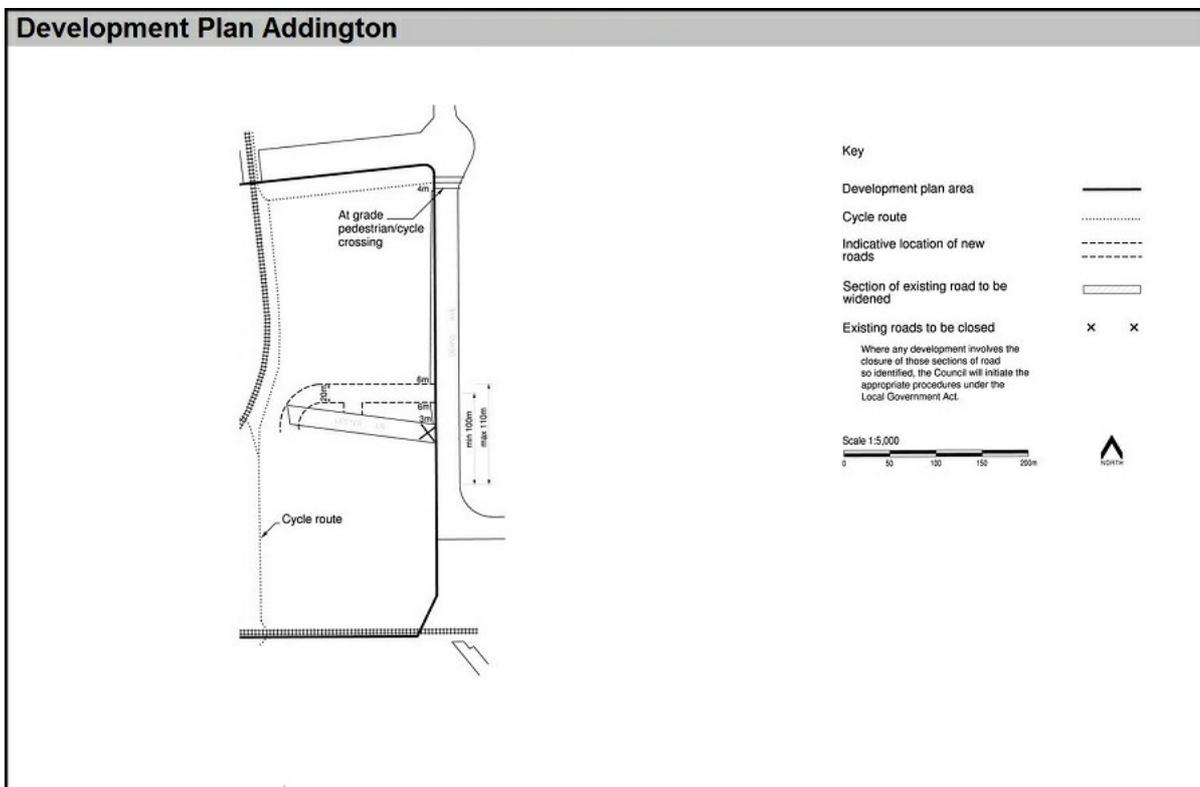
Location of mid-point gable:

14.10.3 Appendix - Development plan Prestons Road Retirement Village

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14.10.4 Appendix - Development plan Addington



14.10.5 Appendix Residential Design Guidelines Akaroa

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Introduction

These Guidelines have been prepared to help owners and developers planning a residential building or altering an existing one in the Akaroa Residential Character Zone. They can also be used for residential developments elsewhere in Akaroa. The Guidelines are intended to help meet development needs while at the same time ensuring that new buildings maintain or enhance the town's present character.

The Guidelines, with illustrated examples, outline the key principles which the Council will take into account in considering any resource consent applications. The principles can be summarised as follows:

New development and additions or alterations to existing structures should:

- Recognise and respect the unique character of Akaroa;
- Relate well to surrounding buildings, the waterfront and the general environment;
- Avoid dominating neighbouring buildings;
- Respect important views from public places and elsewhere in the viewing catchment.

The Planning Framework

The Council will consider the layout, design and appearance of proposed development in the Residential Character Zone, through the resource consent process. Any building work in a Residential Character Zone should comply with the Built Form Standards of the District Plan and be in accordance with these design guidelines.

These Guidelines set out matters which the Council will take into account when assessing a resource consent application. They are intended to help applicants understand how the Council will evaluate the layout, design and appearance aspects of proposed work. If a proposal does not comply with any of the Built Form Standards set out in the District Plan, such as height or site coverage, then it will be assessed against additional matters, which are listed in the District Plan. In considering the site layout, design and appearance aspects of proposed building work in the Residential Character Zone, the Council may take advice from the Akaroa Design and Appearance Advisory Committee.

When proposing a building project it is important to study these Guidelines and seek advice from the Christchurch City Council, before formally applying for resource consent. Early consultation can lead to savings in the length and cost of the resource consent process.

Many of the buildings in Akaroa are heritage buildings, i.e. listed as Protected or Notable buildings in the Christchurch District Plan and/or registered as Historic Buildings by the New Zealand Historic Places Trust (NZHPT). A large part of the centre of Akaroa has been registered as an Historic Area by the NZHPT. It is important to be aware that these guidelines are not directed at heritage buildings and areas. There are additional requirements where building work is proposed to a heritage building or there is a heritage building on the same site and/or the building or site is within the Akaroa Historic Area. If your proposal affects a heritage building or area, early consultation with the Christchurch City Council and the NZHPT is advised.

Why Guidelines?

Akaroa has a distinctive visual character, based on its physical setting, its buildings and its open spaces and gardens. The Christchurch City Council has recognised that this special character is worth protecting by including in its District Plan provisions which allow it to consider the effect of proposed new buildings, alterations and additions to existing buildings on the character of Akaroa. This includes where the buildings are located on the site and the landscape qualities associated with the site.

The Council's aim, through these Guidelines is:

- to ensure that the special character of Akaroa is maintained as development of the town centre continues;
- to provide property owners and developers with design and appearance guidance; and
- to encourage early discussion of proposed development plans with the Council.

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The primary concern of these Guidelines is to protect the look and feel of the town, contributing to Akaroa's cultural and aesthetic qualities. Akaroa's appealing appearance and atmosphere help make it a desirable place to live, and an attractive place to visit. By helping to protect the intrinsic characteristics of the town, the Guidelines will assist in strengthening the town's economic base and potentially enhance property values.

New buildings, additions or significant alterations to existing buildings in the residential character areas are the main concern of these Guidelines. However, many of the principles and specific guidelines are applicable to the whole of the Akaroa residential area.

Akaroa's Architectural History

Akaroa has a distinctive architectural quality that stems, in part, from the high number of colonial buildings that have been retained to this day. The one and a half storey, gable ended cottage with veranda, lean-to and dormers is often idealised as the archetypal Akaroa building. Though these cottages are still abundant, and valued, the town's architectural traditions are much richer and more varied.

Later building designs in the town followed general New Zealand trends, with horizontal weatherboard and corrugated iron as the predominant building materials. All were still relatively small buildings and almost all were built of "timber and tin". This uniformity in styles and materials and little variation in building size have been characteristic of Akaroa's architecture since the nineteenth century.

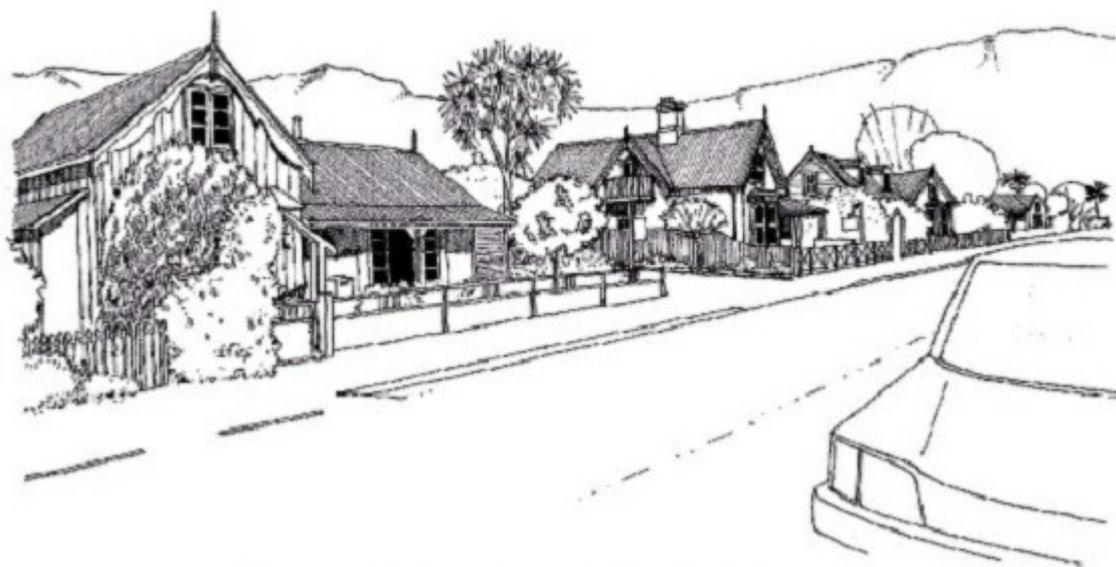


Figure 1: Examples of early colonial cottages, and still present today.

In the late twentieth century there was a new development in Akaroa's architectural history. A demand emerged for multi-unit, privately owned apartments. These were up to three storeys high, built up to, or close to, the street line, and often of masonry construction. These buildings marked a significant departure from the single family houses and cottages, standing in individual sections, which were previously characteristic of most of the town. In retrospect many of these structures, individually or collectively, have not been successful in maintaining the intimate, small scale of the town.



Figure 3: Townhouse block demonstrating overly repetitive elements. The buildings to the right display a pleasing variety and interest.

Figure 2: Townhouse block demonstrating overly repetitive elements. The buildings to the right display a pleasing variety and interest.

Akaroa's diverse range of buildings of different shapes, styles, set-backs and materials mean there is a very large architectural vocabulary on which architects and designers can draw for new building design, without introducing styles, or details that would appear out of place.

THE GUIDELINES

Akaroa's Setting and Urban Form

Maintaining and enhancing what is appealing about Akaroa requires careful consideration of more than the design of individual buildings. The topography, landscape setting and open spaces matter too. Gardens and trees are generously dispersed throughout the town and large open spaces separate different built-up areas. Building has mostly been concentrated on the foreshore and up the valleys, with the intervening spurs remaining open or bush-covered. The close integration between the natural and urban worlds in Akaroa also results from the town's position facing onto an extensive harbour, and being ringed by hills.

Applicants are required to consider the impact of their building design, alterations or additions on the views from all around the town and from the water and the hills.

Diversity and Innovation

New designs will generally be appropriate if their scale, form and proportions fit in well with nearby older buildings and maintain the scale and grain of existing streetscapes. New buildings of complementary design, built using contemporary materials and building technologies can be successfully accommodated in Akaroa. This is provided careful thought is given to the building placement on the site, size, height, form, exterior materials and detailing, including ensuring there is a good relationship amongst the design of windows, doors, roof pitch and other design elements.

A contemporary building can sit beside a traditional weatherboard one provided there is a good relationship in the design of windows, doors, roof pitch and other design elements.

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Figure 3: Modern buildings incorporating key architectural themes such as steeply pitched gabled roofs, verandas and vertically oriented windows.

While nineteenth and early twentieth century buildings largely set the character of Akaroa, new development should generally reflect, rather than exactly replicate these historic styles. Sympathetic design is encouraged, whereby certain characteristics of historic buildings are incorporated into new buildings. Contemporary design, if carefully conceived to fit with the town's character, is often preferable to replica buildings.



Figure 4: New residence demonstrating site specific sympathetic small scale forms and details, and vertical windows.

Site Context

Each site has a different context as a result of topography, landscape setting, the formality or informality of the streetscape, and the relationship with the adjoining sites and buildings. What is suitable for one particular site may be quite unsuitable on another site.

The setbacks of buildings and the distance between buildings in one street may be considerably different to another and this should be considered in reference to the proposed scale, form and placement of buildings on a site. Greater setbacks than the District Plan requires may be advisable in some locations. Generous setbacks may be desirable where there are historic

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buildings nearby, to avoid new, dissimilar facades overwhelming the historic buildings.

The extent of open space around the buildings is also an important element of the immediate and wider context and consequent character and how a new building will sit within it. Corner sites need particular care, since they form a visual focal point. In some situations, larger buildings on corner sites will be desirable to define streetscapes.

Streetscape

Streetscape refers to the composition of buildings, gardens, fences, trees, footpaths and road carriageway seen from the street or other public space. In Akaroa these elements form a pleasing setting with attractive combinations of built form and open space, hard and soft surfaces, texture and colour. A key requirement of a successful streetscape is for buildings to frame the street in a positive and attractive manner, with garden areas onto the street, low walls and fences, and a front door and windows on the street elevation. High, blank walls driveways and garaging at the front of the site, or that is highly visible from the street, should be avoided.

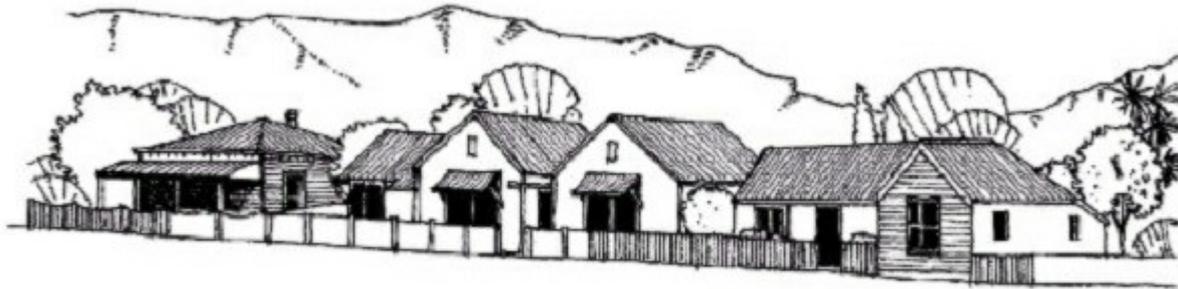


Figure 7: Height and Rhythm – a pleasing relationship between height and rhythm is evident.

Figure 5: A pleasing row of properties with a good relationship between buildings and the street

Scale and Form

Attention to building scale and form is particularly important. The scale and form of a new building in relation to its neighbours is as important as the materials or architectural style in determining its visual impact on the streetscape and wider character of the town. While buildings vary greatly in style they are mostly small and in scale with each other, of are or simple forms, with no abrupt transitions from one site to the next. New residential buildings in Akaroa should not be significantly bulkier, or higher, than existing residential buildings in the same neighbourhood and should not dominate or overshadow existing buildings or their outdoor living spaces.

Larger, bulkier buildings can reflect the smaller scale of surrounding buildings by repetition of design elements such as gables, steps in the plan of the building, the use of different roof shapes or dividing the building into visually separate units by using different treatments or colours for cladding.

Designers of new buildings, or modifications to existing ones, should look at the context of the site to ensure that the scale and form of the proposal is sensitive to the surroundings in which it is to be placed and so that it will not be visually prominent in the wider townscape.

Roof Forms

With Akaroa's older buildings, roofs are generally of relatively steep pitch, with gable ends. Continuing this characteristic, using roofs that are pitched at 25 degrees and steeper, is encouraged. This will help maintain an attractive streetscape and achieve a pleasing relationship with adjacent and nearby buildings.

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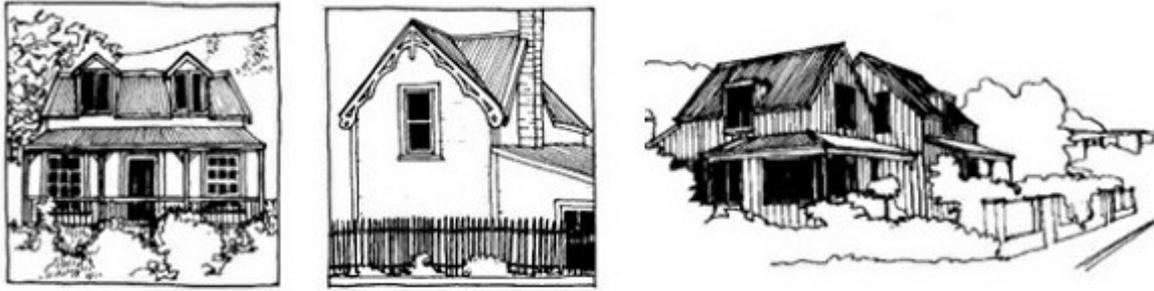


Figure 6: Traditional roof forms – veranda and simple gable with roof dormers, two storey gable with lean to at rear, multiple gable ends roofs.

More recent buildings in the town exhibit a greater variety of roof forms, including roofs of shallow pitch, hipped, flat, mono-pitch and barrel shaped. These can be successfully absorbed in the townscape providing they are not large span. This may mean dividing a large roof into smaller modules.

Cladding, Texture and Roofing Materials

Historically, weatherboard has predominated in Akaroa. Roofs have been mostly corrugated metal with door and window frames of wood. Brick and other forms of masonry construction are unusual in Akaroa. Some recent examples have not worked well because they lack detail and texture. Consequently, the use of traditional vernacular materials, such as weatherboard cladding, and corrugated metal roofing is encouraged. Extensive, blank masonry walls or monolithic cladding should be avoided.

Windows

Attention should be paid to the sizes, symmetry and proportions of window openings and their placement, or grouping, including in relation to neighbouring buildings. Generally windows have a vertical orientation.

Large expanses of glazing are out of character in the residential areas of Akaroa and can be very dominant in some locations.



Figure 7: Window shapes – vertical orientation, simple shapes.

Colours

It is important to choose the colour for new buildings and extensions very carefully to ensure that they harmonise with the townscape. Due to the topography and setting of Akaroa bright and strong colours can be very prominent and jarring, especially if there are large expanses of the same colour. The colour of walls, roofs and fences should not visually dominate historic buildings or the streetscape. Painted or coloured surfaces are more appropriate than stained timber finishes. Pastel or natural tones suit the character of the town.

Parking and Garages

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Garages should have a minimal visual impact on the character and amenity of the streetscape. They should be located behind the residential unit, or at the least, further back from the road boundary than the main building, and of a lesser scale than the residential building. Bulky dominant garages and repetitious sequences of multiple garage doors should be avoided.

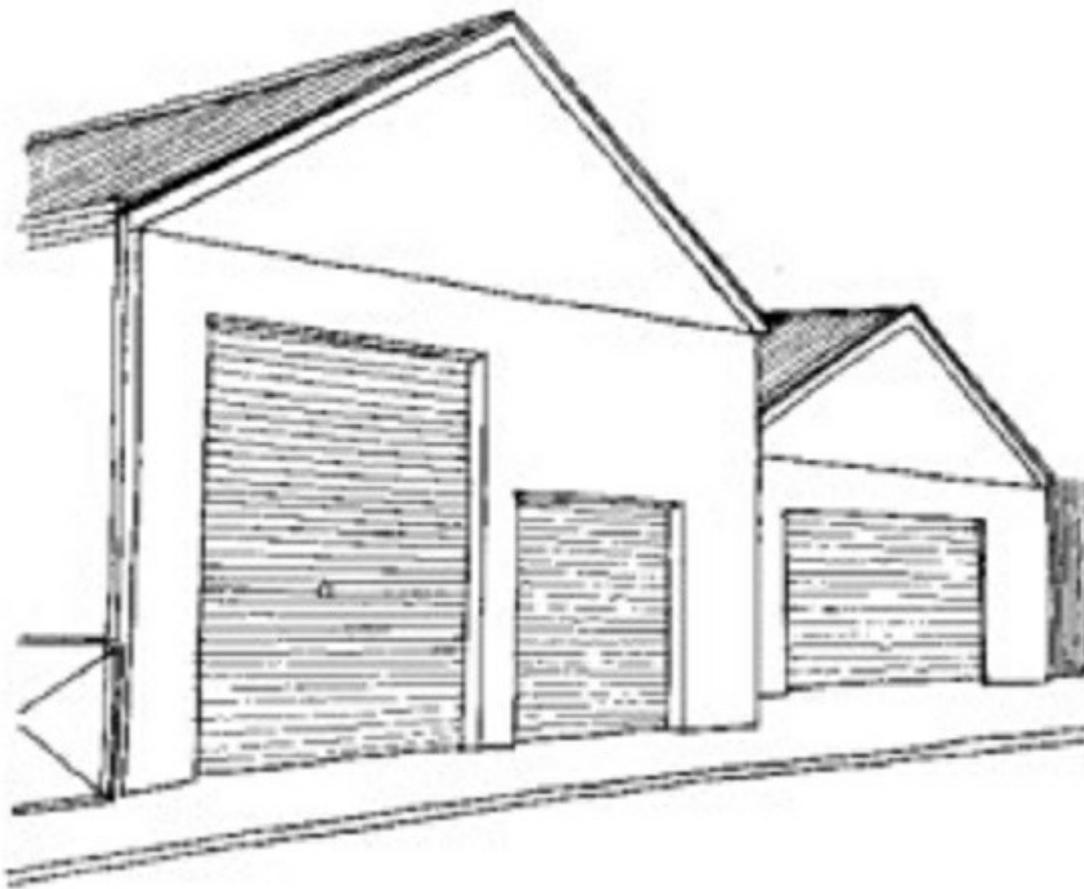


Figure 8: Garages on street front – these buildings detract from the streetscape.

Building on slopes

The District Plan controls the heights of buildings in Akaroa. However, a building which meets the requirements of the Plan may not be satisfactory in its design impacting on the streetscape or wider townscape. On slopes, to avoid buildings visually dominating the street, or obscuring views of the harbour or hills, cutting and filling to allow the buildings to follow the slope on stepped levels is preferable to pole construction. Where pole construction is used, trellises and large scale planting and under-planting should mask the poles and dead spaces beneath the buildings, to better set the building into the landform.

14.10.6 Appendix Residential Design Guidelines Lyttelton

Introduction

These Guidelines have been prepared to help owners and developers thinking of building a residential property or altering an existing one in a Residential Character Zone in Lyttelton. The Guidelines are intended to help meet development needs while at the same time ensuring that new buildings maintain or enhance the town's present character.

The Guidelines outline the key principles, with illustrated examples, that the Council will take into account in considering any resource consent applications in the Residential Character Zone. New development and additions or alterations to existing buildings should:

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- Recognise and respect the unique character of Lyttelton.
- Relate well to surrounding buildings, the waterfront and the general environment.
- Avoid dominating neighbouring buildings.
- Respect important views from public places.

The Planning Framework

The Council will consider the layout, design and appearance of proposed development in the Residential Character Zone through the resource consent process. Any building work in a Residential Character Zone should comply with the Built Form Standards of the District Plan and have regard to these guidelines in achieving the outcomes anticipated by the District Plan.

The Guidelines set out matters which the Council will take into account when assessing a resource consent application. They are intended to help applicants understand how the Council will evaluate the layout, design and appearance aspects of proposed work. If a proposal does not comply with any of the Built Form Standards set out in the District Plan, such as height or site coverage, then it will be assessed against additional matters, which are listed in the District Plan. In considering the layout, design and appearance aspects of proposed building work in the Residential Character Zone, the Council may take advice from the Christchurch Urban Design Panel.

When proposing a building project it is important to study these guidelines and seek advice from the Christchurch City Council, before formally applying for resource consent. Early consultation can lead to savings in the length and cost of the resource consent process.

Some of the buildings in the Residential Character Zone are heritage buildings, i.e. listed as Protected or Notable buildings in the Christchurch District Plan and/or registered as Historic Buildings by the New Zealand Historic Places Trust (NZHPT). It is important to be aware that these Guidelines are not directed at heritage buildings. There are additional requirements where building work is proposed to a heritage building or there is a heritage building on the same site. If your proposal affects a heritage building, early consultation with the Christchurch City Council and the NZHPT is advised.

Why Guidelines?

Lyttelton has retained its traditional residential character more than most townships of a similar size in New Zealand. Its origins as a colonial port town in the mid-nineteenth century have been expressed in its buildings by the materials which lay readily at hand, applied to the current architectural expression of the time, and town planning principles of that period.

The Council's aim, through these Guidelines is:

- To ensure that the special residential character of Lyttelton is maintained as new development takes place;
- To provide property owners and developers with design and appearance guidance; and
- To encourage early discussion of proposed development plans with the Council.

The primary concern of these Guidelines is to protect the look and feel of the town, contributing to Lyttelton's cultural and aesthetic qualities. By helping to protect the intrinsic characteristics of the town, the Guidelines will assist in strengthening the town's character and potentially enhance property values.

The Residential Character Zone

Existing buildings and streets within the Residential Character Zone have a common quality, style and character. The sites are generally small, narrow and sloping. The houses and cottages are of a small scale and built from materials such as timber and corrugated iron. The houses are mainly simple shapes (forms) – usually with steeply pitched gable roofs. A consistent palette of decorative elements such as bay windows, verandas, and lean-to additions, complement these simple shapes.

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Drawing 1: A typical street in the Residential Character Zone.

Drawing 1 shows that even though there is a consistent pattern of size, shape, and details with these houses, they also have individuality and variety. Both the consistency and variety give the Residential Character Zone its character.

The Guidelines

Lyttelton's Setting and Urban Form

Maintaining and enhancing what is appealing about Lyttelton requires careful consideration of more than the design of individual buildings. Set around the harbour basin, Lyttelton's topography and the way in which the street and subdivision pattern have been overlaid on this, has led to a unique residential character. Sites tend to be small and narrow with the buildings taking up most of the site width and facing the streets. This leaves the central area of the blocks, behind the buildings, available for gardens.

Often the buildings are located above or below the street, or step down the streets aligned north south, adding to the street intimacy and character. Small gardens and/or low fences further define the street from the properties. All of these elements create blocks in the Residential Character Zone in which the buildings are very prominent, rather than relying on a landscape setting as found elsewhere on Banks Peninsula.

Applicants should consider the impact of their building design, alterations or additions on the grain and pattern of building, and the areas of open space remaining, within the Residential Character Zone.

Streetscape

The District Plan requires a setback from the street and neighbouring properties. In addition, recession planes also restrict how close a building can be to the neighbouring buildings to ensure buildings still have access to sunlight.

In the Residential Character Zone in Lyttelton, the distance that buildings are set back from the street is variable, but generally setbacks are small, creating a very intimate relationship between the building and the street. The presence of porches and verandas add to this intimacy, providing the transition between the private space of the building and the public space of the street.

While smaller setbacks are representative of the Zone, larger setbacks than the District Plan requires may be advisable in some locations. For example, where there are historic buildings nearby larger setbacks will afford space to reduce the impact of new, dissimilar facades overwhelming the historic buildings, and allow the historic buildings to be clearly acknowledged within the streetscape.



Drawing 2: Buildings, garages and car ports with no setback from the street and high solid walls can be dominant in the street scene

How close a building is built to the street can also affect how dominant the building is. Buildings closer to the street should be a smaller scale so as not to dominate. The house to the left (Drawing 2 above) is dominant because it is close to the street even though it is the same size as the houses behind it. Garages and carports built right to the street detract from the character of the streetscape due to their utilitarian nature and by destroying the connection between the house and garden and the street, which is characteristic of the Zone.

To reduce the impact of garages and parking:

- Build garages into the landform;
- Build garages behind the house, or at least set garages and carports further back from the street than the front of the house and minimise the width of access to it;
- Keep garaging small scale and use shapes and materials in keeping with the house and those around it;
- Screen garages, parking and driveways with planting.

A key requirement of a successful streetscape is for buildings to frame the street in a positive and attractive manner, with garden areas onto the street, low walls and fences, and a front door and windows on the street elevation. In the Residential Character Zone there tends to be a high level of detailing and visual interest in respect to all of the elements of the streetscape.

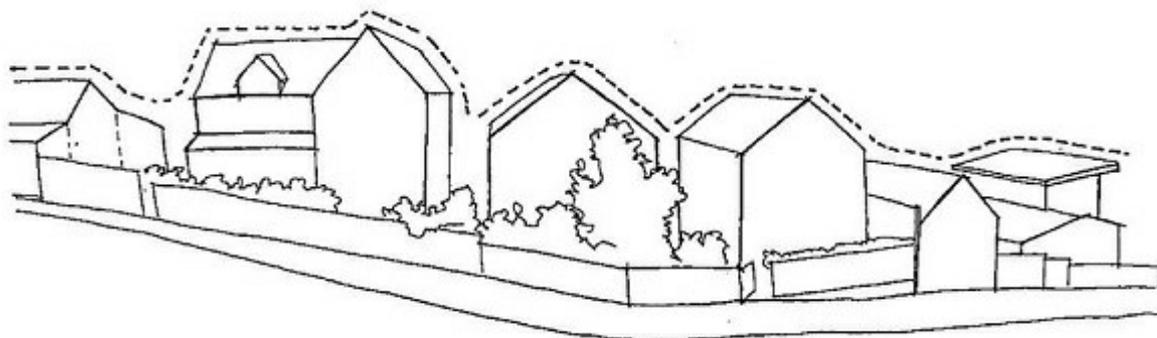
Fences and walls are an important element in the street scene. Low walls maintain an attractive interface with the street and allow views of gardens and the house, which adds to the character and appeal of the neighbourhood. While there are a variety of materials utilised for fencing, low picket or timber rail fences, low brick, stone or masonry walls topped with transparent decorative metal tracing, or low hedges are characteristic of the area.

Scale

Scale refers to a building's overall size, height, bulk, and proportions. Most residential buildings in the Lyttelton Residential Character Zone, and Lyttelton more widely, are one or two storeys. Larger scale buildings can dominate and detract from those around them.

Drawing 3 (below) shows a typical Lyttelton residential street and the overall building outlines. The pattern of heights (dotted), which is often called modulation, does not vary wildly and steps down with the natural slope of the street. Each building is on a small separate site resulting in a fine grain of development.

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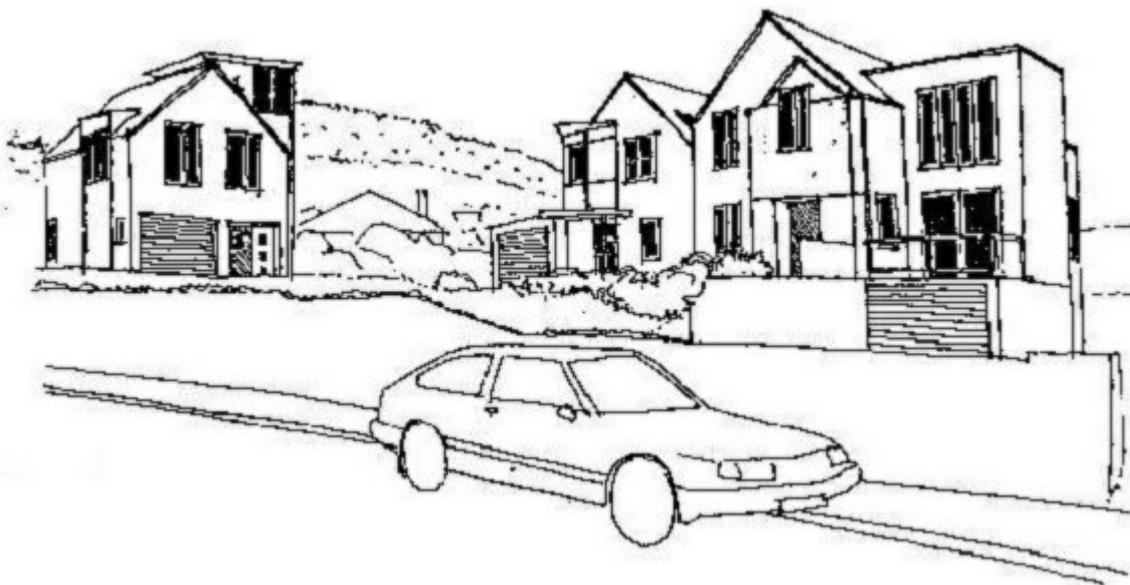
Drawing 3: Building outlines.

New buildings should be a similar size and height to their neighbours so as not to overshadow or dominate them. There are ways to help larger buildings keep in scale.

Consider:

- Building in the roof space or adding an attic storey to a two storey building to keep its height more in keeping with lower scale buildings around it.
- Breaking the building up into smaller pieces or modules. Step pieces back and forward from one another and accentuate the pieces with different colours and materials.
- Using features such as verandas, porches and bay windows which add a lot of depth and shadow to a surface to create visual interest.
- Adding an architectural feature such as a feature window to add variety.

Drawing 4 (below) shows a group of houses. Although the overall size is large and high in proportion, the techniques noted above have been used to reduce the apparent scale and give a lot of visual interest to these houses.



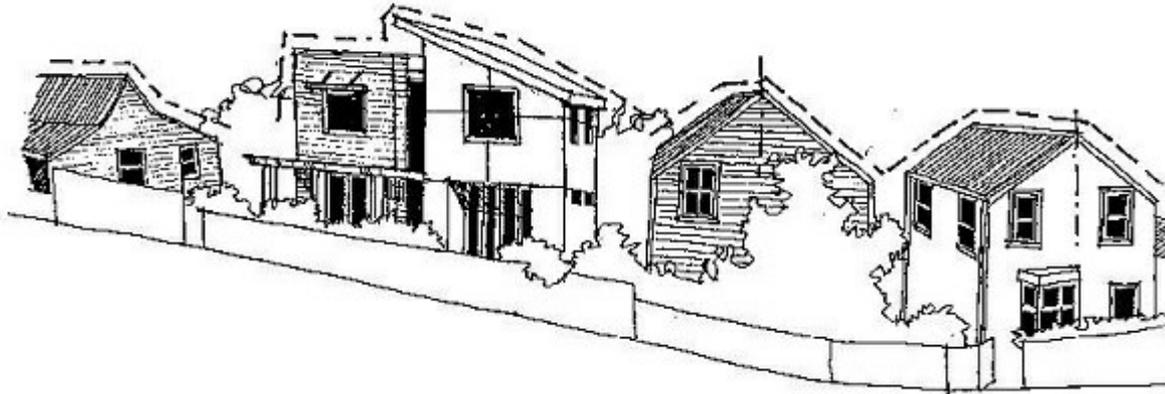
Drawing 4: Keeping in scale.

Shape

Houses in the Residential Character Zone are usually quite simple in shape with either a steeply pitched gable roof of between 30 and 60 degrees or a shallower pitch hip roof. Smaller shapes like lean-to roofs, verandas, entry porches and bay windows are often added to these main shapes. Variety is achieved by emphasising the symmetry of these shapes and orientating them in different ways to the street.

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Drawing 5 (below) shows the typical street from Drawing 1. The main forms (shapes) of house 2 are inappropriate despite being the right overall scale and divided into the right scale smaller pieces. They do not fit with the gables and verandas along the rest of the street.



Drawing 5: An uncharacteristic building shape is out of place.

The group of houses in Drawing 6 (below) is a good example of the use of traditional and modern shapes. Modern smaller forms fit within and do not dominate the traditional main forms.



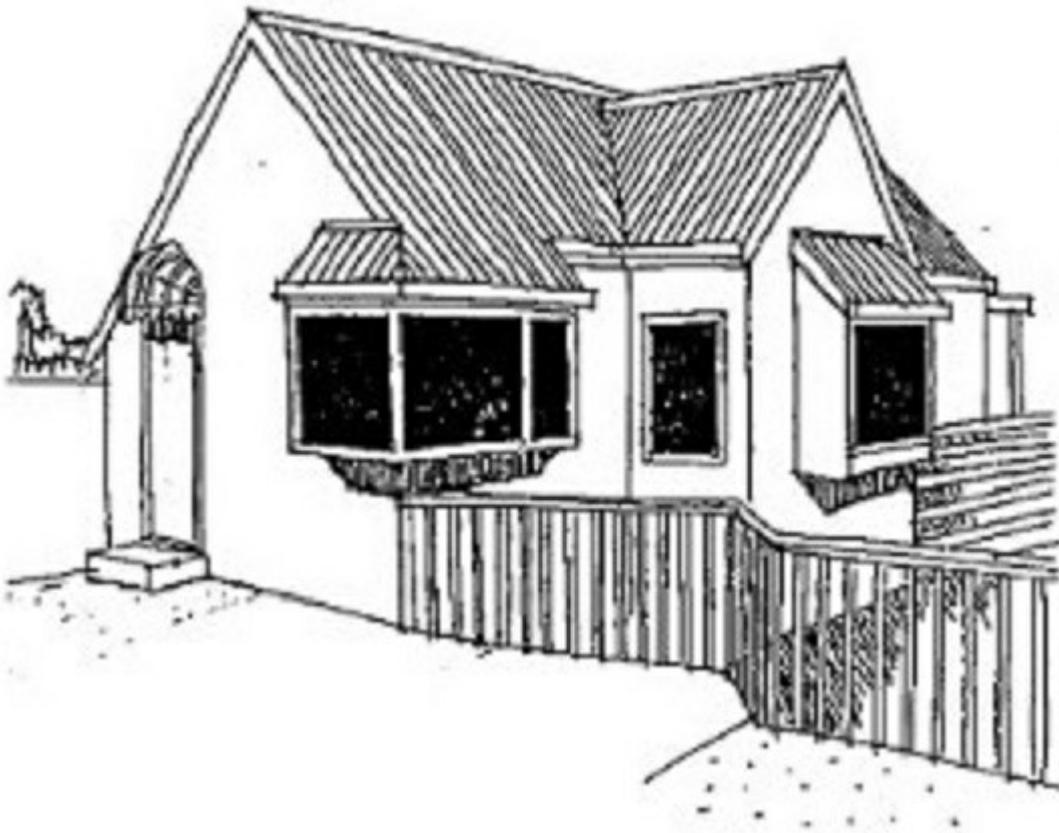
Drawing 6: New buildings of compatible shape to existing ones.

Most buildings in the Residential Character Zone are similar in width to height. Buildings of a low wide proportion can detract visually from those around them. Where a new building is wide in proportion consider breaking it up into more vertically proportioned pieces.

Doors and Windows

The size, proportions, repetition and groupings of windows and openings are all important in ensuring that a new building respects the residential character of Lyttelton. Windows can also reduce the scale of building surfaces:

- Windows are usually taller than they are wide;
- Windows are recessed into the wall and this depth be accentuated by surrounding trim, or facings;
- Corner windows (Drawing 8 centre below) and different shaped windows should be seen as a feature rather than dominating the view along the street;
- Large areas of windows in houses in the Residential Character Zone are uncommon except in bay windows where the amount of glazing is broken up by the windows being grouped together, solid mullions and timber facings.



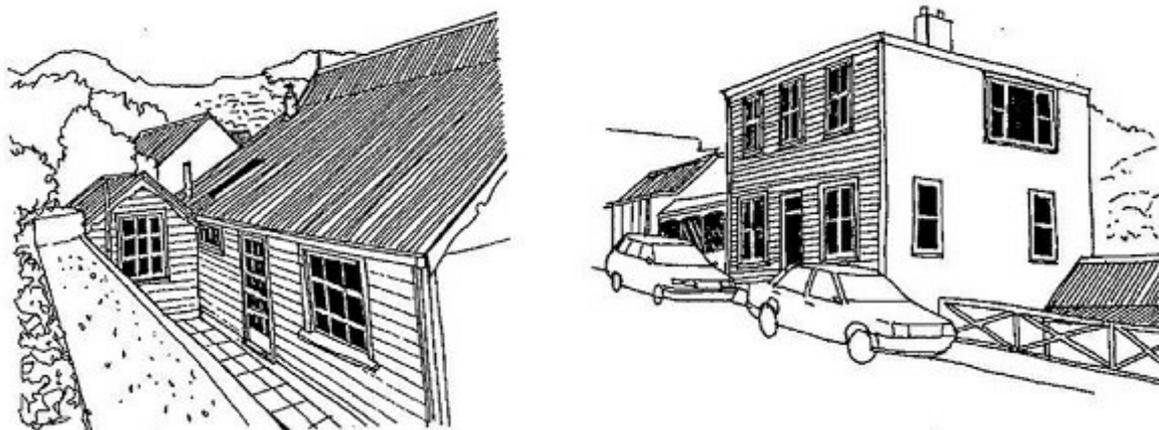




Drawings 7, 8 and 9: Window design and placement compatible with the character of the area.
Cladding, Texture and Roofing Materials.

Due to the topography, it is not only the street facades that are seen in Lyttelton, but often the sides and backs of buildings as well. It is important that the level of detail, choice of materials and colours of a proposal does not detract from or contrast visually with the surrounding buildings or the wider townscape. Large blank elevations or dominant roofs should be avoided.

The Proposed Christchurch Replacement District Plan



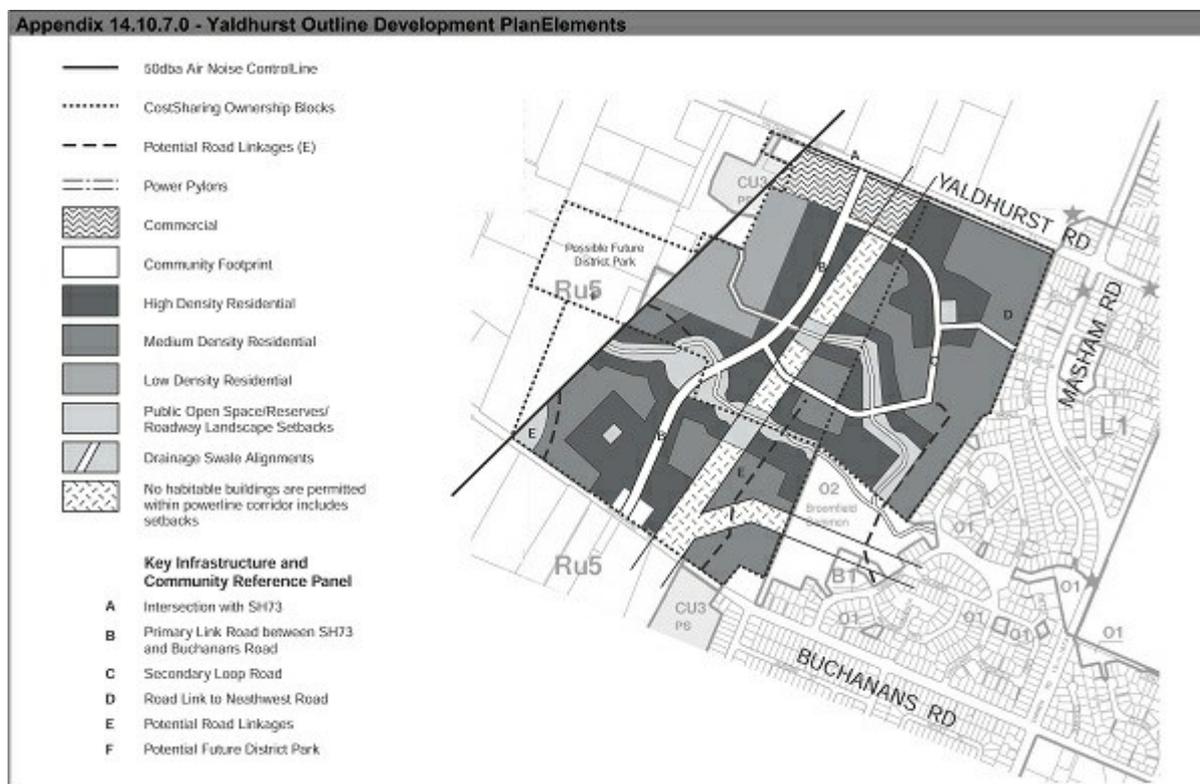
Drawing 10: Backs, sides and roofs of buildings can often be seen.

Buildings in the Residential Character Zone have been influenced by the architectural styles of the time. Painted masonry, and horizontal weatherboards are the common wall cladding. Corrugated metal is the predominant roof material. Natural materials such as stained timber or brick are uncommon and their use should be limited so as not to detract from the harmonious character of the townscape. The use of monolithic and unadorned concrete cladding systems should also be avoided.

Colour

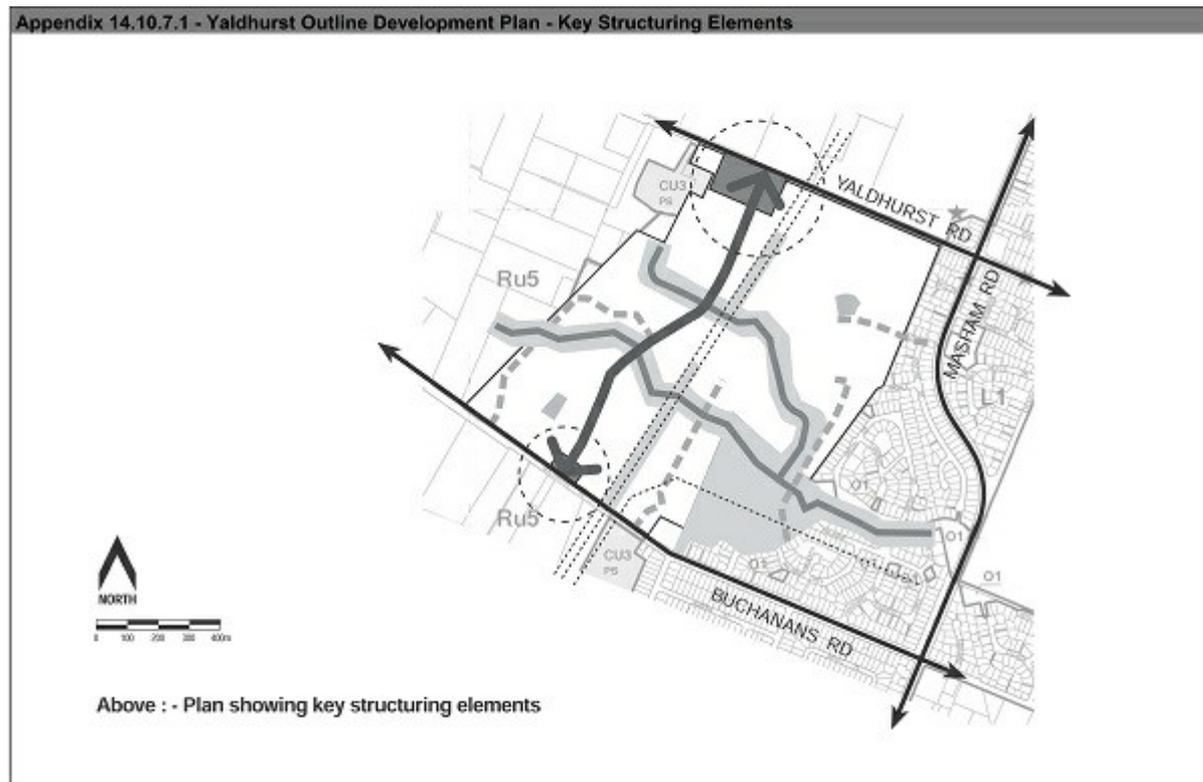
Sensitive use of colour is an important contribution to the street and wider townscape character. It is important colour schemes are not garish and do not detract from, or clash with existing buildings. Strong bright colours should be used sparingly and are characteristically confined to trims and other small areas.

14.10.7 Yaldhurst Outline Development Plan

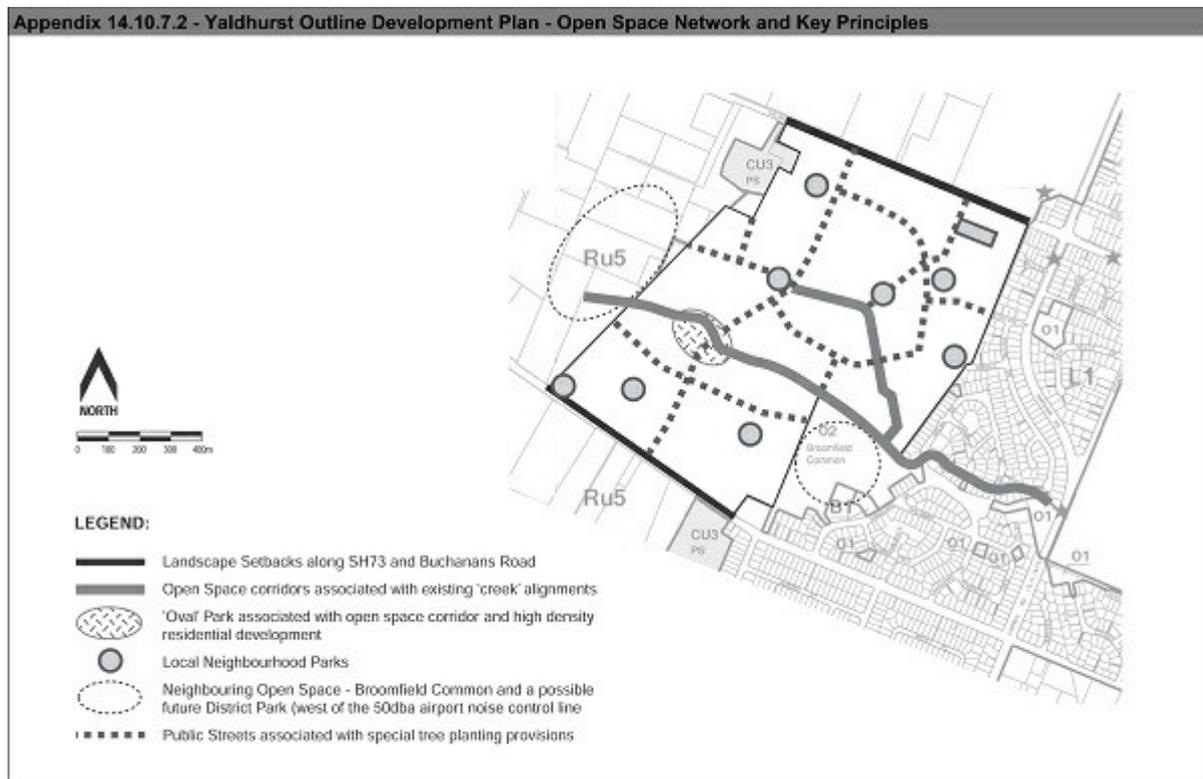


14.10.7.1 Appendix Yaldhurst Outline Development Plan Key Structuring

Elements



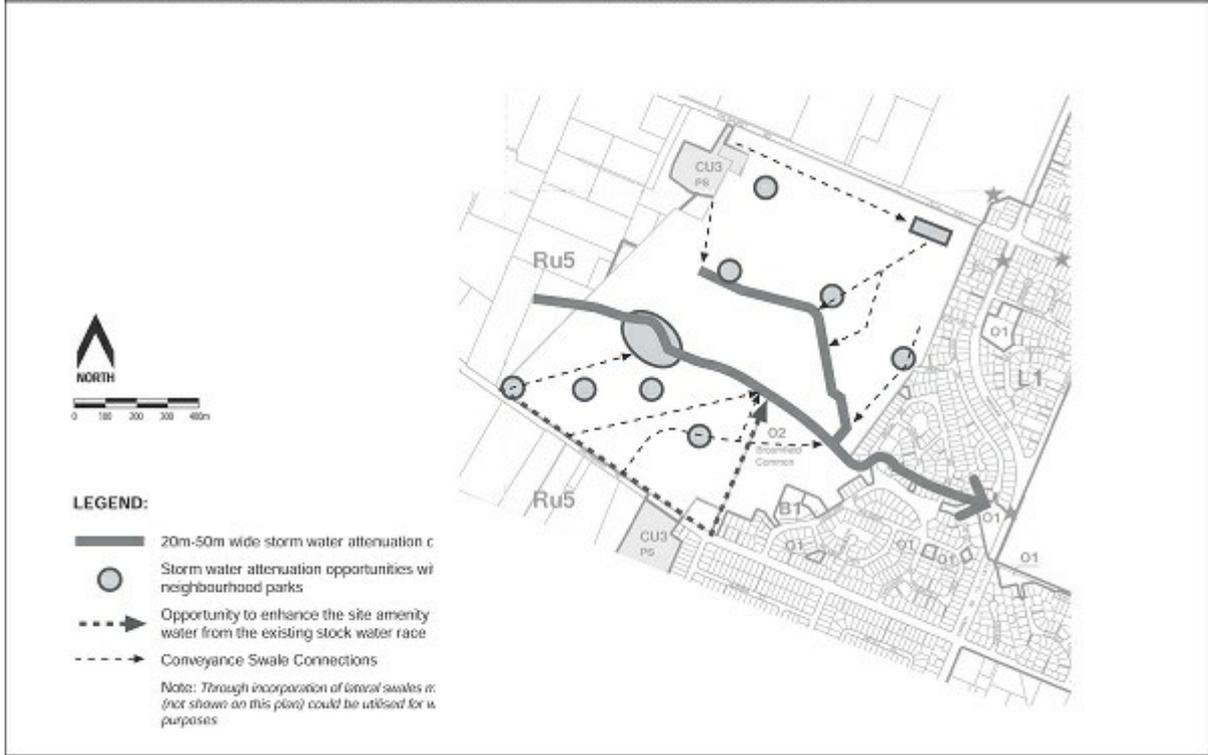
14.10.7.2 Yaldhurst Outline Development Plan Open Space Network



14.10.7.3 Yaldhurst Outline Development Plan Water Network

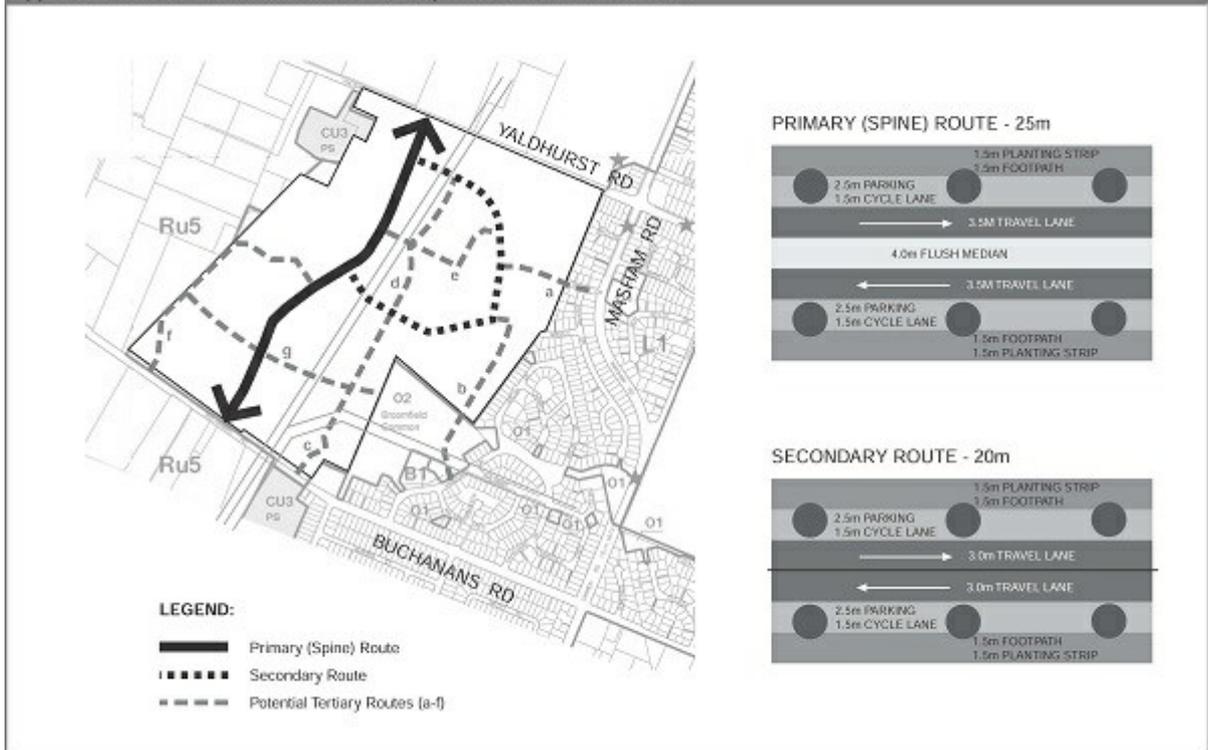
The Proposed Christchurch Replacement District Plan

Appendix 14.10.7.3 - Yaldhurst Outline Development Plan - Water Network and Key Principles



14.10.7.4 Yaldhurst Outline Development Plan Road Network

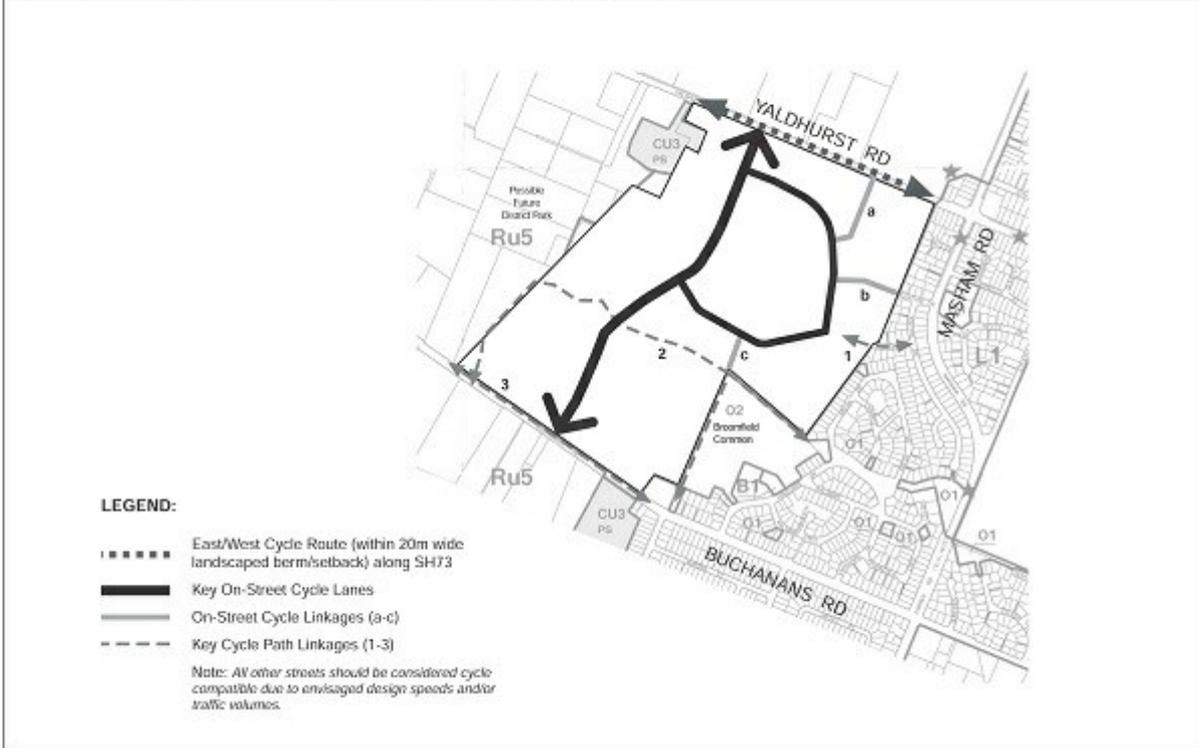
Appendix 14.10.7.4 - Yaldhurst Outline Development Plan - Road Network



14.10.7.5 Yaldhurst Outline Development Plan Cycle Network

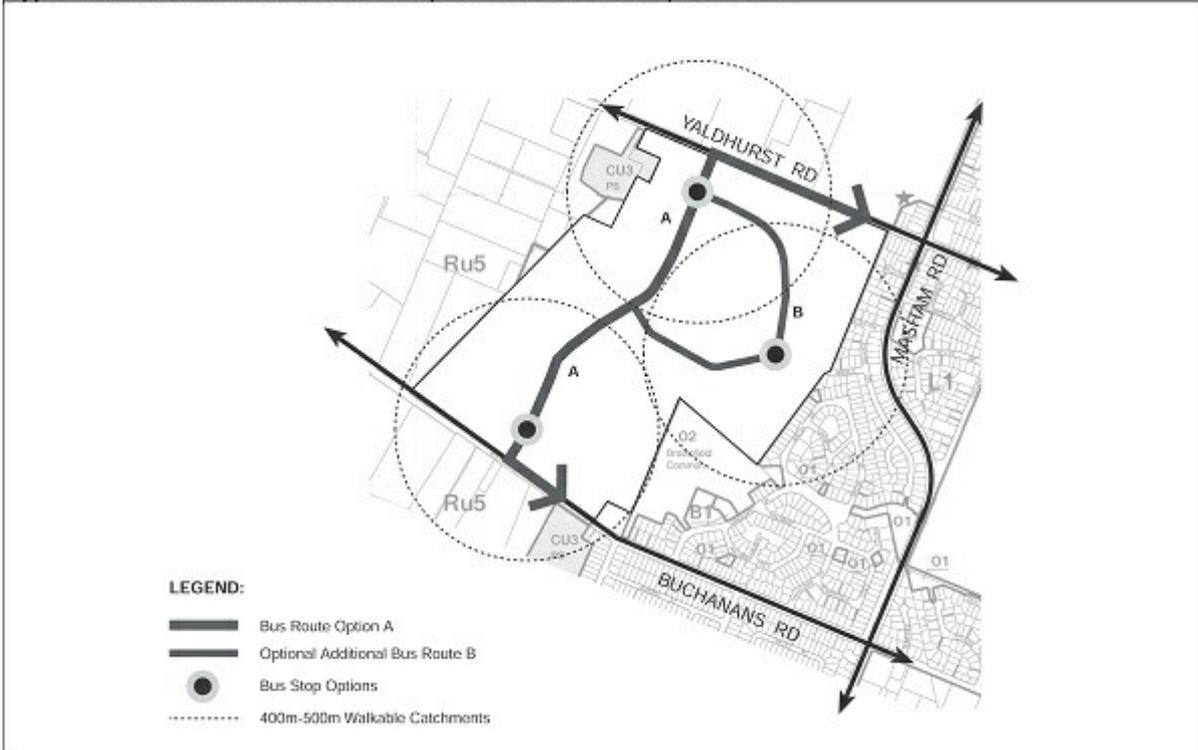
The Proposed Christchurch Replacement District Plan

Appendix 14.10.7.5 - Yaldhurst Outline Development Plan - Cycle Network



14.10.7.6 Yaldhurst Outline Development Plan Public Transport Network

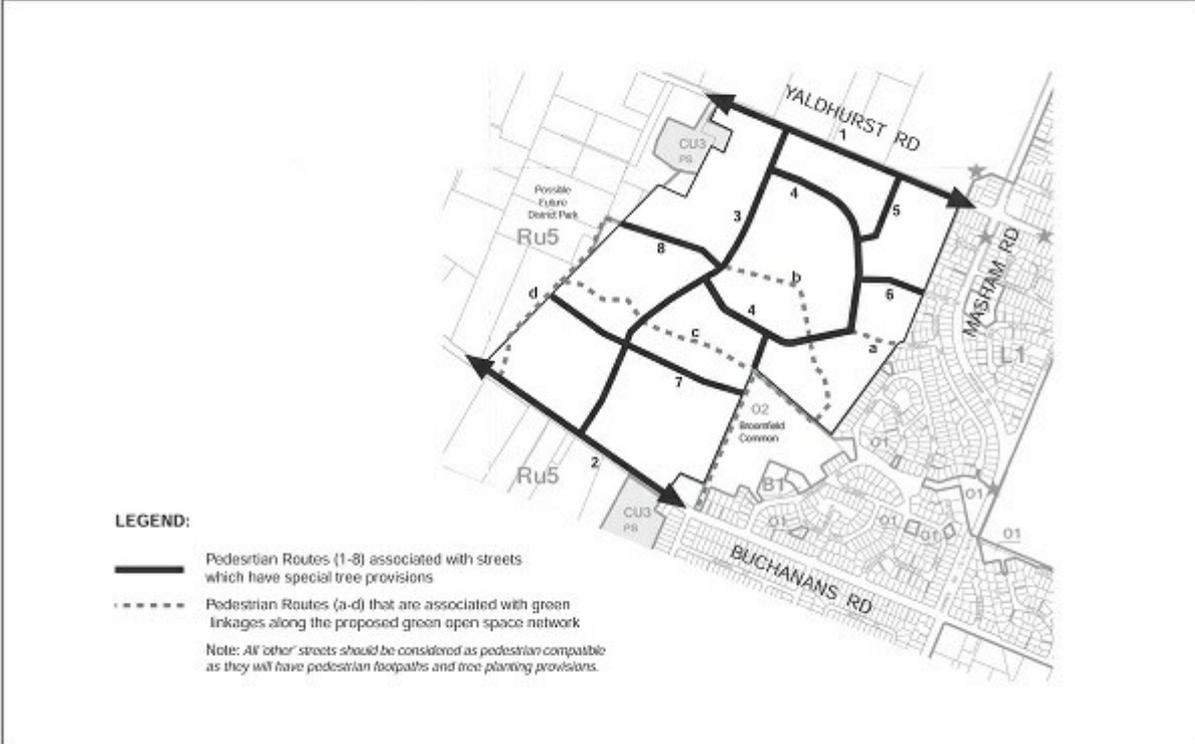
Appendix 14.10.7.6 - Yaldhurst Outline Development Plan - Public Transport Network



14.10.7.7 Yaldhurst Outline Development Plan Pedestrian Network

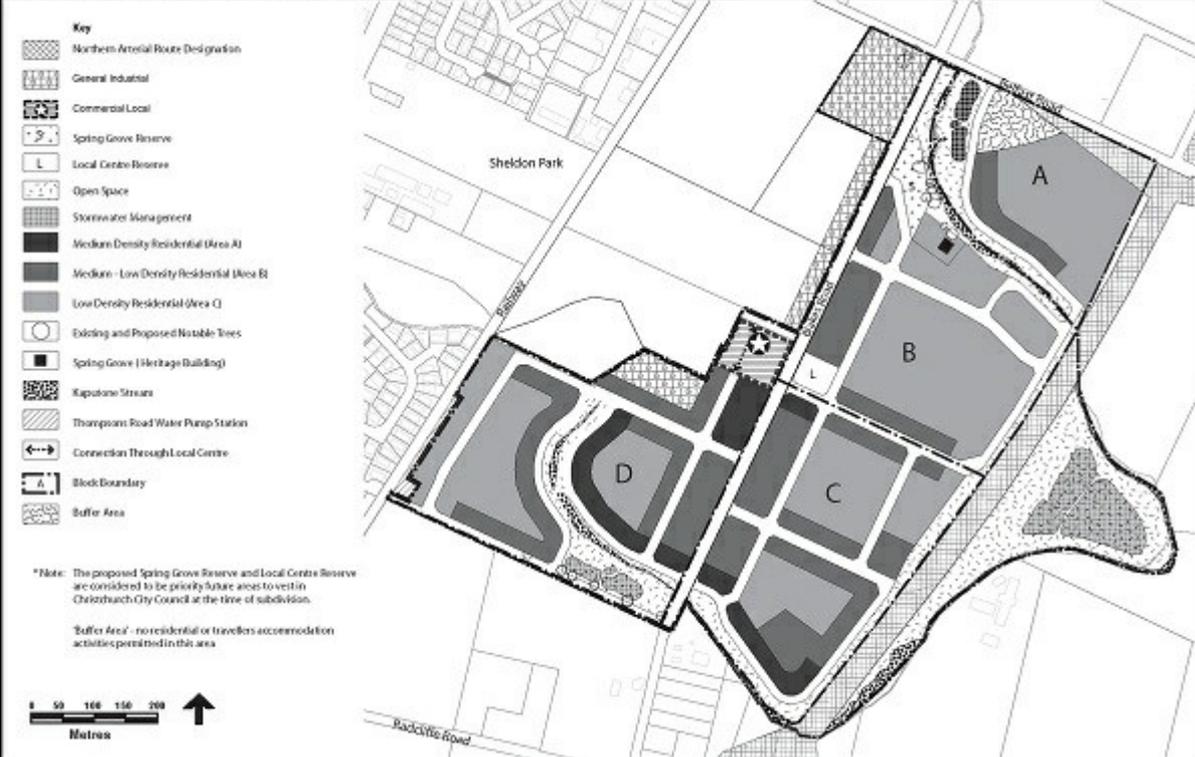
The Proposed Christchurch Replacement District Plan

Appendix 14.10.7.7 - Yaldhurst Outline Development Plan - Pedestrian Network



14.10.8 East Belfast Outline Development Plan

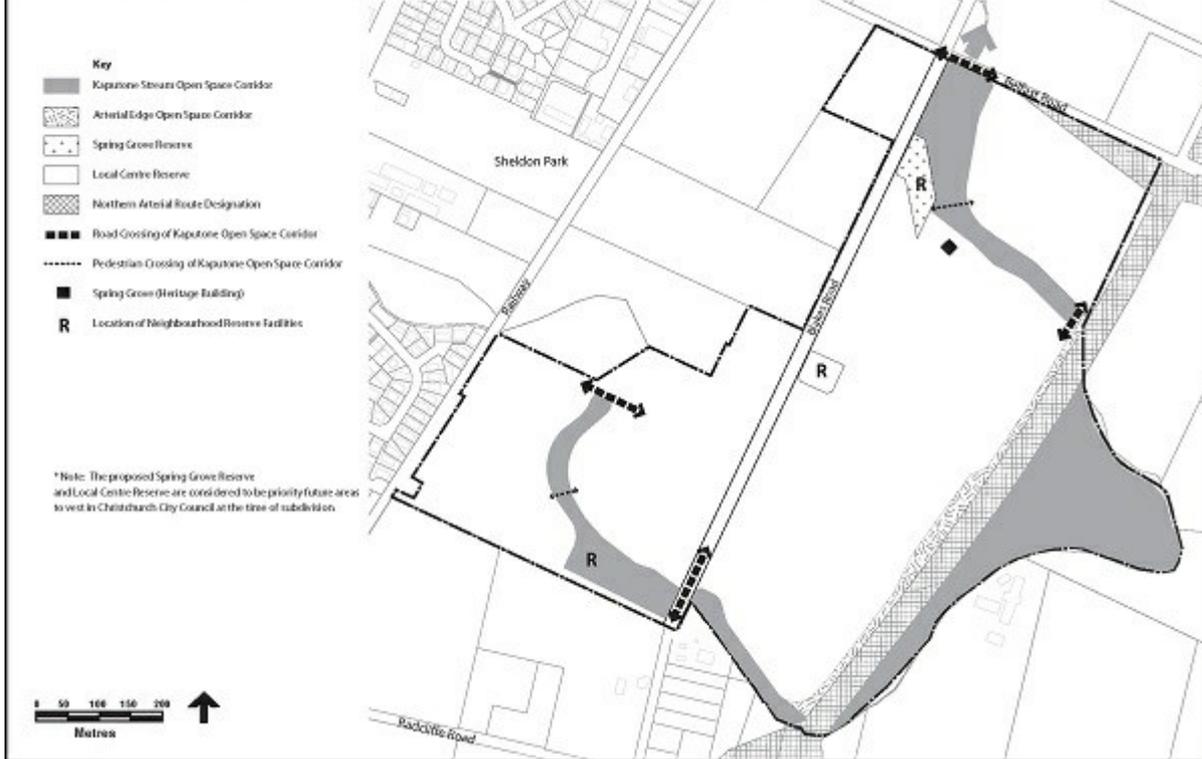
Appendix 14.10.8.0 - East Belfast Outline Development Plan



14.10.8.1 East Belfast Outline Development Plan Open Space Network

The Proposed Christchurch Replacement District Plan

Appendix 14.10.8.1 - East Belfast Outline Development Plan - Open Space Network

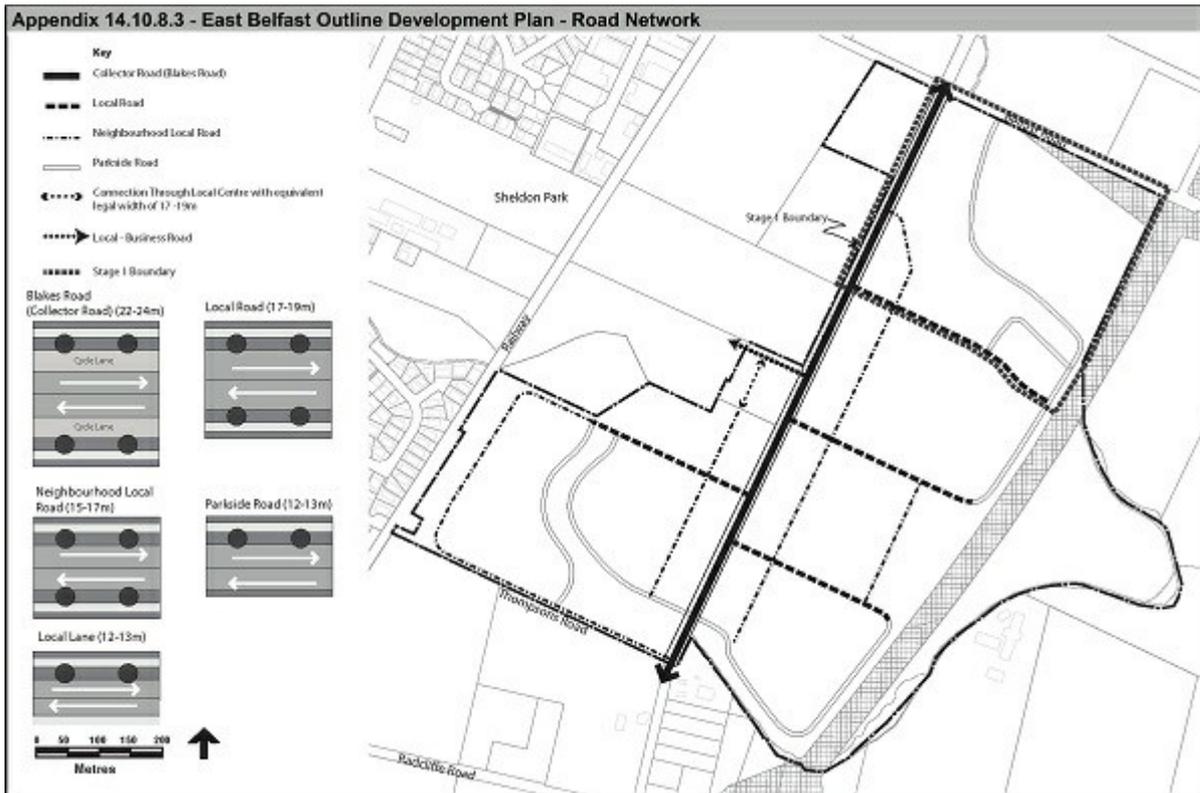


14.10.8.2 East Belfast Outline Development Plan Water Network

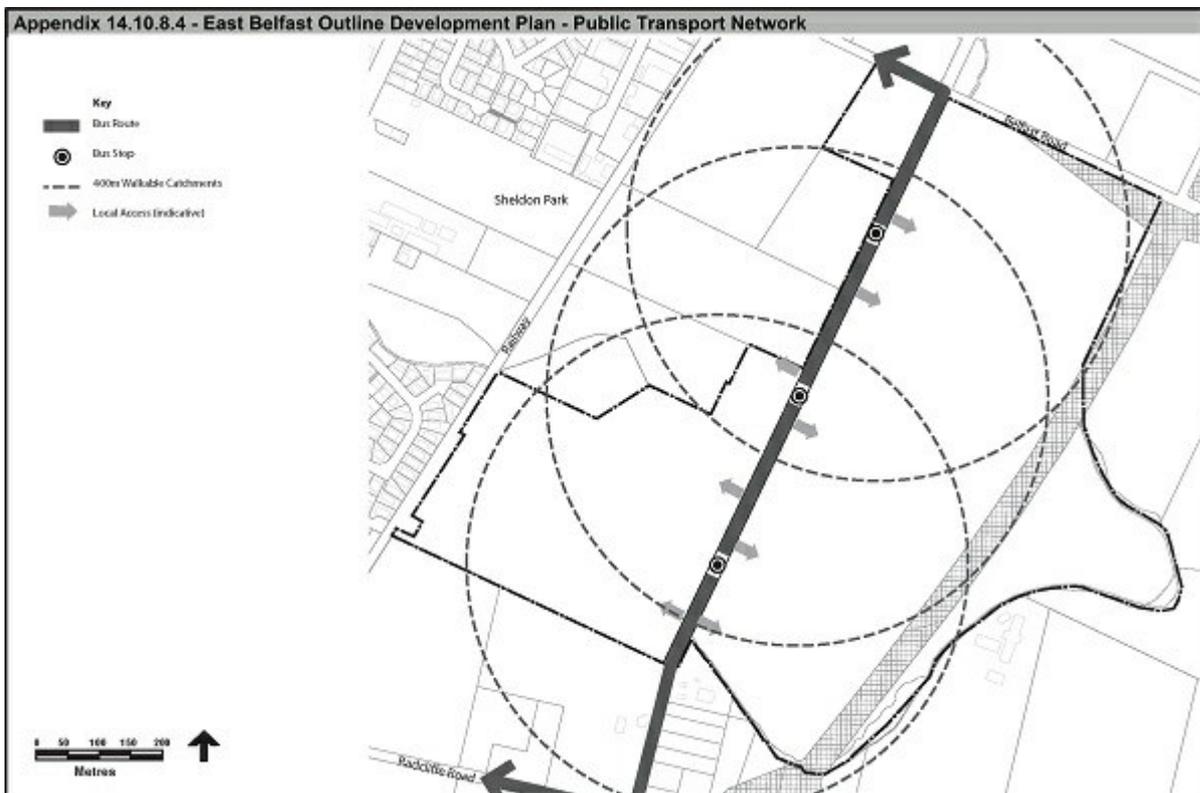
Appendix 14.10.8.2 - East Belfast Outline Development Plan - Water Network



14.10.8.3 East Belfast Outline Development Plan Road Network

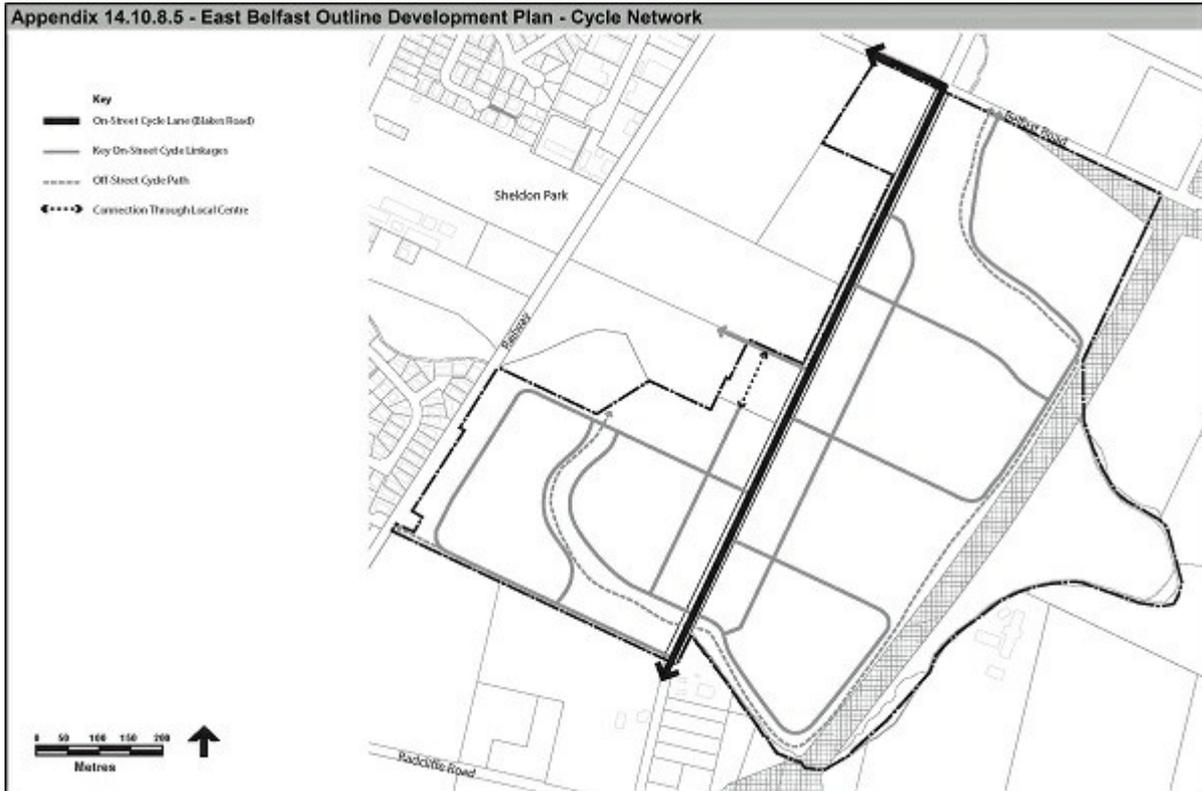


14.10.8.4 East Belfast Outline Development Plan Public Transport Network

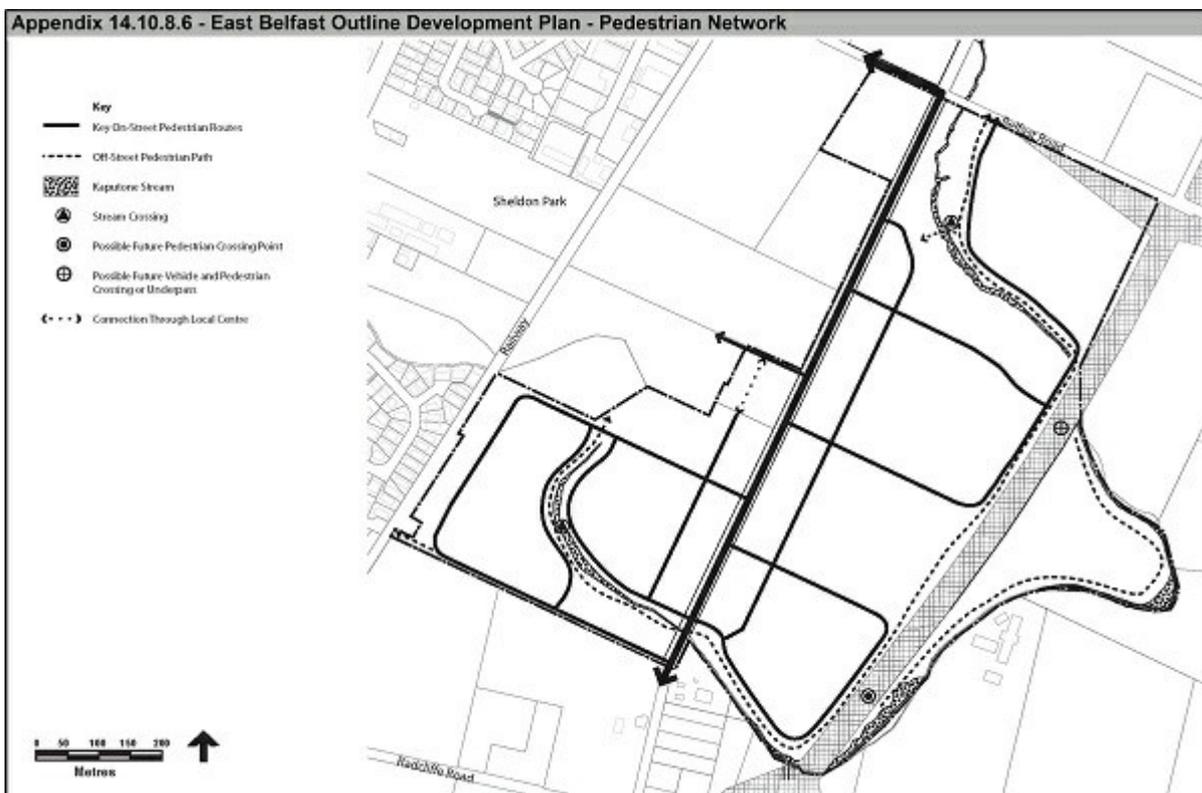


14.10.8.5 East Belfast Outline Development Plan Cycle Network

The Proposed Christchurch Replacement District Plan

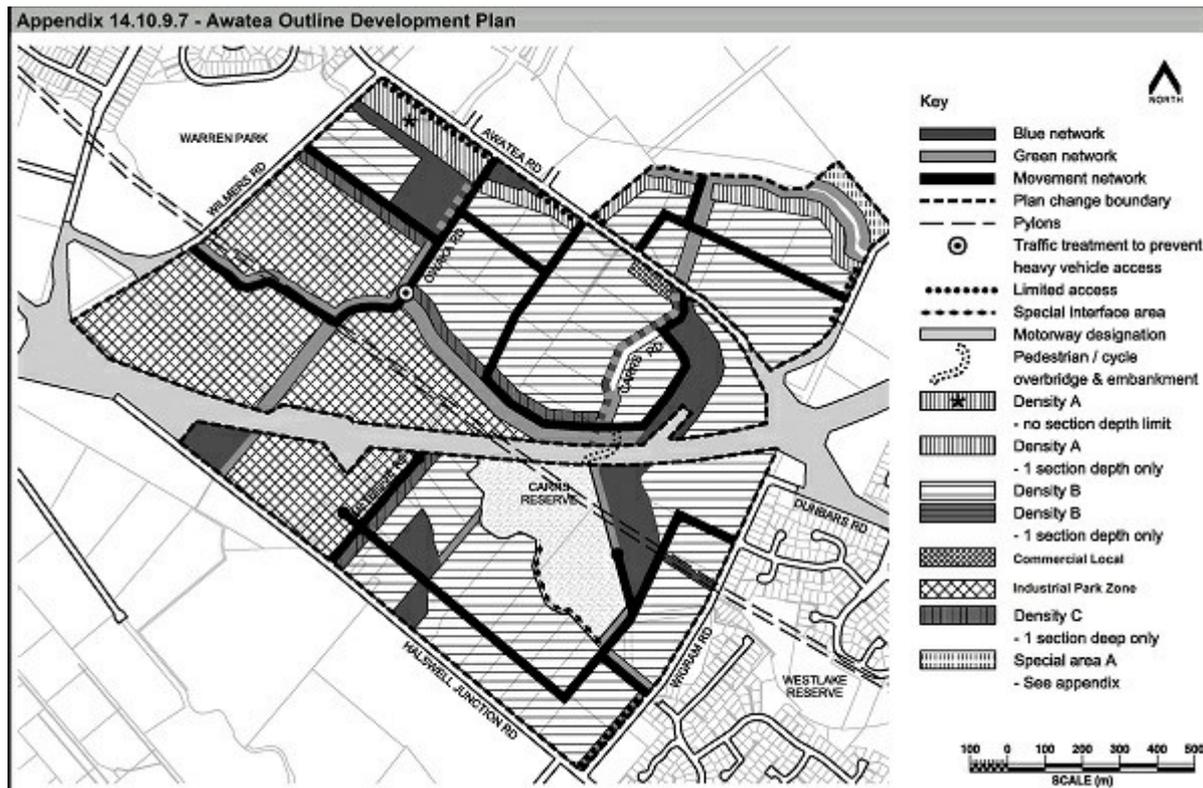


14.10.8.6 East Belfast Outline Development Plan Pedestrian Network

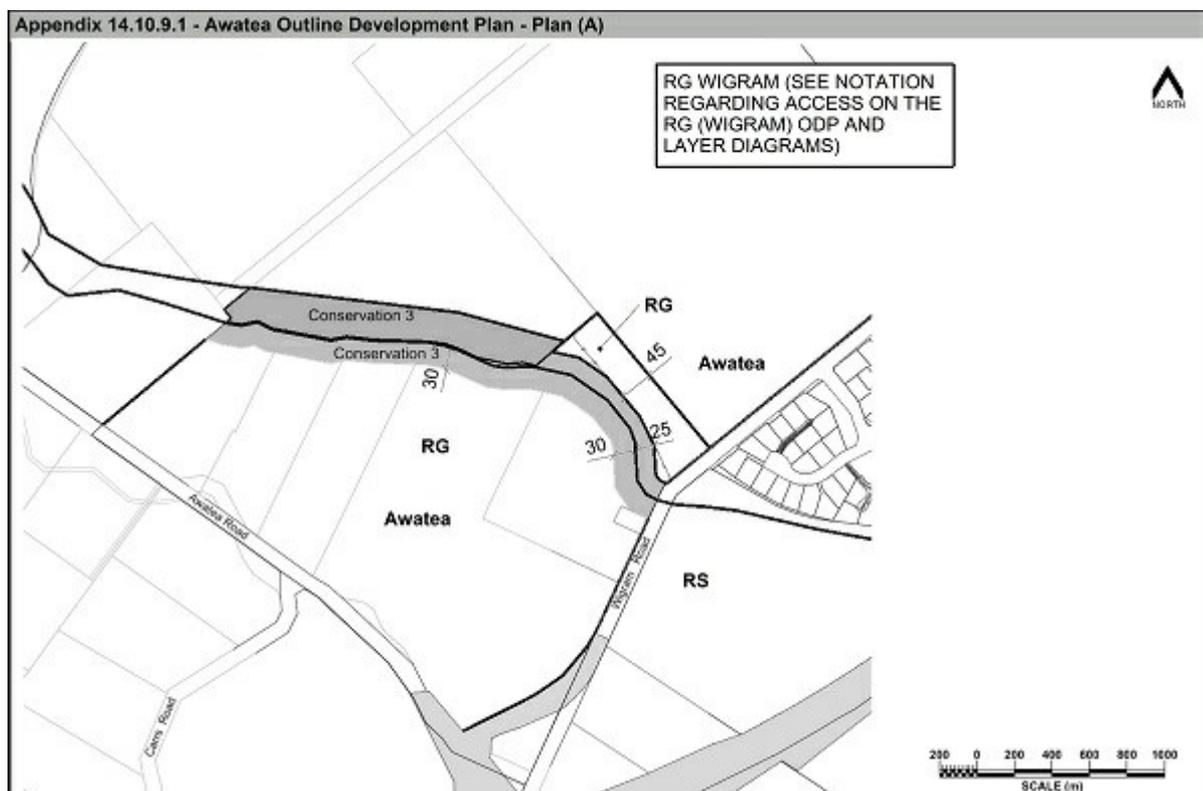


14.10.9 Awatea Outline Development Plan

The Proposed Christchurch Replacement District Plan

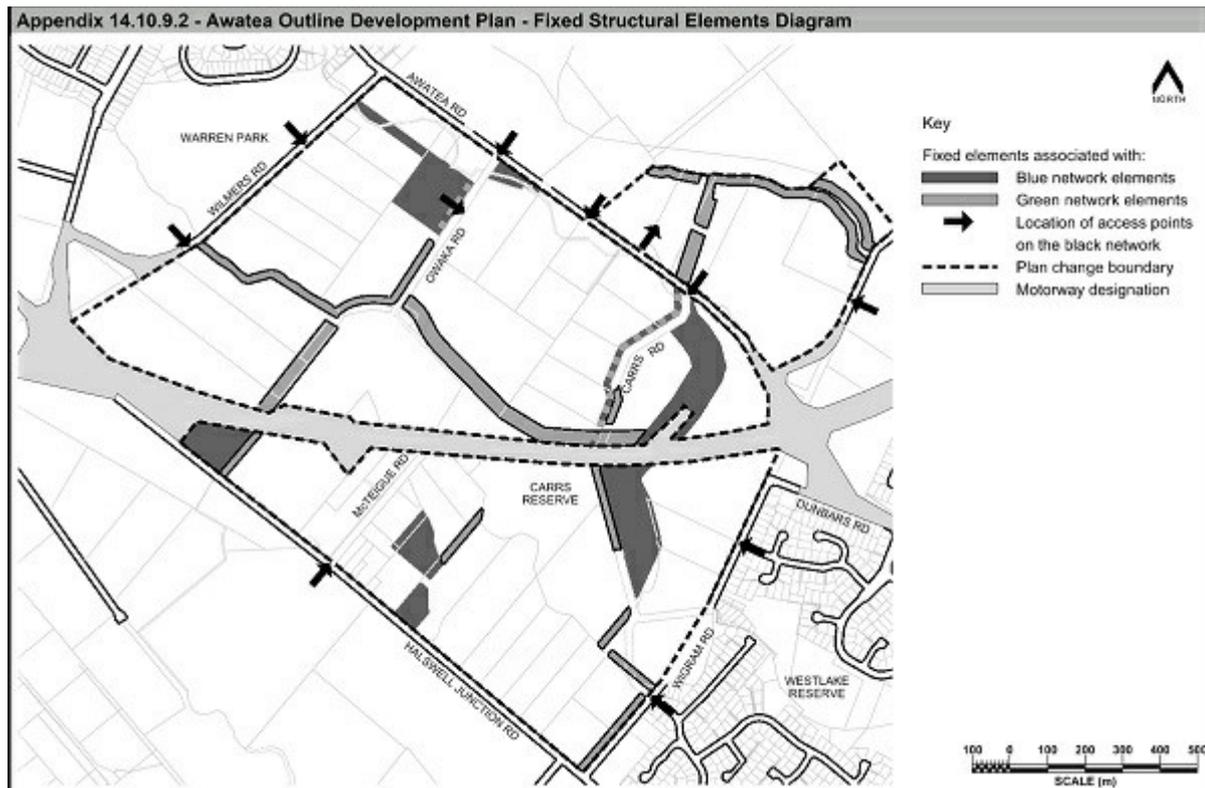


14.10.9.1 Awatea Outline Development Plan Plan A

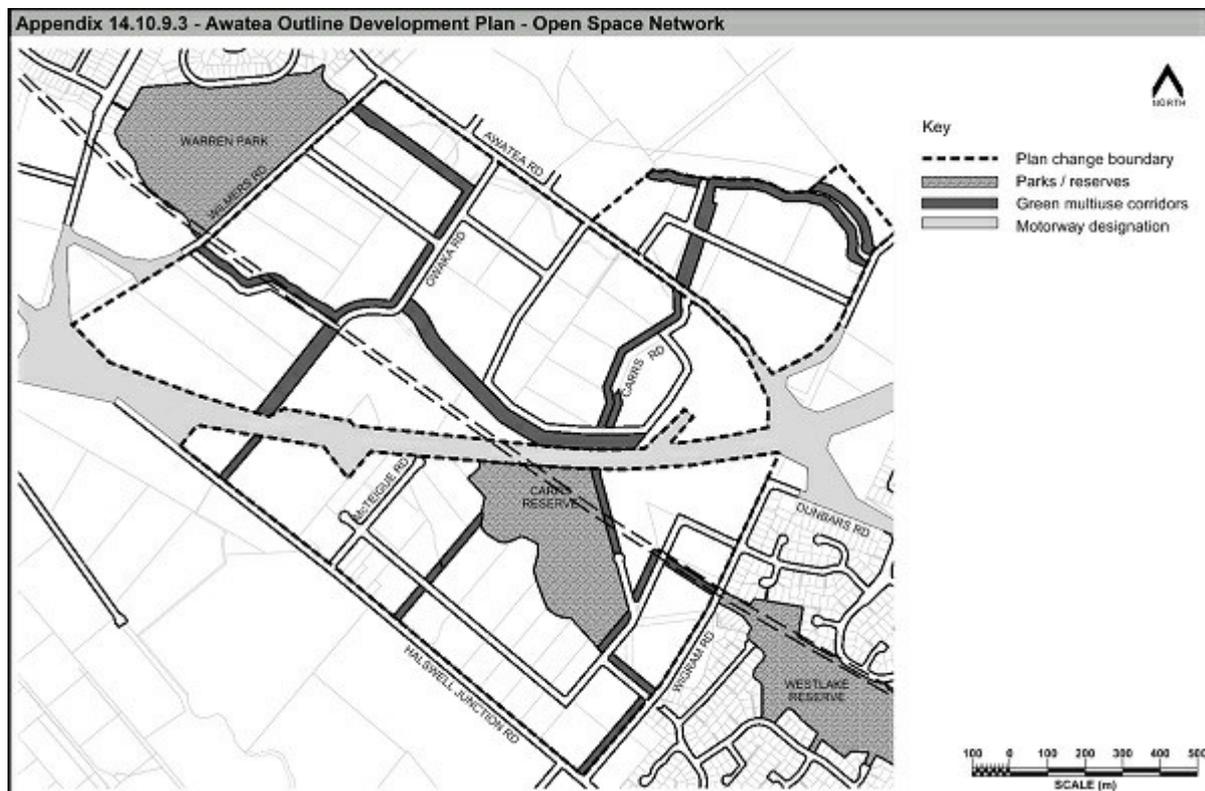


14.10.9.2 Awatea Outline Development Plan Fixed Structural Elements

The Proposed Christchurch Replacement District Plan

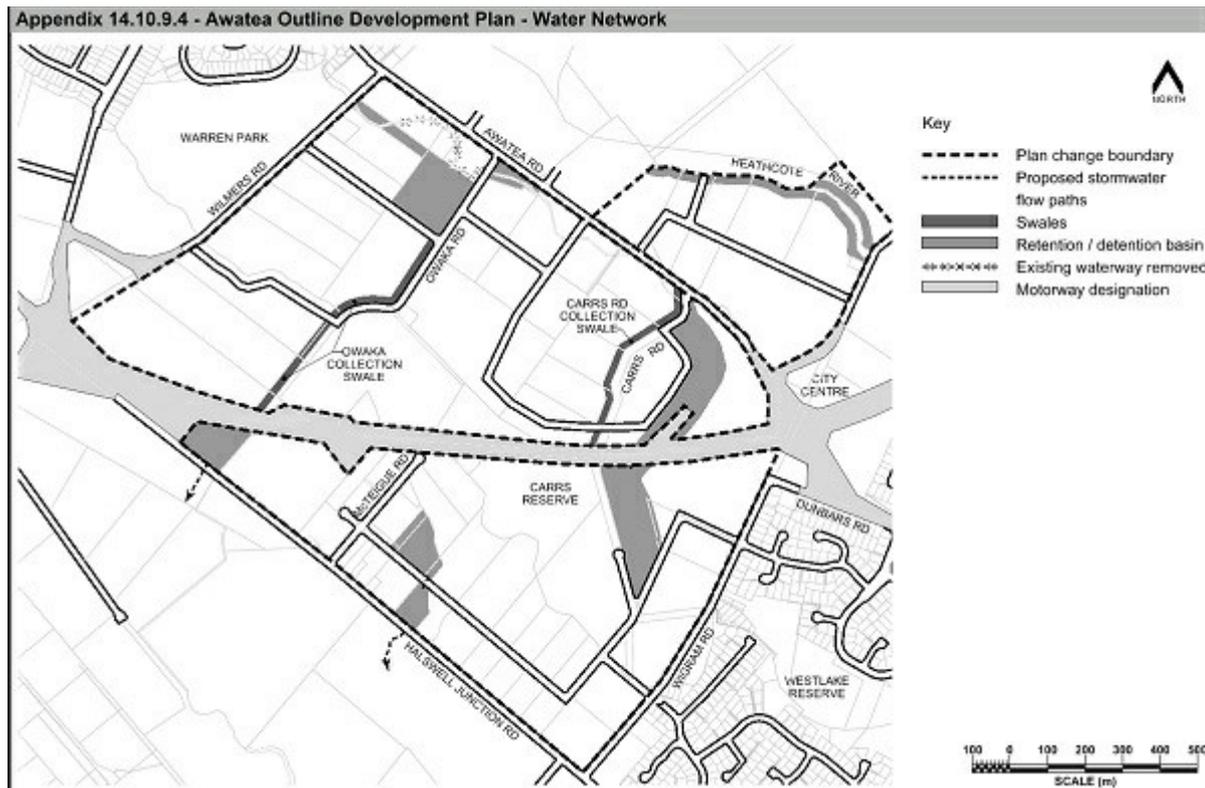


14.10.9.3 Awatea Outline Development Plan Open Space Network

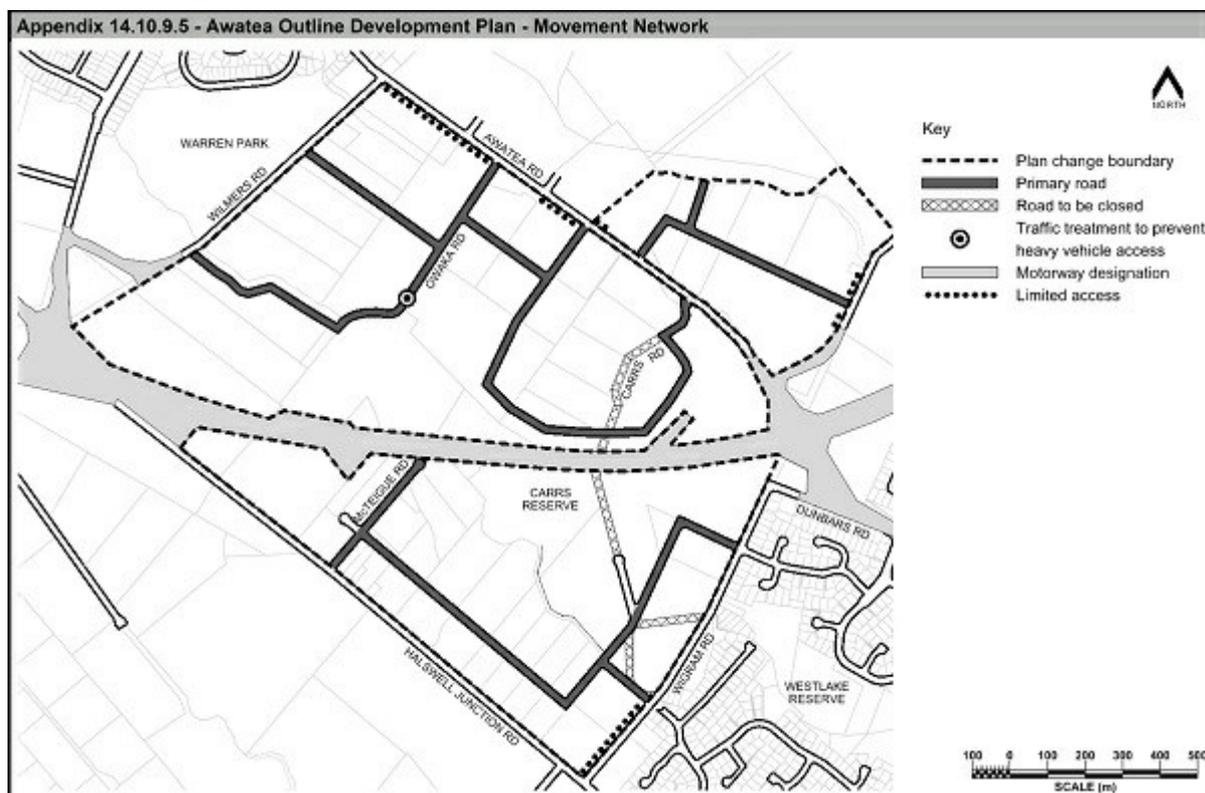


14.10.9.4 Awatea Outline Development Plan Water Network

The Proposed Christchurch Replacement District Plan

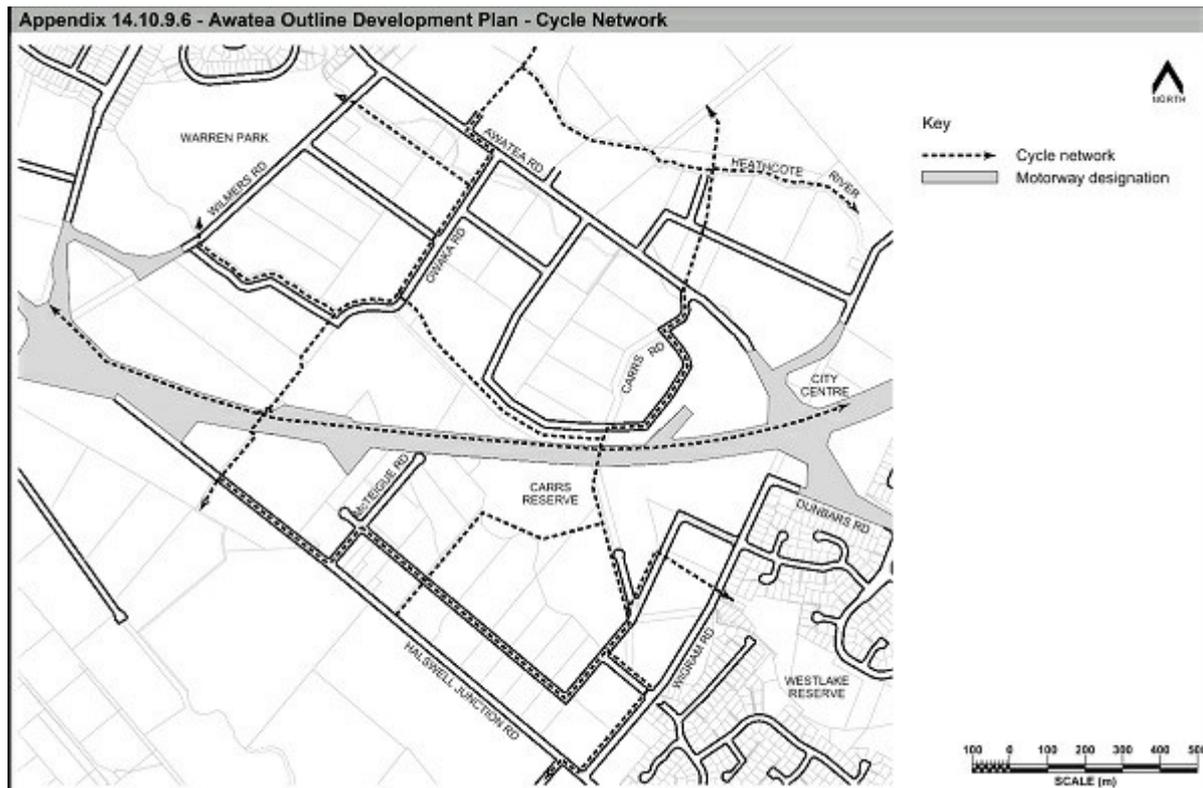


14.10.9.5 Awatea Outline Development Plan Movement Network

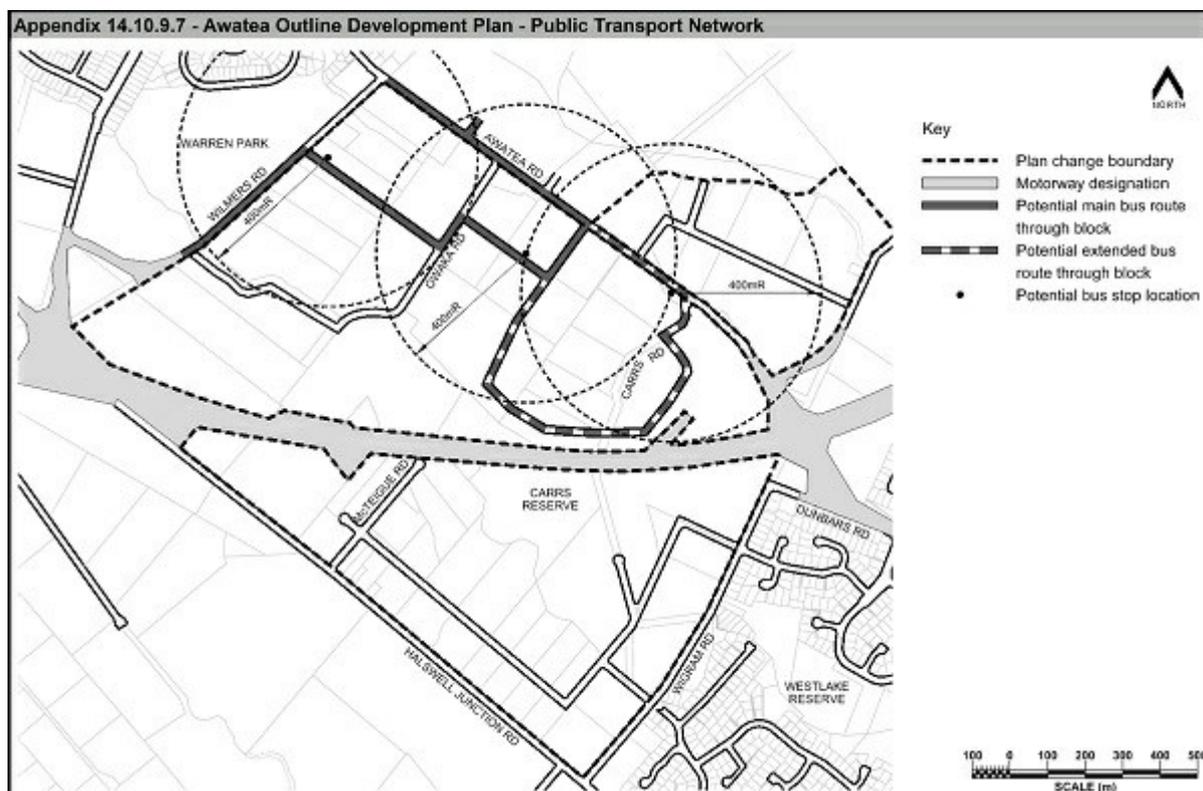


14.10.9.6 Awatea Outline Development Plan Cycle Network

The Proposed Christchurch Replacement District Plan



14.10.9.7 Awatea Outline Development Plan Public Transport Network



14.10.9.8 Awatea Outline Development Plan Road Design Parameters

The Proposed Christchurch Replacement District Plan

Appendix 14.10.9.8 - Awatea Outline Development Plan - Road Design Parameters

Table 1: Minimum Design elements for Local Roads in residential areas

Street Type	Minimum legal road width	Indicative legal road width	Minimum carriageway width	Minimum number of footpaths	Minimum footpath width	Provision of street trees	Minimum level of amenity coverage Note (1)	Minimum on-street parking requirement	Driveway spacing Parameter	
									Res A	Res B & C
Short local street	12m	Note (2)	6.0m	1	1.5m	Yes	25%	1 space for every 3 residential units	0.75	0.80
Typical local street	15m	Note (2)	7.5m	2*	1.5m	Yes	20%	1 space for every 3 residential units	0.75	0.80
Local distributor street	17m	Note (2)	9.0m	2*	1.5m	Yes	20%	1 space for every 3 residential units	0.75	0.80
Local street (bus route)	18m	Note (2)	9.5m	2	1.5m	Yes	20%	1 space for every 3 residential units	0.75	0.80

Table 2: Minimum Design elements for Primary and Collector Roads

Zoning	Minimum legal road width	Indicative legal road width	Minimum traffic lane width Note (3)	Minimum number of footpaths	Minimum footpath width	On street cycle lanes Note (4)	Provision of street trees	Minimum level of amenity coverage Note (5)	Driveway spacing Parameter
Business T zone	22m	Note (3)	3.2m	2	1.5m	Yes	Optional	5% or 50m ²	0.90
All living zones	20m	Note (3)	3.0m	2	1.5m	Yes	Yes	10%	Res A - 0.75 Res B - 0.80 Res C - 0.80
All other zones	18m	Note (3)	3.0m	2	1.5m	Yes	Optional	5% or 50m ²	0.95

Terminology

Local Short Street	All streets in the Living G Zone that are less than 150m in length and serve a maximum of 25 potential residential units.
Local Typical Street	All streets that do not meet the criteria of a Local Short Street or Local Distributor Street.
Local Distributor Street	All streets that intersect with a Collector, Minor or Major Arterial Road and have intersections with at least two other Local Typical Streets.
Local Street (Bus Route)	Any of the above Local Streets that forms part of a future bus route.

Indicative Legal Road Width Formula

On streets where amenity is provided continuously, the indicative legal road width shall be calculated using the following formula:

$$\text{Indicative Legal Road Width (Continuous Amenity)} = (A + B) / (1 - C / D)$$

Where:

- A = proposed carriageway width (in metres)
- B = proposed combined width of footpaths (in metres)
- C = minimum level of amenity coverage (expressed as a decimal)
- D = driveway spacing parameter (expressed as a decimal)

On streets where amenity is provided in discrete clusters, the indicative legal road width shall be calculated using the following formula:

$$\text{Indicative Legal Road Width (Discrete Amenity)} = (A + B) / (1 - C)$$

Where:

- A = proposed carriageway width (in metres)
- B = proposed combined width of footpaths (in metres)
- C = minimum level of amenity coverage (expressed as a decimal)

Table 1 Notes

(1) The minimum portion of legal road width that is designated for community features. Amenity on all local streets shall be provided continuously on both sides of the street, only broken by vehicle or path crossing points.

* Two footpaths are required except for sections of streets with frontage to Conservation, Open Space or Rural Zones where one footpath may be provided within the legal road. Where one footpath is provided, it must be located on the residential side of the street.

(2) See calculation formula below to determine Indicative Legal Road Width where amenity coverage is provided continuously or in discrete clusters.

Res A - High Density Residential A Area.
Res B - Medium Density Residential B Area.
Res C - Low Density Residential C Area.

Table 2 Notes

(3) The minimum traffic lane width shall be increased to 3.2m if the primary or collector road forms part of a bus route.

(4) On street cycle lanes shall be designed in accordance with the NZ supplement to Austroads's Guide to Traffic Engineering Practice Part 14: Bicycles.

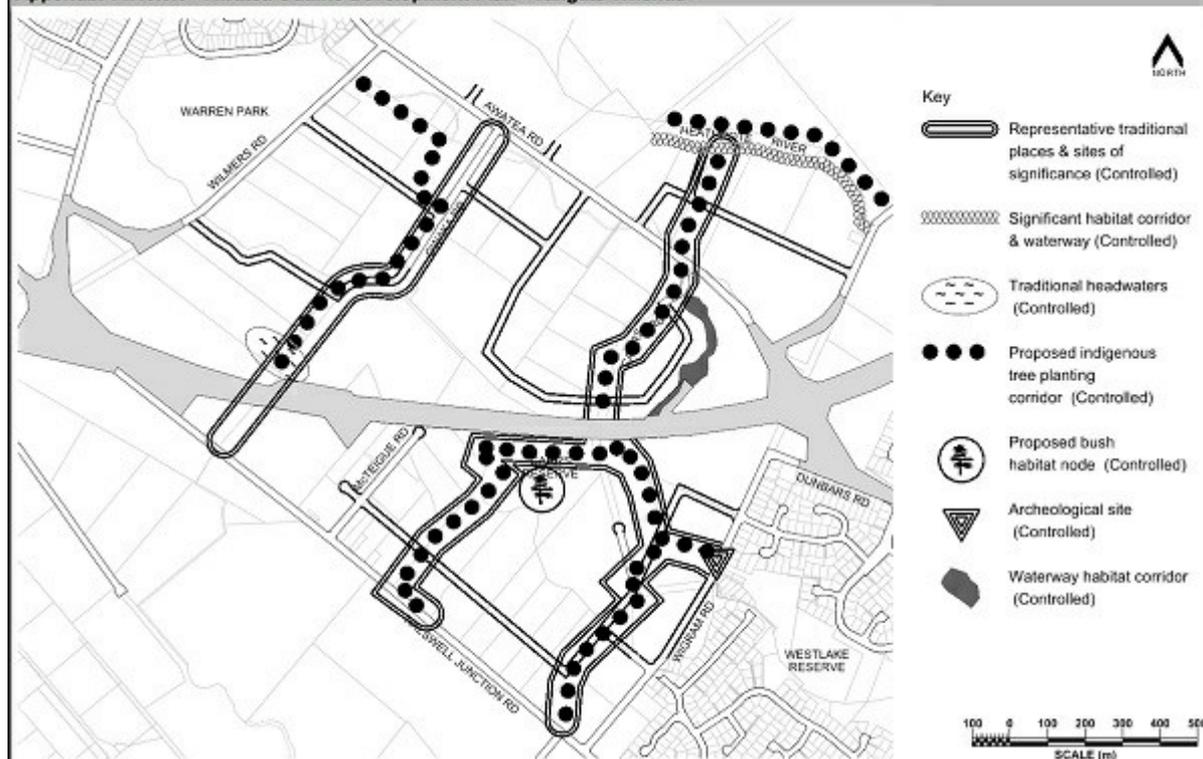
(5) Where amenity is provided continuously the specific percentages shall apply. Where amenity is provided in discrete clusters the area (per 100m linear length of road) shall apply.

(6) See calculation formula below to determine Indicative Legal Road Width where amenity coverage is provided continuously or in discrete clusters.

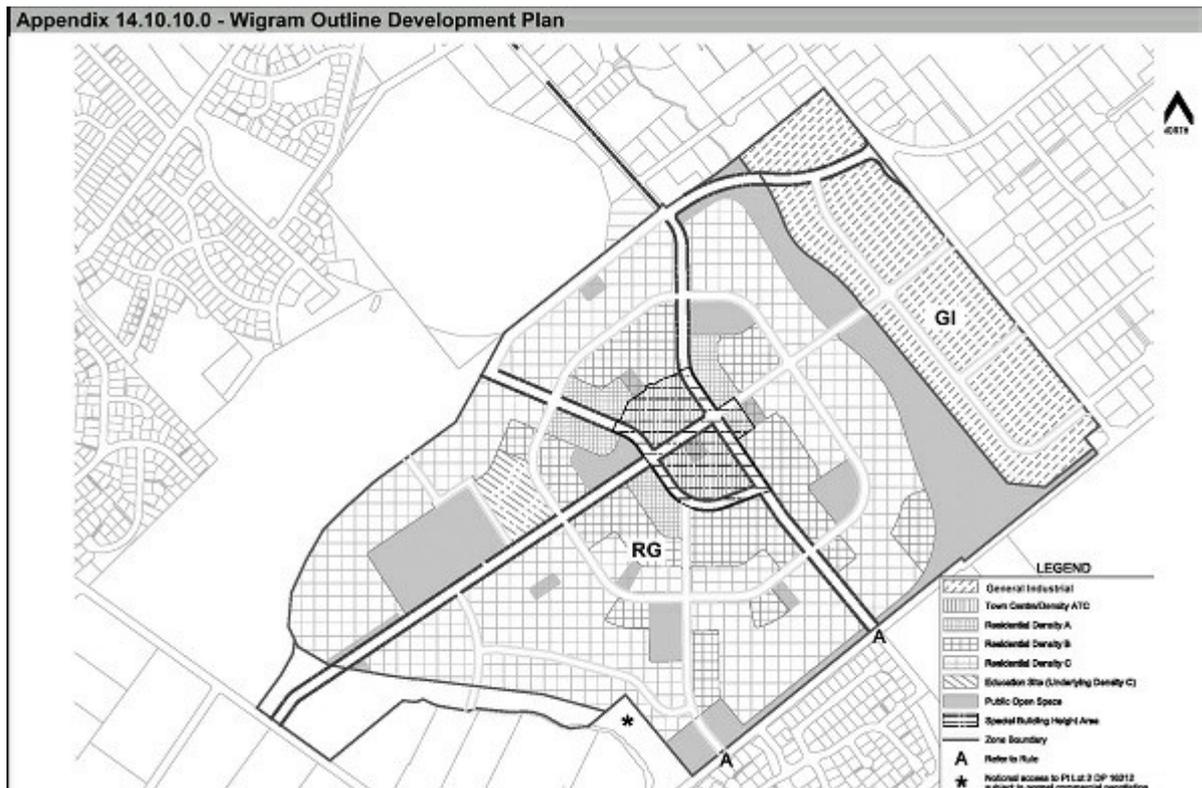
Res A - High Density Residential A Area.
Res B - Medium Density Residential B Area.
Res C - Low Density Residential C Area.

14.10.9.9 Awatea Outline Development Plan Tangata Whenua

Appendix 14.10.9.9 - Awatea Outline Development Plan - Tangata Whenua



14.10.10 Wigram Outline Development Plan

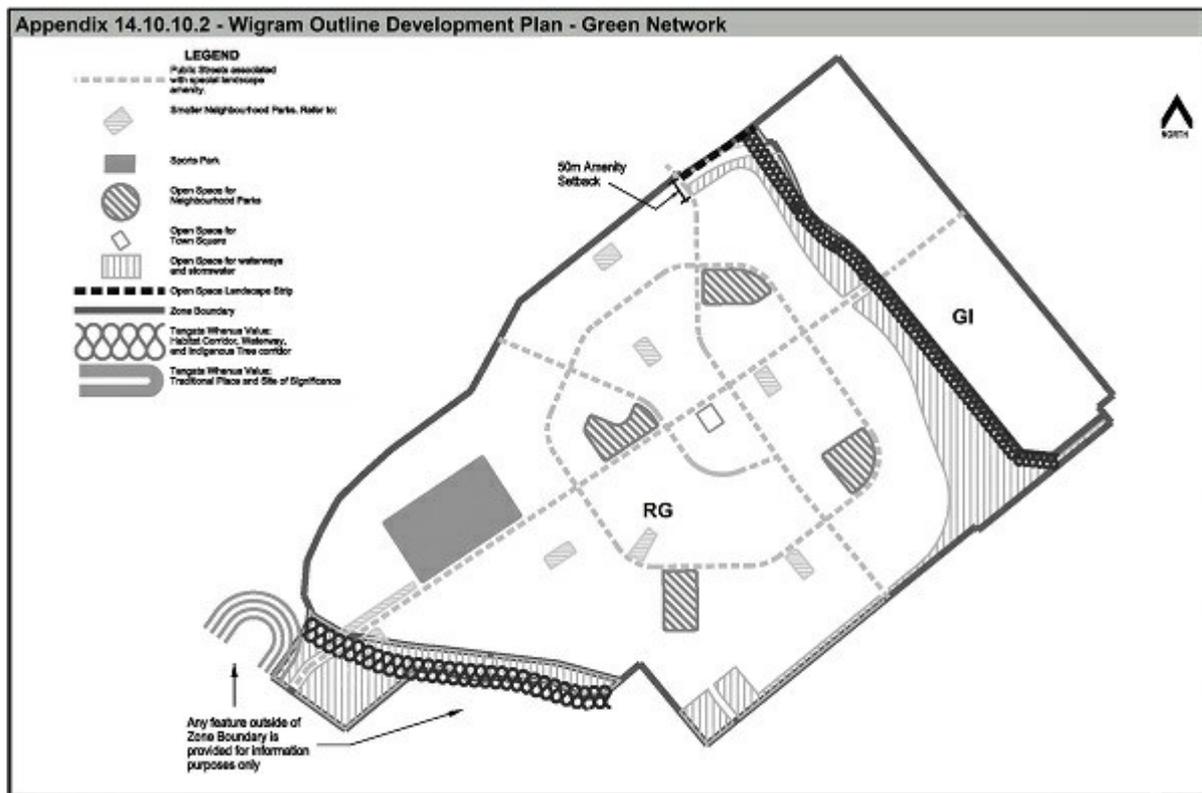


14.10.10.1 Wigram Outline Development Plan Key Structuring Elements

The structuring elements, which underpin the Outline Development Plan and which will enable a sound social, environmental and economic outcome to be achieved, include the following:

- Development of residential densities similar in scale to surrounding properties with increased density towards the centre of the site within walking distance of bus stops and/or facing open space reserves.
- Subdivision and landuse patterns that can accommodate a minimum of 1300 dwellings.
- A centrally located town centre that can accommodate retail, commercial, civic, community and higher density residential uses.
- The ability to provide a landmark building or buildings with elements of additional height in the town centre.
- The provision of a light industrial/commercial area to the east which also act as a buffer (in association with Wigram Park) to the Parkhouse Industrial area.
- The provision of a school site and a nearby sports park that fronts onto the Runway Boulevard.
- A movement network that provides effective pedestrian, cycle, private/public transport and therefore has a high level of connectivity within the site and to the surrounds.
- Provision of accessible open space to provide for the recreational and social needs, of the community as well as landscape amenity, stormwater management, the Heathcote River/Haytons Drain environs, and pedestrian and cycle linkages.
- The integration of stormwater management with waterways, the movement network and open space.
- The provision for and recognition of values important to tangata whenua in particular the establishment of enhanced waterways as an ecological asset and the protection of water quality in accordance with the Christchurch City Council South West Area Plan.

14.10.10.2 Wigram Outline Development Plan Green Network



14.10.10.3 Wigram Outline Development Plan Transportation Movement Network

1. Movement Network

This refers to the network of public roads, cycle ways, pedestrian pathways and linkages through and to the site. The network has an important relationship with the underlying land use patterns, and also has a strong correlation with the green and blue networks in respect of pedestrian and cycleway linkages. The following describes the key elements of the movement network for Wigram.

2. Road Network

This refers to the hierarchy of proposed public roads across the site. The distribution of landuses and residential densities across the site is closely tied to this hierarchy. In particular, the Town Centre is well connected by Collector Roads from surrounding areas so that it provides the focal point of the development. The supporting local road network is then used to connect the neighbourhoods with each other and with the Town Centre. The proposed network has also been designed in order to integrate with the green and blue networks as these also provide essential pedestrian and cycle way linkages. The following describes the key elements of the road network:

(1) Road Hierarchy

The Road Hierarchy is illustrated in Figure 2. Collector Roads form the primary routes through Wigram and provide legible extensions of, and connections between, existing through routes in the surrounding area to ensure a high level of integration. These Collector Roads pass through the Town Centre to support its development as the focal point of Wigram. Other roads not shown on Figure 2, will typically be “Local - Residential” and “Local – Neighbourhood” roads which principally provide residential property access. Arterial routes are not proposed to be used within Wigram as this function is provided by the surrounding network.

(2) Collector Roads

The Collector Roads provide the primary traffic carrying function within and through Wigram, with a focus on providing for all modes of transport including public transport (where applicable). Key collector roads are illustrated in Figures 3 and 3a and are described below:

- Wigram Boulevard - a Boulevard located on the alignment of the former airfield runway, being a key feature of Wigram. It will connect between Awatea Road, the Town Centre and the Business 4 Zone. The road will be designed with a wide central landscaped median (potentially with a stormwater function) and the formation will accommodate vehicular, cycle and pedestrian

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movements. The road will also accommodate the primary bus route west of the town centre. Traffic management measures are proposed for the eastern end of the Boulevard to minimise the potential for industrial traffic to use the Boulevard as a through route. It is noted that the section of the Boulevard between the Business 4 Zone and the Town Centre has been allocated local road status to help minimise the extent of industrial traffic existing through residential areas and the Town Centre.

- Main Street - within the town centre the characteristics of the Runway Boulevard will transform into a space shared by all modes of transport with a particular focus on pedestrians and the provision of a public transport node.
- Corsair Drive Extension - the extension of Corsair Drive to the town centre will provide a link to the north and west. The road will be designed to accommodate vehicular, cycle and pedestrian movements. The use of a flush median is included where necessary to provide for intersection and property access turn movements.
- Aidanfield Drive Extension - the extension of Aidanfield Drive to the town centre will provide a key link to arterial routes via Wigram Road and the suburbs in the southwest. The road will include a central landscaped median (potentially with a stormwater function) and will be designed to accommodate vehicular, cycle and pedestrian movements. This road should form the first new road link to Wigram Road, forming the fourth leg to the proposed roundabout or traffic signals at the Wigram Road / Aidanfield Drive intersection. Its intersection with Wigram Road should provide for boundary splays to accommodate the proposed intersection and if it precedes the construction of the intersection as a roundabout or traffic signal control, then a standard right turn bay from the north is to be constructed.
- Vickerys Road Extension - Vickerys Road is to be upgraded as the primary link between the Parkhouse Industrial area and Main South Road. This link will provide access to the town centre from the north and will also form part of a north-south through route with the Aidanfield Drive Extension. The link will form part of the proposed bus route servicing Wigram.
- Parkhouse Road Extension - Parkhouse Road will be extended to the Vickerys Road extension to provide a key link from Wigram towards the City. It will also form the primary route for industrial traffic accessing Main South Road from the Parkhouse Industrial area. The connection of the Parkhouse Road Extension to Parkhouse Road should be made as a roundabout controlled intersection with Hayton Road. The use of a flush median is included where necessary to provide for intersection and property access turn movements.

(3) Local Roads

The types of local roads that should be provided are detailed below, with the location of key local roads also included in Figures 2 and 3a:

- Avenue (Loop Road) - a local road providing a ring around the town centre with an emphasis on providing a 'green' route for connecting the community and providing efficient connections to the collector network. Parts of the Avenue may include a stormwater corridor
- Local Distributors - local roads providing a function of connecting neighbourhoods and providing access to collector roads by allowing locally based through travel. Should be used for situations with increased parking and/or traffic demand.
- Residential Access - residential local roads with relatively frequent parking on both sides to assist speed control. Designed to provide for the width of three vehicles (including parking).
- Neighbourhood - narrow streets with low parking demand and low traffic volumes, typically away from activity areas, and with short lengths no greater than 200m. Designed to provide for the width of two vehicles (including parking) where the staggered parking will assist with the traffic calming of the streets.

Note: The residential access and neighbourhood roads are not included in Figures 2 and 3a to ensure there is sufficient future flexibility in the design of the road network and general neighbourhood structure. However, a key focus of those roads is to ensure that speeds are minimised through narrow carriageways facilitating shared use with cyclists and pedestrians.

(4) Limited Access to Wigram Road

Access to Wigram Road is restricted to the road connections shown on Figure 2. This is to protect the future arterial function and recognise that there will be limited points of access on the southern side of Wigram Road.

(5) Heavy Vehicles

The road network will minimise heavy vehicle traffic from the adjacent Business 4 and 5 Zones travelling through the Town Centre and residential areas.

(6) Cross - Sections

Figures 3(a) and (b) detail typical cross-sections for the Road Network. In close proximity to the Town Centre and Density A areas, the amenity provisions of the cross-sections may vary from those detailed to ensure that optimal integration with the built environment is made.

(7) On - Street Parking

On-street parking will be provided where practical. Consideration should be given to designing the parking provision on roads

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(generally excluding residential and neighbourhood roads) so that long stretches of visually wide carriageway are not created. Methods to achieve this include indenting parking bays into landscaping and providing variation of materials for the purposes of legibility and visual interest.

3. Public Transport Network

This refers to the bus route options across the site. The proposed network options are aimed at encouraging the use of public transport and maximising user patronage. This has the ability to reduce reliance on private vehicle ownership. The following describes the key elements of the public transport network:

(1) Bus Routes

Figure 1 provides routes within the transport network that are capable of accommodating two bus route options through the site.

(2) Primary Bus Route

The Primary Bus Route is generally aligned along the Collector Roads linking Parkhouse Road to Awatea Road, with a primary public transport node in the Town Centre where changes in travel mode are provided for. Further intermediate bus stops are to be located to maximise access to the number of dwellings/lots within a 500m walking distance.

(3) Secondary Bus Route

The Secondary Bus Route is protected for efficient future retrofitting in case demand increases warrants its implementation. It should generally be aligned along the Collector Roads linking Wigram Road / Aidanfield Drive to Springs Road / Corsair Drive, via the Town Centre public transport node. Adoption of the cross-sections in Figure 3(a) and (b) enable this efficient retrofitting.

4. Cycle Network

This refers to the system of cycle ways, cycle paths and linkages to and through the site. This network has a relationship with the underlying movement network and as such is integrated with the green and blue networks. There are two key types of priority cycle routes proposed (on street cycle lane and shared off-street cycle/pedestrian paths). Other streets within the development should be considered as cycle compatible due to envisaged low design speeds and low traffic volumes. The following describes the key elements of the public transport network:

(1) Priority Routes

Priority cycle routes (onstreet cycle lane and shared off-street cycle/pedestrian paths) are to be provided through and within the site that are well connected to the surrounding network and safe, generally in accordance with Figure 5.

(2) Secondary Routes

Other streets within the development should be considered as cycle compatible due to envisaged low design speeds and low traffic volumes

5. Pedestrian Network

This refers to the system of pedestrian footpaths and linkages to and through the site. This network has a relationship with the underlying movement network and land uses and as such is also integrated with the blue and green networks. The following describes the key elements of the Pedestrian Network:

(1) Town Centre

The pedestrian network makes provision for a clear pedestrian focused routes through the town centre/town square where there is a high level of supervision and natural street activity.

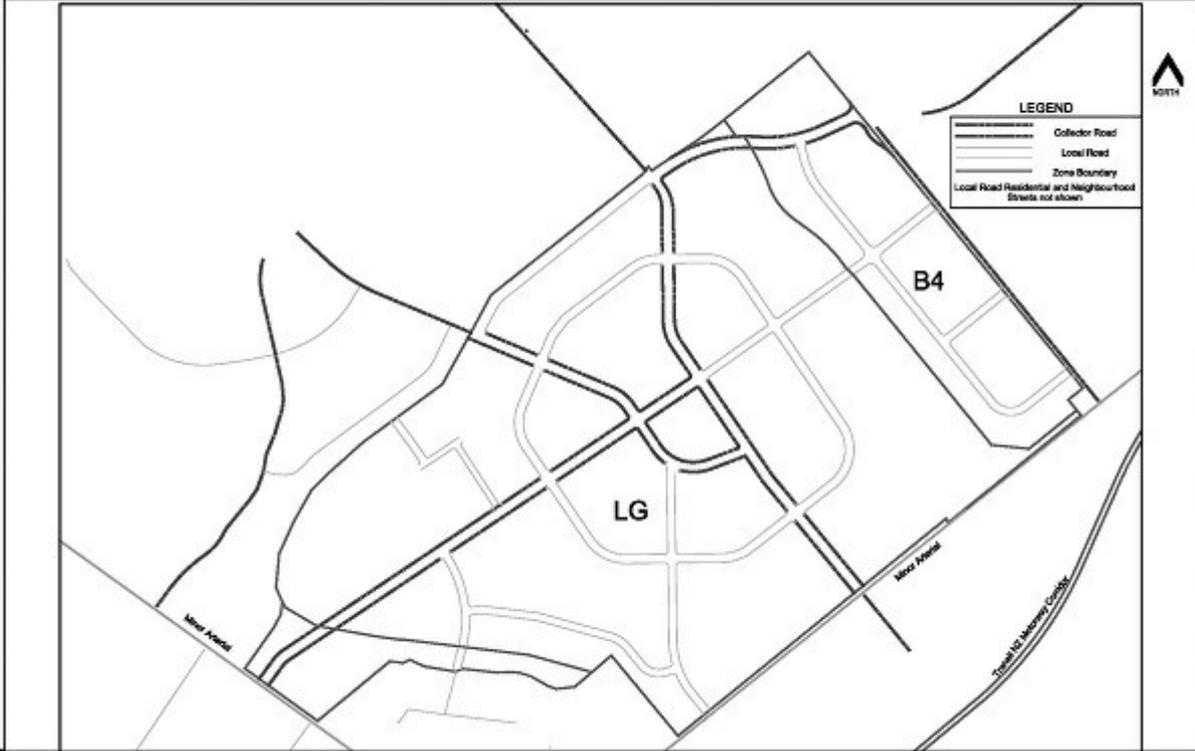
(2) Priority Routes

Priority pedestrian routes will be to be provided through and within the site that are well connected to the surrounding network and safe, generally in accordance in Figure 5.

14.10.10.4 Wigram Outline Development Plan Road Hierarchy

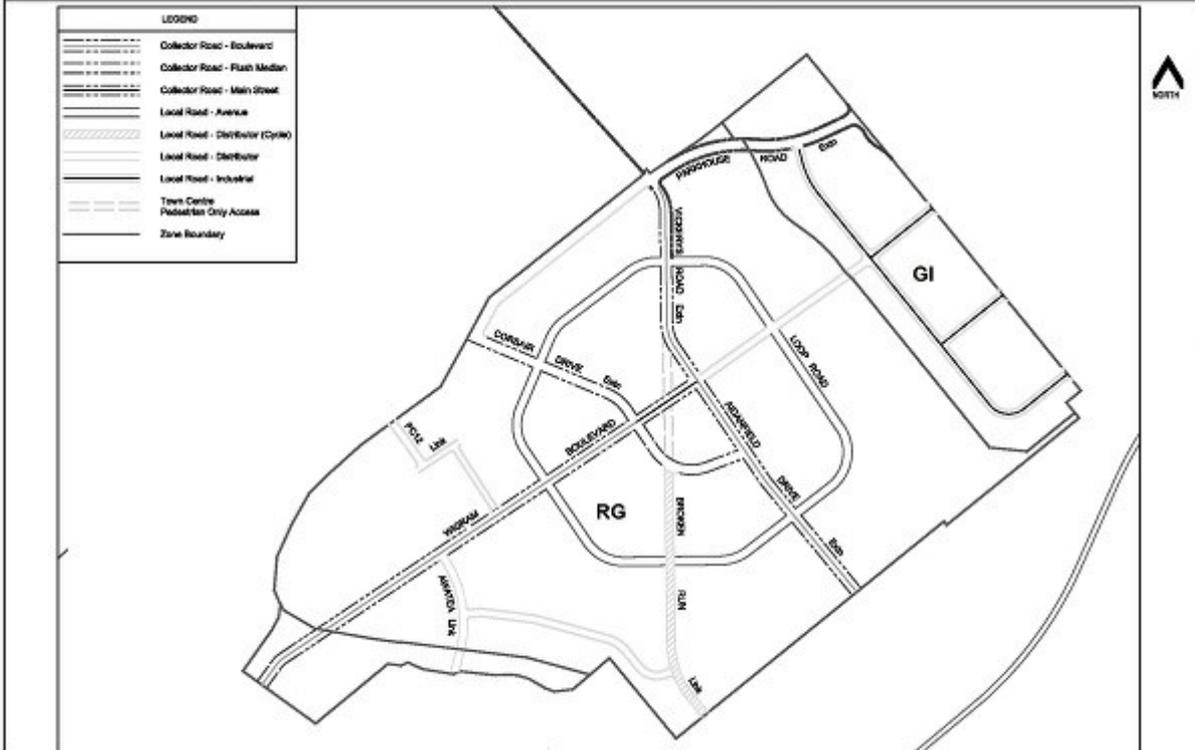
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Appendix 14.10.10.4 - Wigram Outline Development Plan - Road Hierarchy



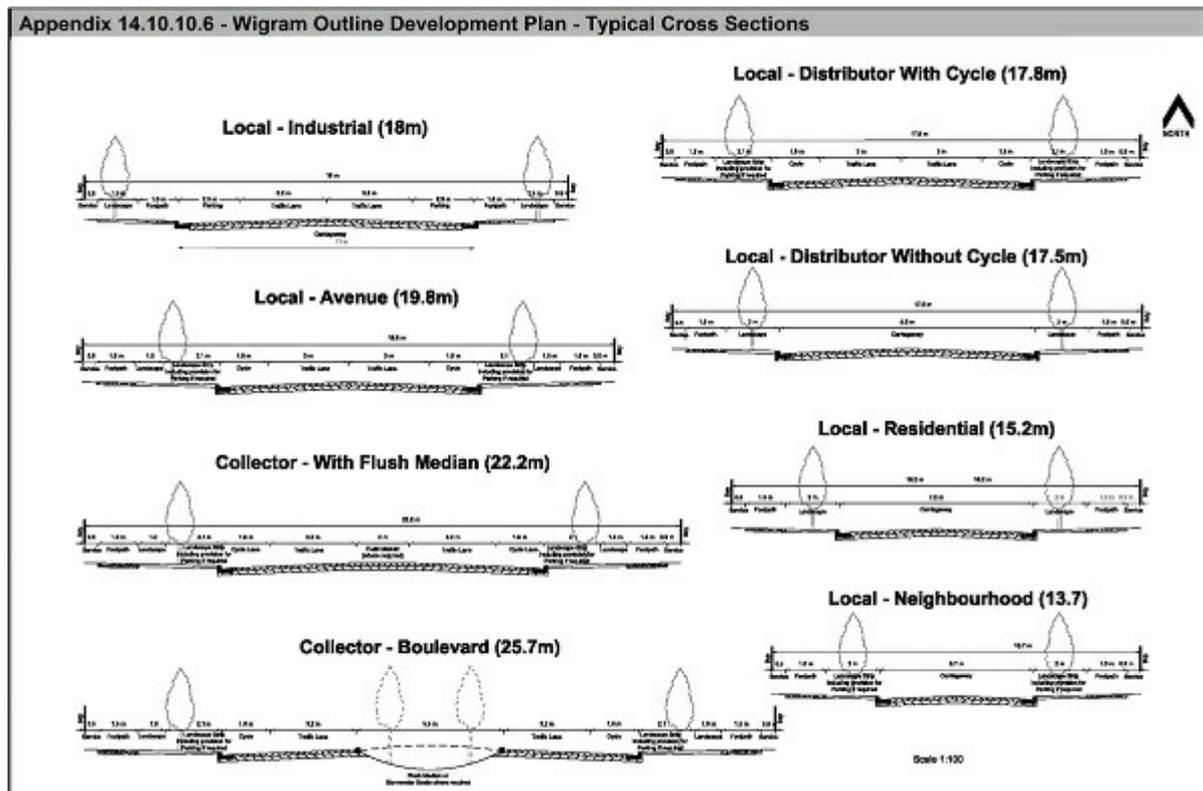
14.10.10.5 Wigram Outline Development Plan Cross Section Reference

Appendix 14.10.10.5 - Wigram Outline Development Plan - Cross Section Reference

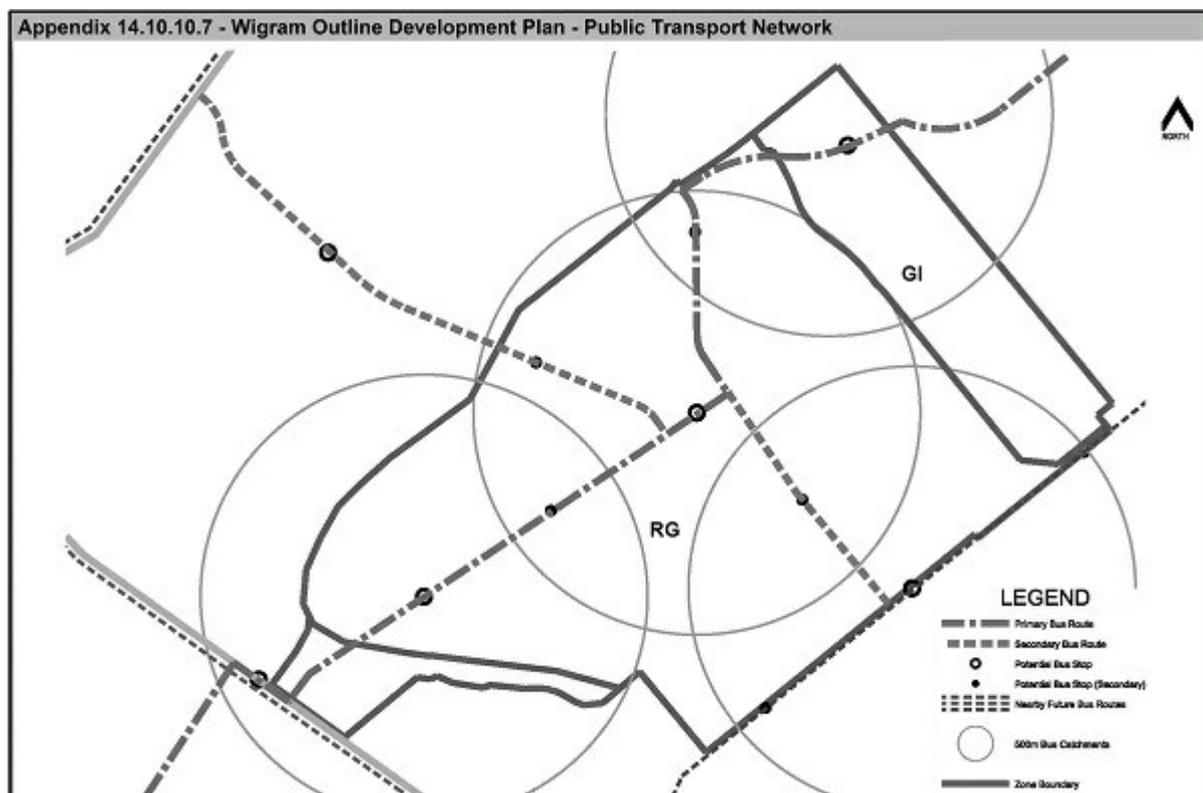


14.10.10.6 Wigram Outline Development Plan Typical Cross Sections

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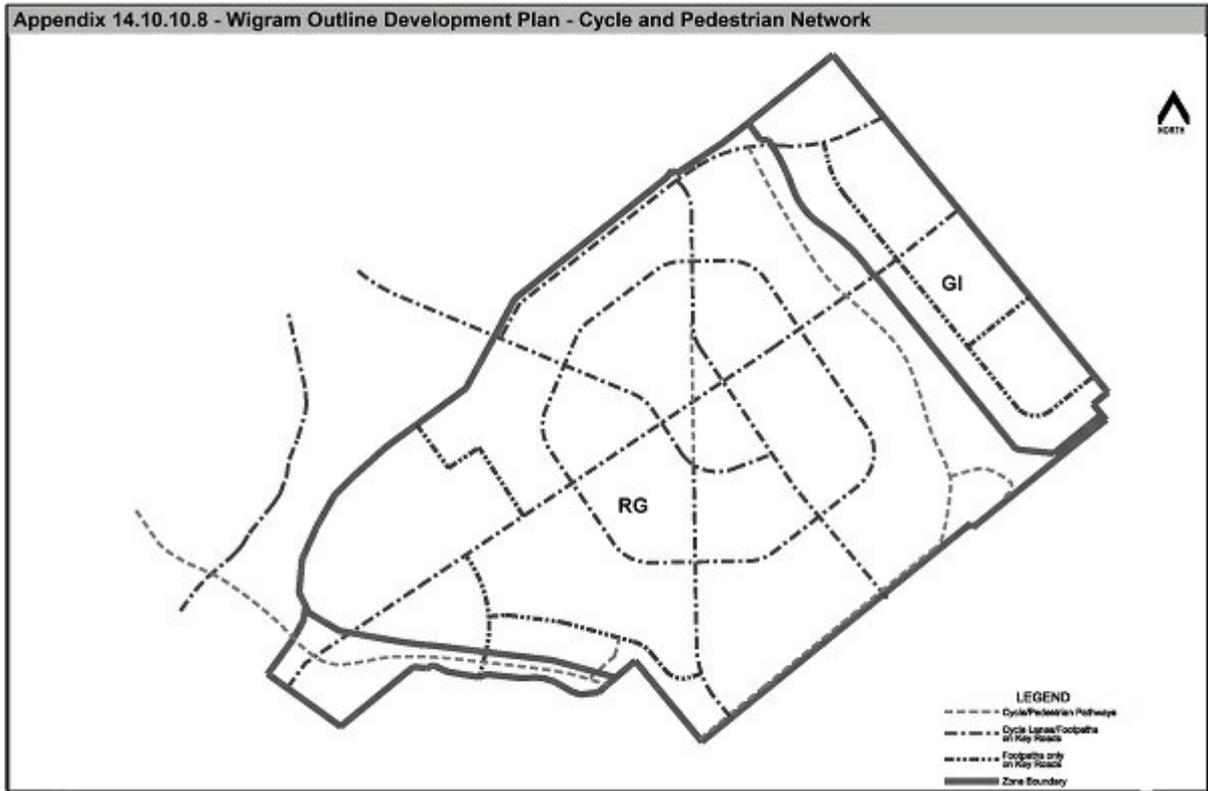


14.10.10.7 Wigram Outline Development Plan Public Transport Network

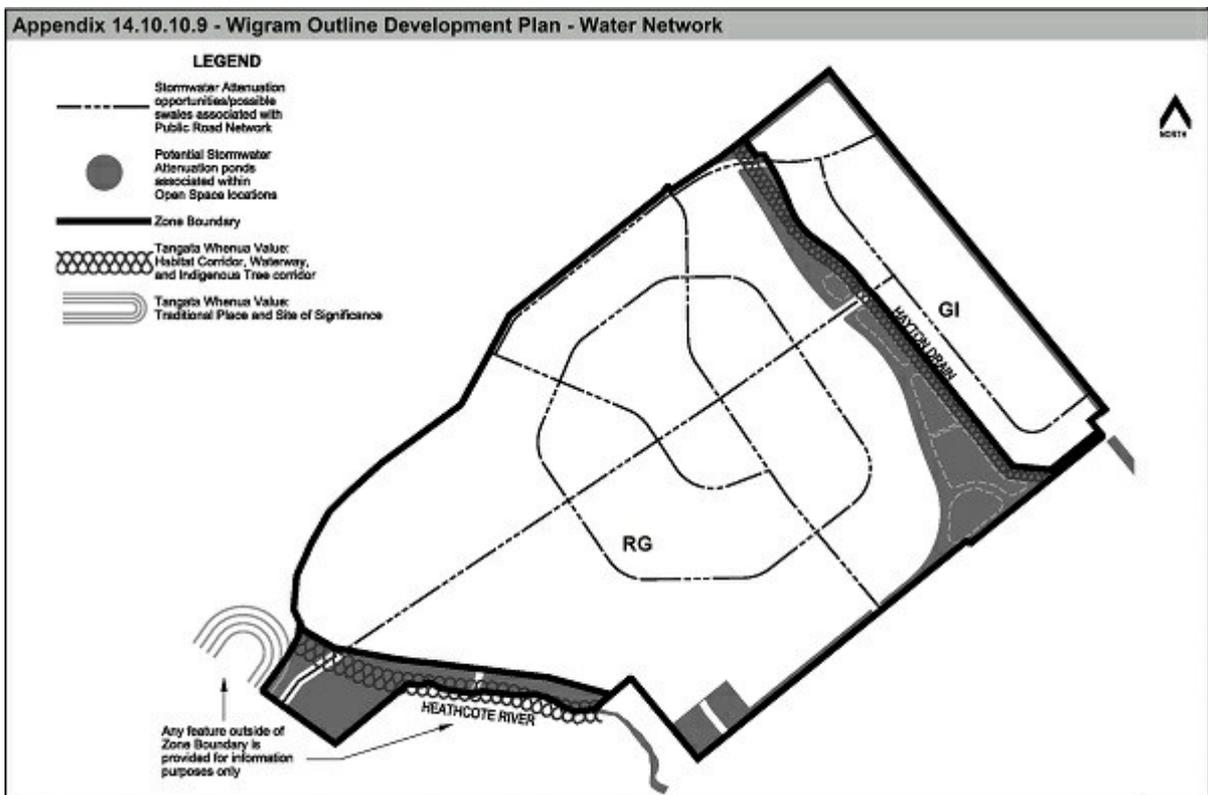


14.10.10.8 Wigram Outline Development Plan Cycle and Pedestrian Network

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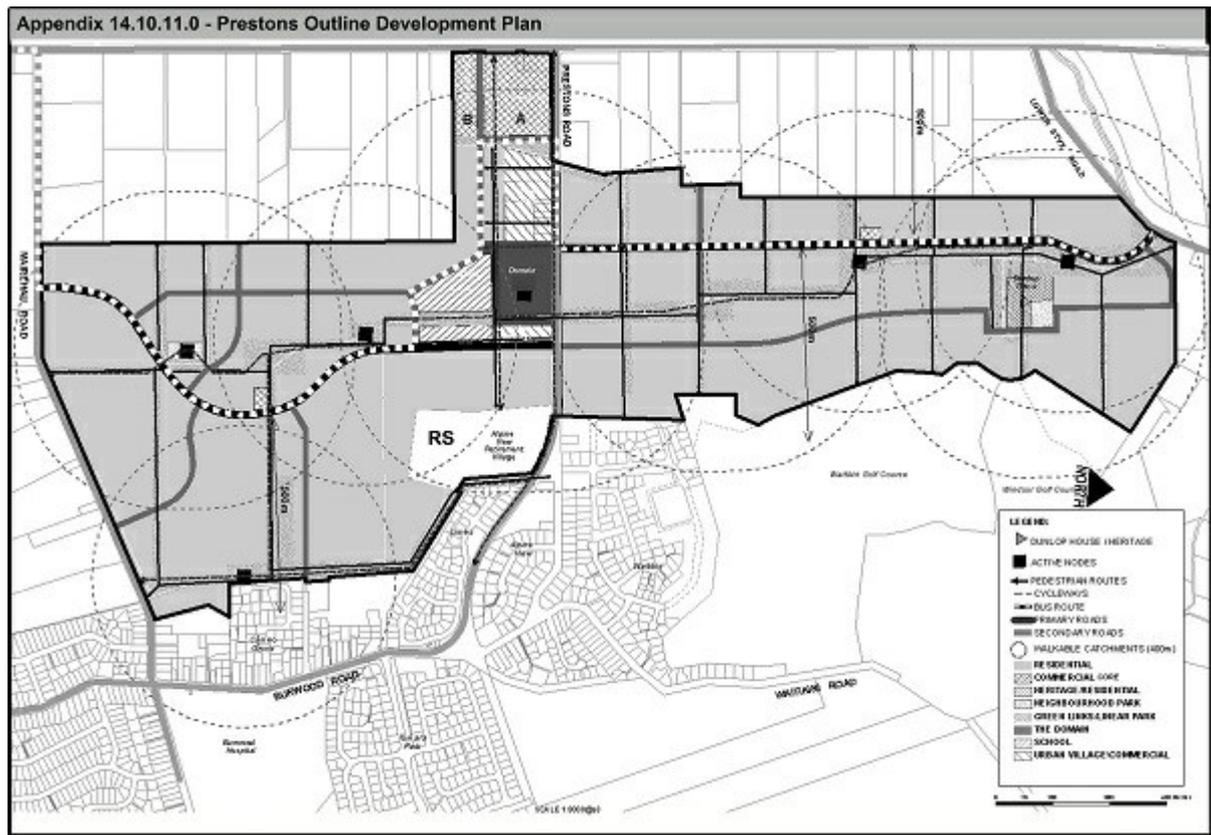


14.10.10.9 Wigram Outline Development Plan Water Network

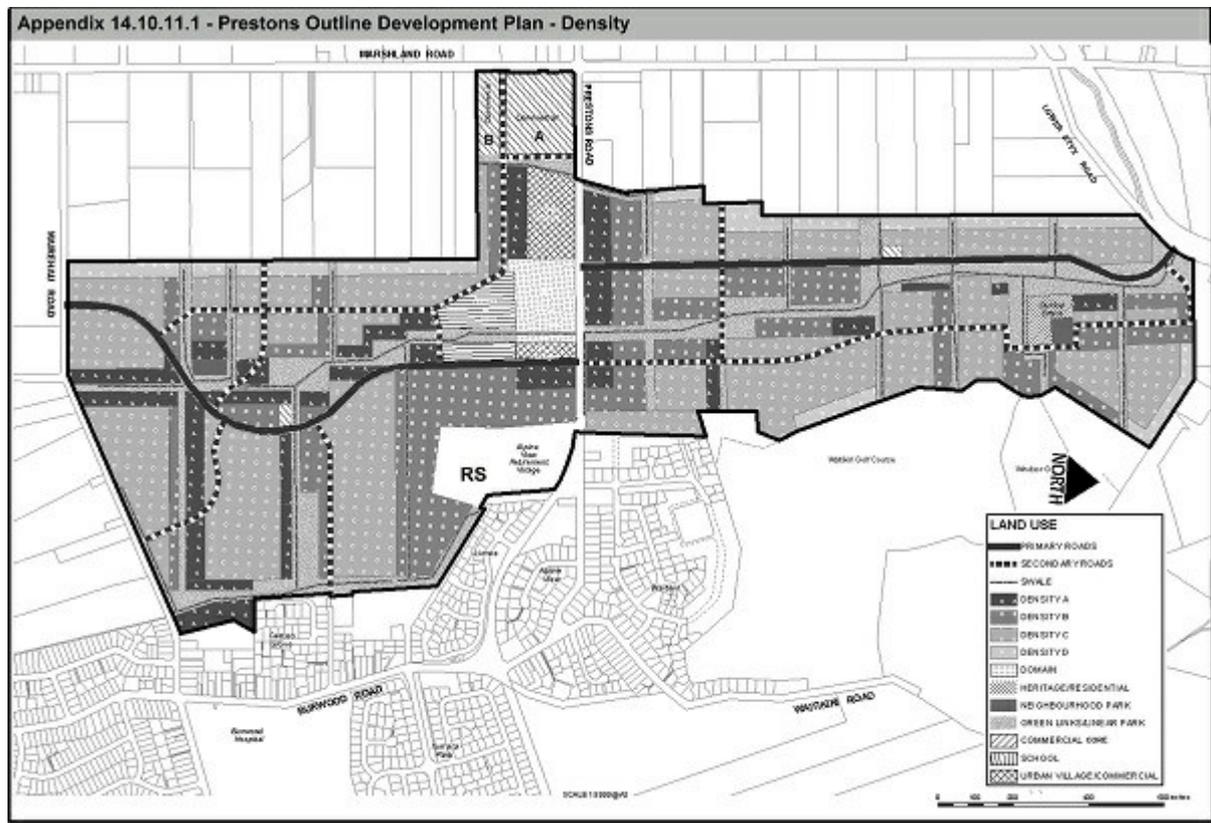


14.10.11 Prestons Outline Development Plan

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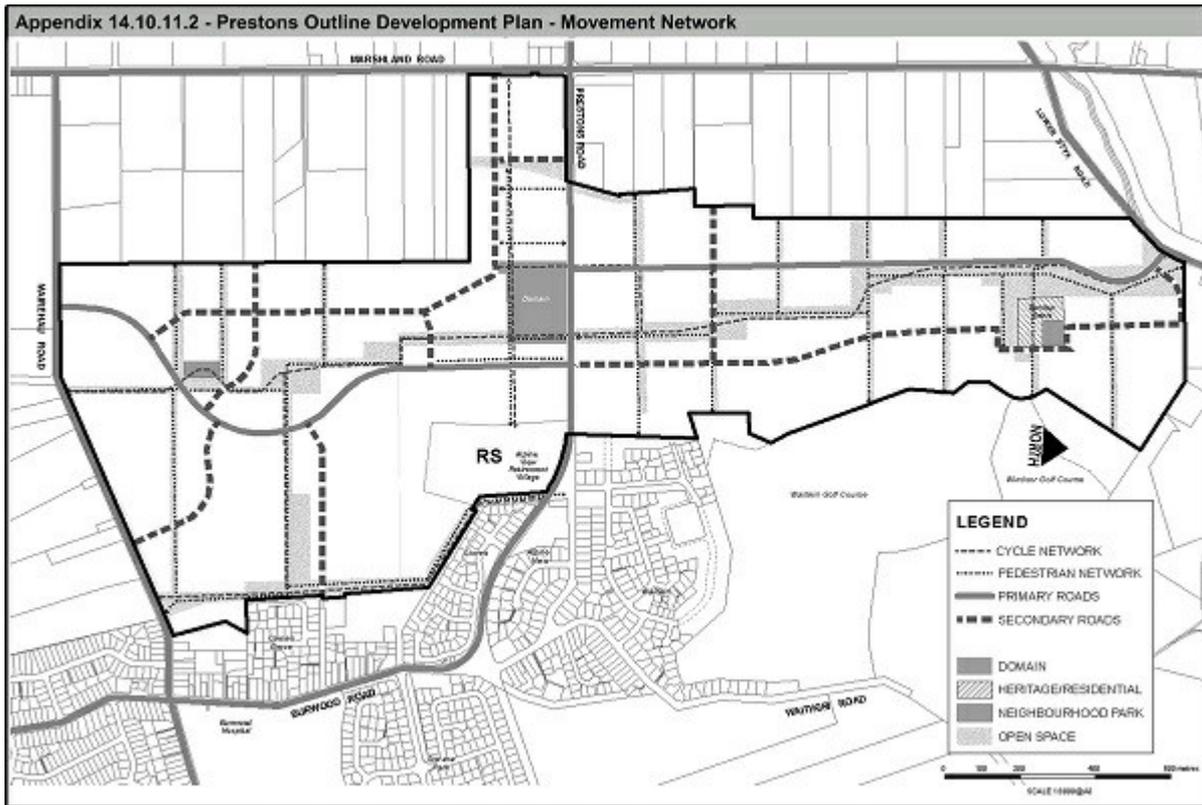


14.10.11.1 Prestons Outline Development Plan Density

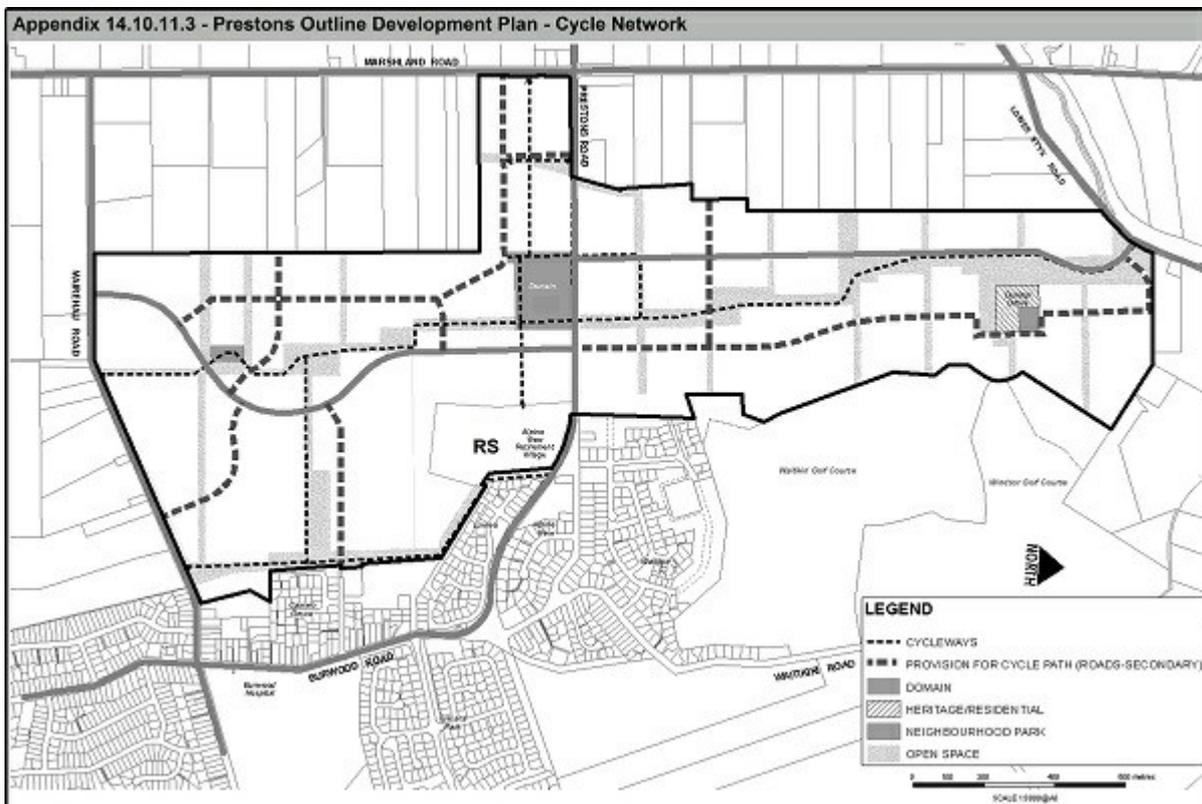


14.10.11.2 Prestons Outline Development Plan Movement Network

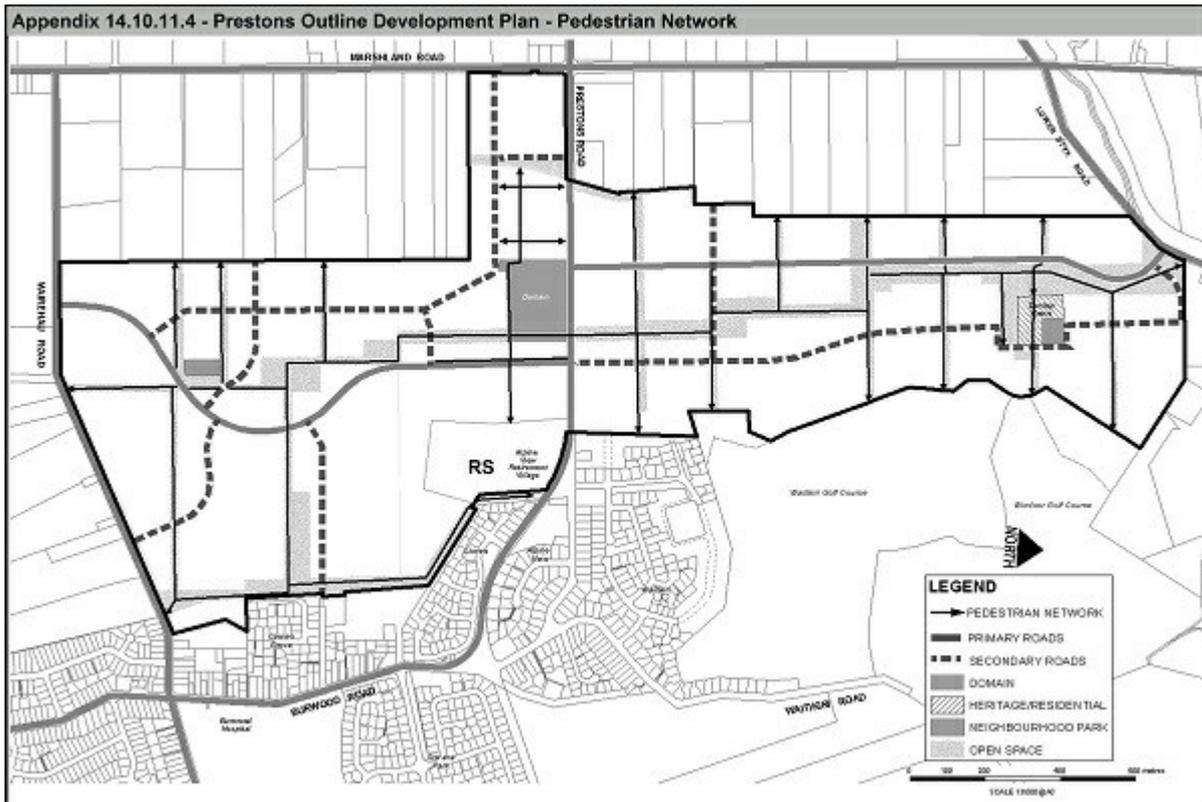
The Proposed Christchurch Replacement District Plan



14.10.11.3 Prestons Outline Development Plan Cycle Network



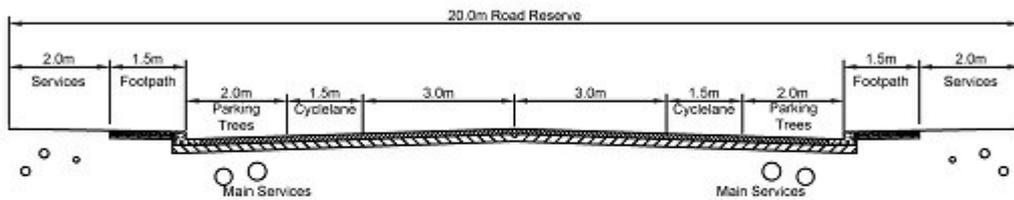
14.10.11.4 Prestons Outline Development Plan Pedestrian Network



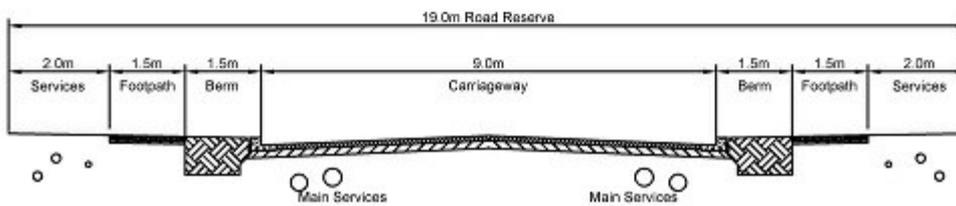
14.10.11.5 Prestons Outline Development Plan Master Plan Road

Appendix 14.10.11.5 - Prestons Outline Development Plan - Master Road Plan

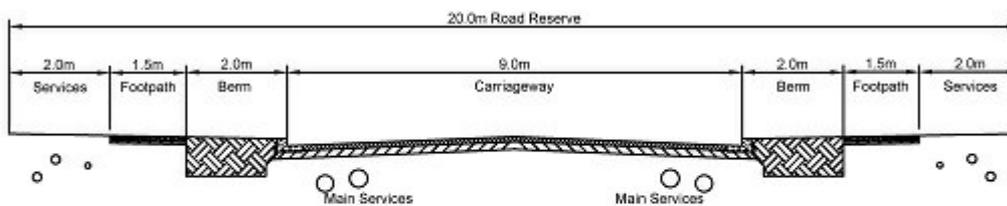
COLLECTOR ROAD (PRIMARY MASTERPLAN ROAD)



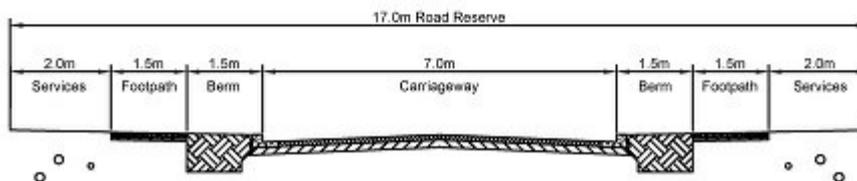
LOCAL ROAD (SECONDARY MASTERPLAN ROAD)



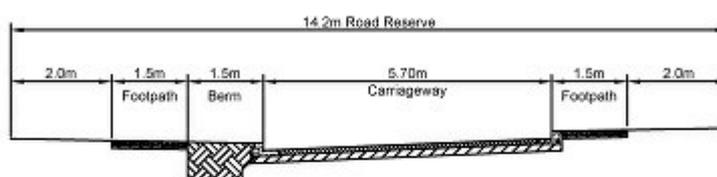
LOCAL ROAD (SECONDARY MASTERPLAN ROAD, FUTURE PROOF OPTION)



LOCAL ROAD (TERTIARY MASTERPLAN ROAD)

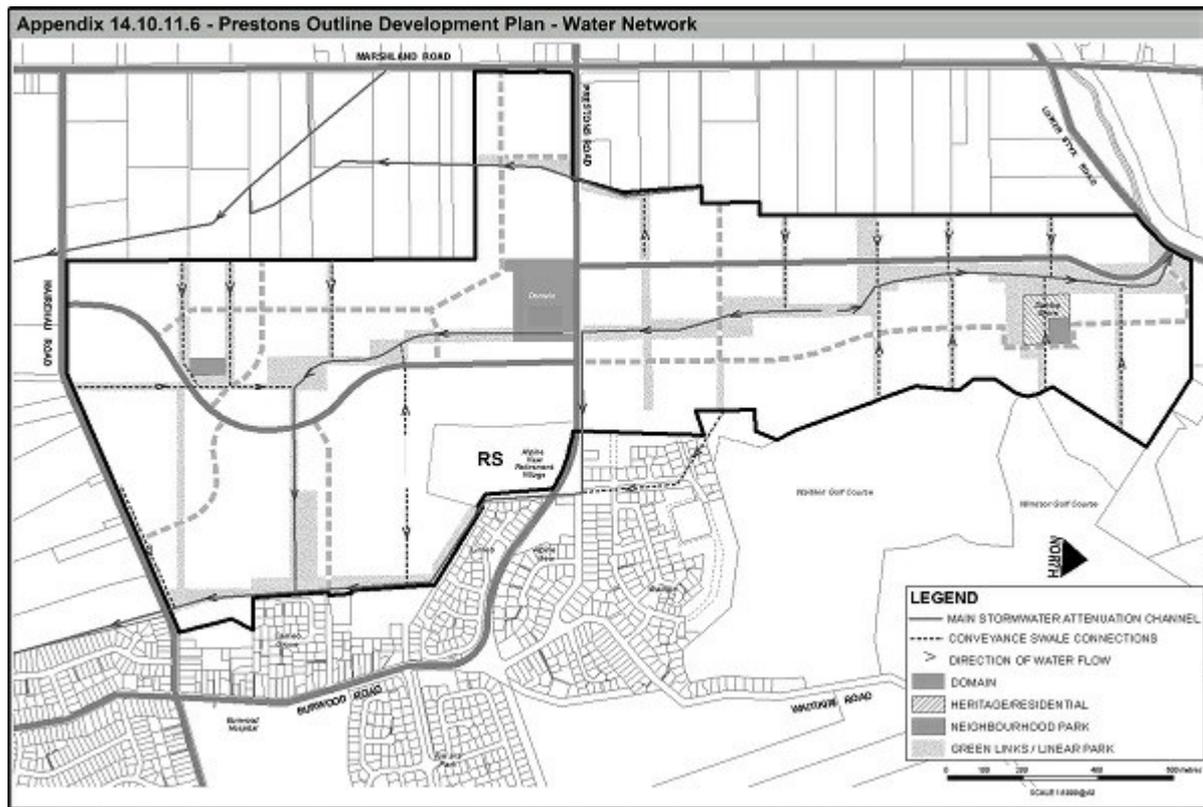


NEIGHBOURHOOD ROAD (TERTIARY MASTERPLAN ROAD)

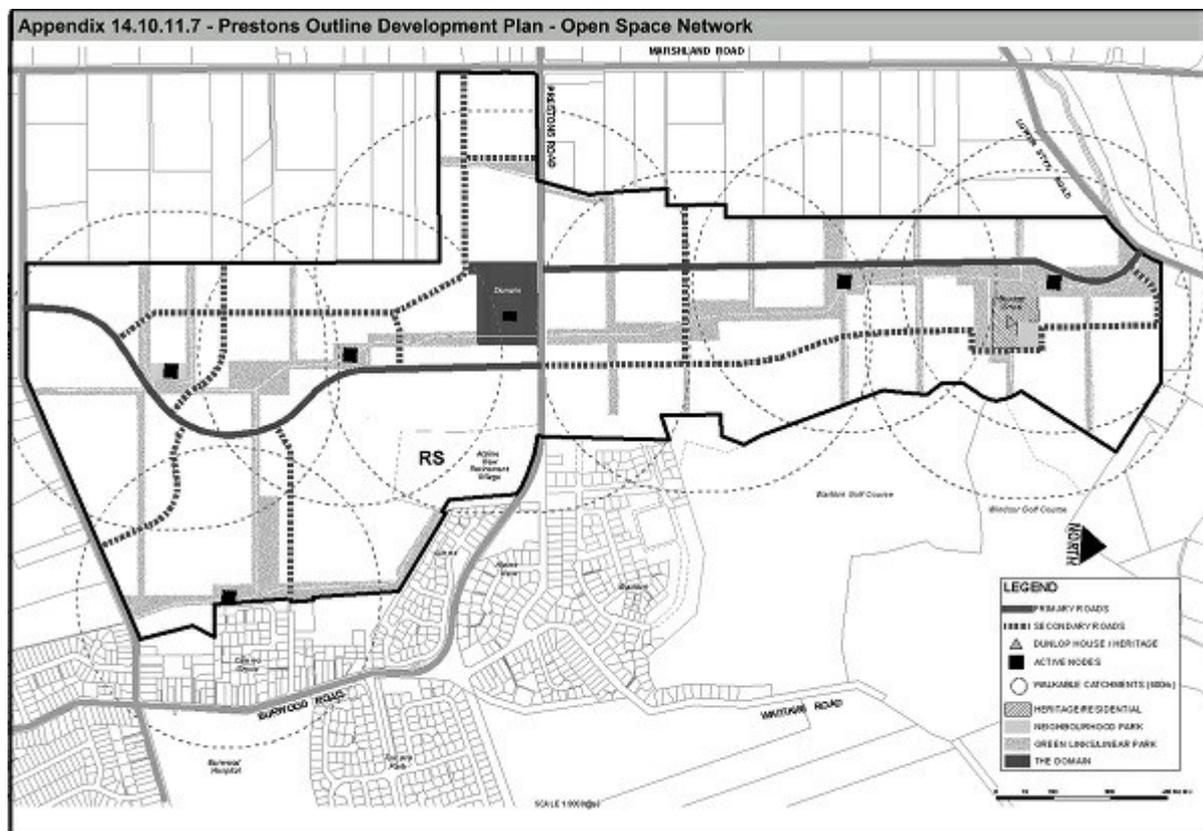


* 'Future Proof Option' shall apply to the two east-west secondary roads that connect the north-south primary roads with the western boundary of the Living G (Prestons) zone, as shown on the Movement Network Layer Diagram. This typology includes a wider berm than the standard secondary road to allow for potential widening of the carriageway in the even such works are required to accommodate future increases in traffic flows.

14.10.11.6 Prestons Outline Development Plan Water Network



14.10.11.7 Prestons Outline Development Plan Open Space Network



14.10.11.8 Prestons Outline Development Plan Planting List

Large Native Trees	
Dacrydium cupressinum	rimu
Podocarpus totara	totara
Prumnopitys taxifolia	matai
Large Exotic Trees	
Acer campestre	field maple
Alnus Glutinosa	black alder
Liquidambar styraciflua	liquidambar
Platanus orientali	'autumn glory' plane tree
Quercus coccinea	scarlet oak
Quercus palustris	pin oak
Tilia cordata	small-leaved lime
Small Native Trees	
Dodonea viscosa	akeake
Kunzea ericoides	kanuka
Leptospermum scoparium	manuka
Plagianthus regius manatu	lowland ribbonwood
Sophora microphylla	south island kowhai
Native Shrubs and Small Trees >1.2m	
Coprosma propinqua	mikimiki
Coprosma robusta	karama
Coprosma aff.	mikimiki (shrub)
Cordyline australis ti kouka	kouka/cabbage tree
Griselinia littoralis	kapuka/broadleaf
Hebe salicifolia	koromiko (shrub)
Hoheria angustifolia	hohere/narrow-leaved lacebark
Lophomyrtus obcordata	rohutu/nz murtle
Melicope simplex	poataniwha (shrub)
Melicytus ramiflorus	mahoe
Myrsine divaricata	weeping mahout
Olearia paniculata	golden akeake/akiraho
Pennantia corymbosa	kaikomako
Phomium tenax	harakeke
Pittosporum tenuifolium	kohuhu/black matipo/tawhiro
Pseudopanax crassifolius	horoeka/lancewood
Native Shrubs <1.2m	
Anemanthele lessoniana	hunangamoho/wind grass
Astelia fragrans	kakaha/bush lily
Carex buchananii	purei
Carex testacea speckled sedge	speckled sedge
Cyperus ustulatus	toetoe upotangata
Dainella nigra	inkberry
Festuca novae-zelandiae	fescue tussock
Haloragis erecta	toatoa
Hypericumm gramineum	new zealand st johnswort
Libertia ixioides	mikoikoi/nz iris
Poa cita	silver tussock

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Poa colensoi	blue tussock
Polystichum richardii	pikopiko/black shield fern
Uncinia uncinata	hook-sedge

14.10.11.9 Prestons Outline Development Plan Accidental Discovery Protocol



ACCIDENTAL DISCOVERY PROTOCOLS (ADPs) for ARCHAEOLOGY

Under the *Historic Places Act 1993* (the Act) an archaeological site is defined as any place associated with pre-1900 human activity, where there is material evidence relating to the history of New Zealand. For sites solely of Maori origin, this evidence may be in the form of accumulations of shell, bone, charcoal, burnt stones, etc. In later sites, artefacts such as bottles or broken glass, ceramics, metal, etc. may be found or evidence of old foundations, wells, drains, tailings, races or other structures. Human remains / koiwi may date to any historic period.

It is unlawful for any person to destroy, damage or modify the whole or any part of an archaeological site without the prior authority of the New Zealand Historic Places Trust. This is the case regardless of the legal status of the land on which the site is located, whether the activity is permitted under the District or Regional Plan or whether a resource or building consent has been granted. The Act provides for substantial penalties for unauthorised damage or destruction.

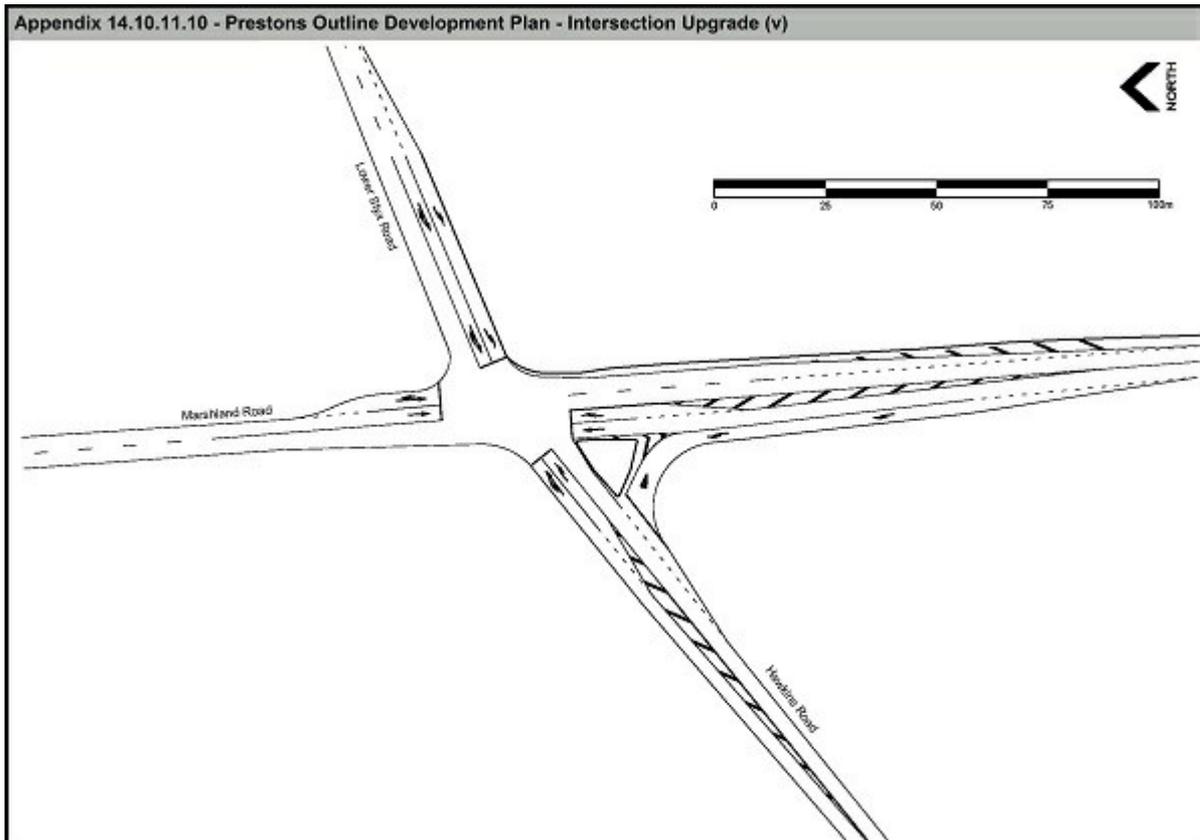
- A. Prior to commencement of any works, it is the responsibility of the developer (or land owner) to:
- provide to the Regional Archaeologist of the NZ Historic Places Trust (NZHPT) information clearly outlining the location and extent of works and contact details for the site manager;
 - provide a copy of these ADPs and contact details for the Regional Archaeologist of the NZHPT to the site manager, who will ensure all contractors working on site are briefed about the appearance of archaeological remains and the protocols that apply should archaeological remains be located;
 - inform the Regional Archaeologist of the NZHPT of the start date of any works. This is to ensure that if any archaeological material is located, decisions may be made in good time.
- B. In the event of an 'accidental discovery' of archaeological remains, the following steps shall be taken:
1. All activity affecting the immediate area will cease and the Regional Archaeologist of the NZHPT will be notified without delay.
 2. The site will be secured to ensure that archaeological remains are not further disturbed.
 3. Works affecting archaeological remains will not recommence until either:
 - a. the Regional Archaeologist of the NZHPT has confirmed in writing that the archaeological provisions of the *Historic Places Act 1993* do not apply;
 - b. or the requirements of the archaeological provisions of the *Historic Places Act 1993* have been met and, if required, an archaeological authority has been granted by the NZHPT.
 4. If human remains / koiwi are located, in addition to steps 1 to 3 above, the Runanga representative for the area and the New Zealand Police must be contacted.
- C. Once works are completed, if no archaeological remains have been located, the developer / land owner should confirm this in writing to the Regional Archaeologist of the NZHPT.

Contact details for the NZHPT Southern Regional Office archaeologist (Canterbury / West Coast):

Email: archaeologistcw@historic.org.nz Phone: 03 365 2897 or 365 0805 Fax: 03 374 2433

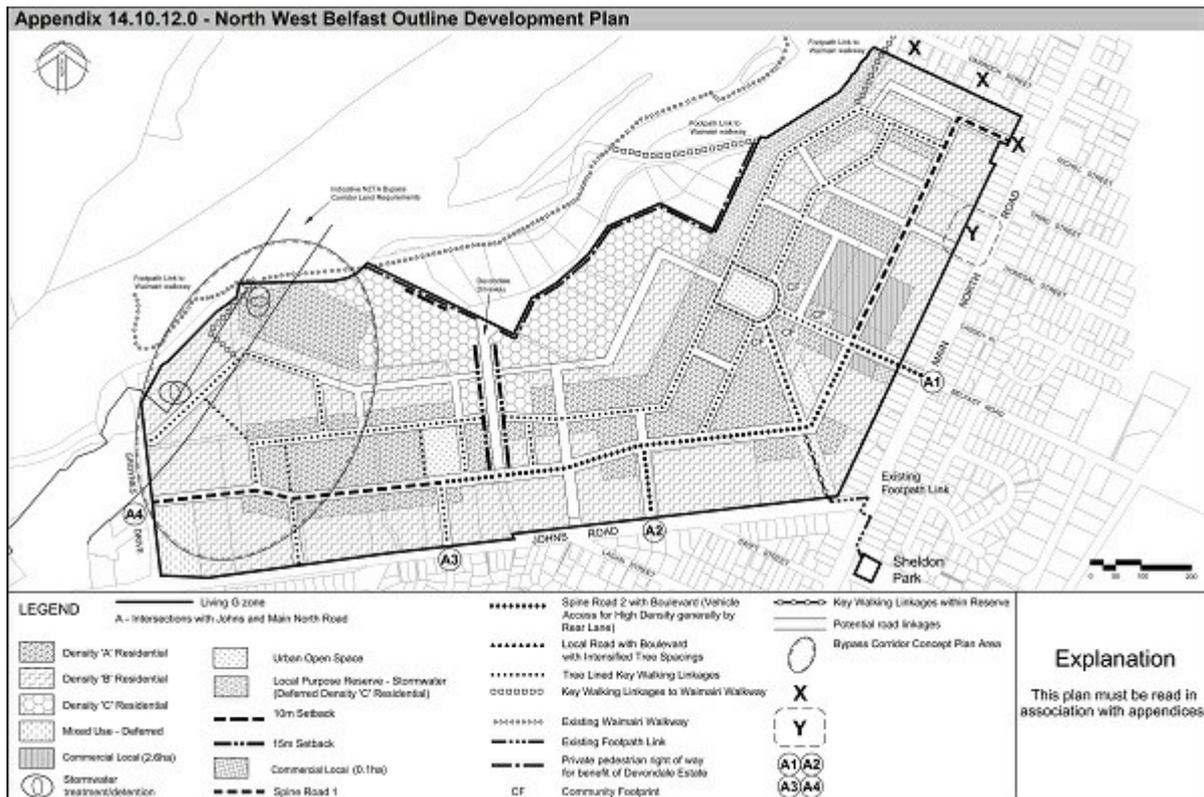
New Zealand Historic Places Trust / Pouhere Taonga
Gough House, 90 Hereford Street / PO Box 4403, Christchurch 8140
www.historic.org.nz

14.10.11.10 Prestons Outline Development Plan Intersection Upgrade V

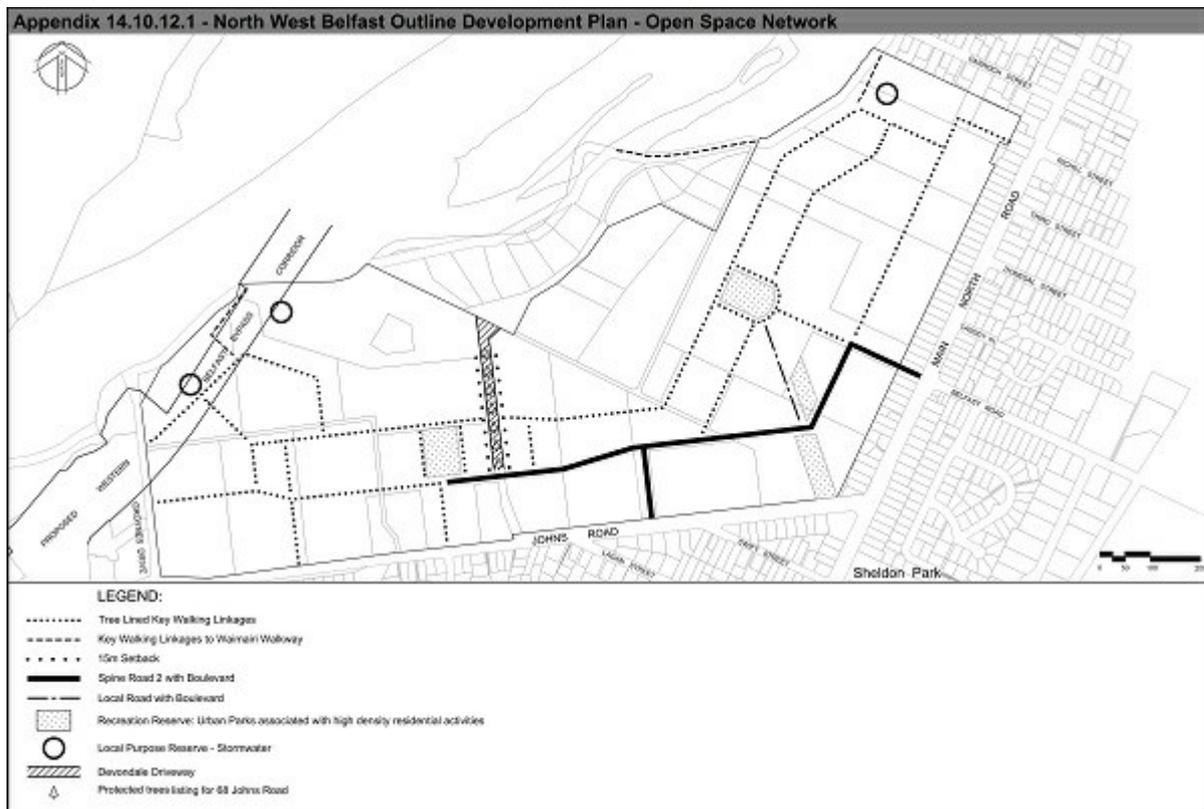


14.10.12.0 North West Belfast Outline Development Plan Densities and Key Infrastructure

The Proposed Christchurch Replacement District Plan

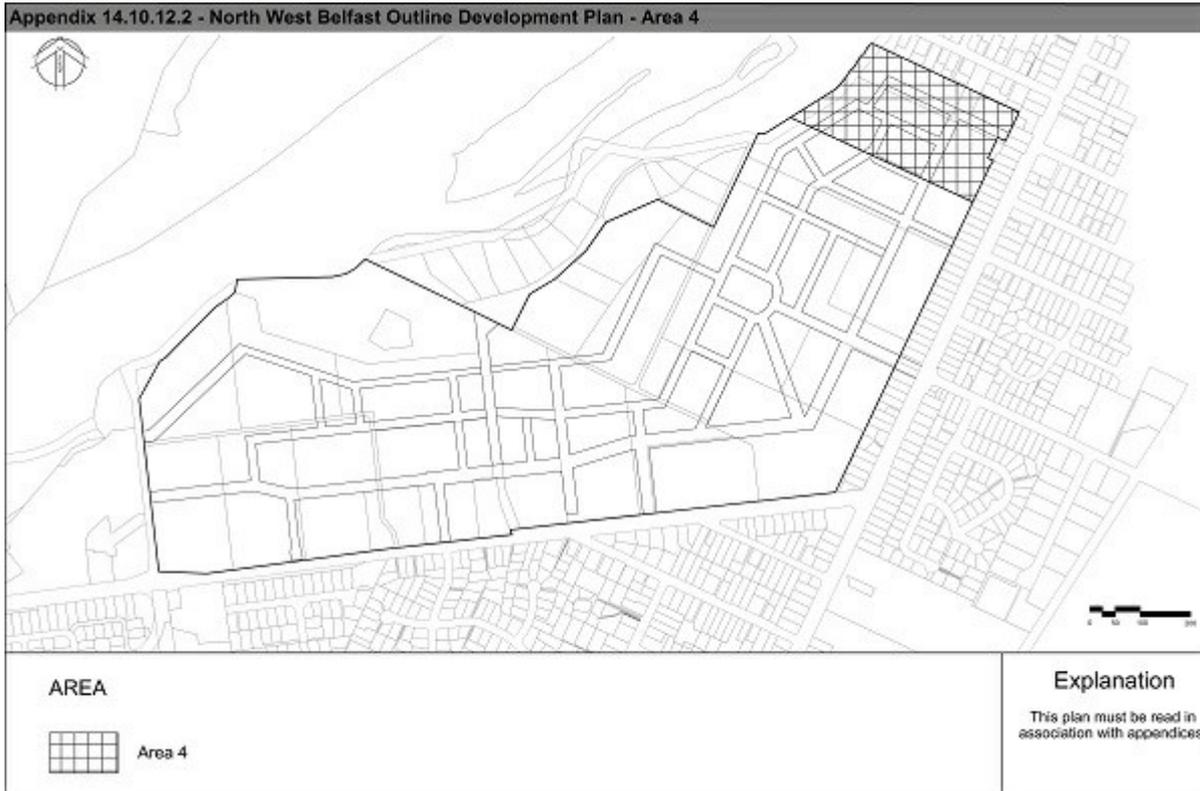


14.10.12.1 North West Belfast Outline Development Plan Open Space Network

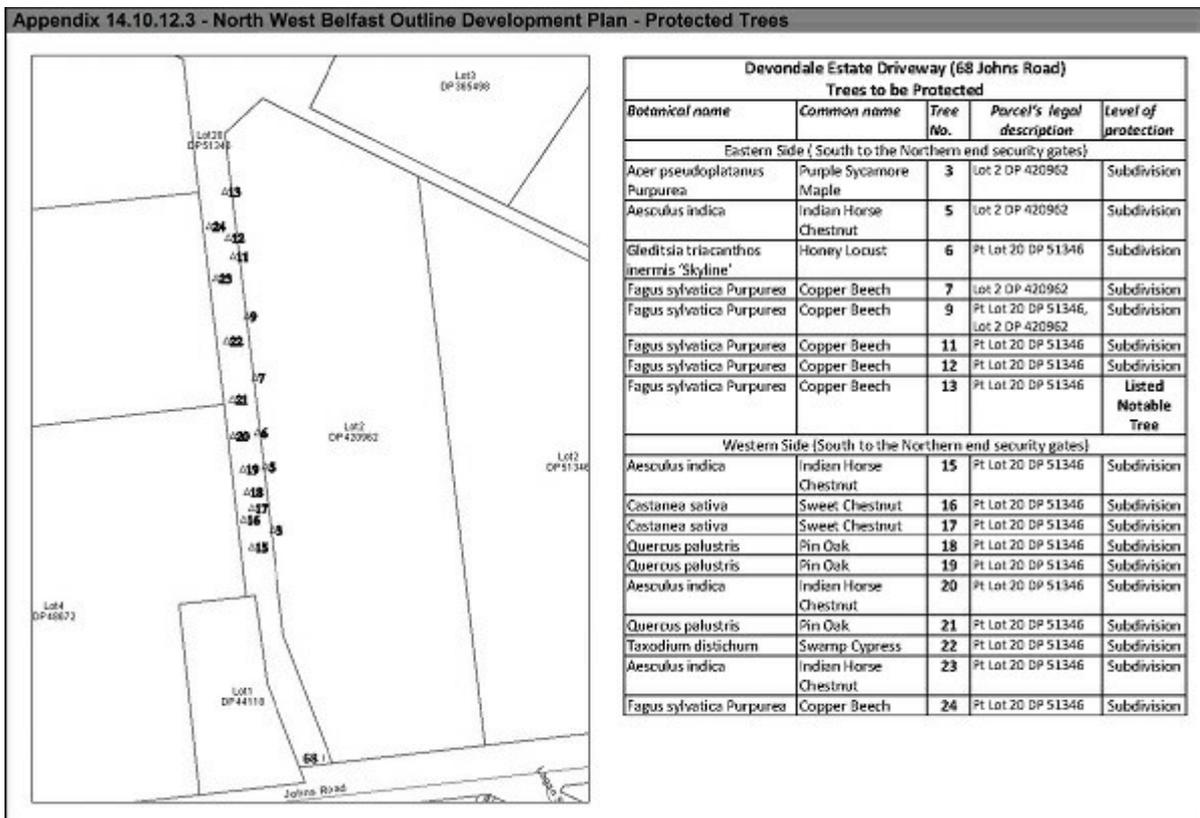


14.10.12.2 North West Belfast Outline Development Plan - Area 4

The Proposed Christchurch Replacement District Plan

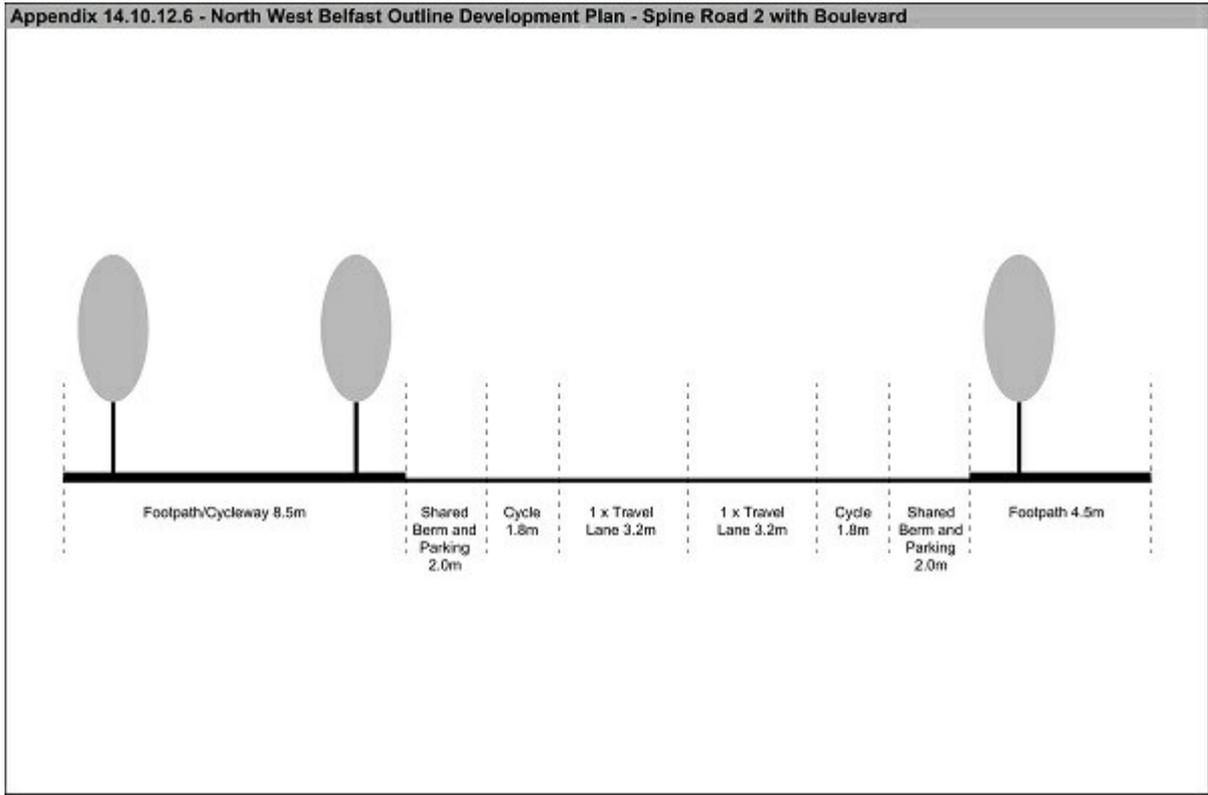


14.10.12.3 North West Belfast Outline Development Plan Protected Trees

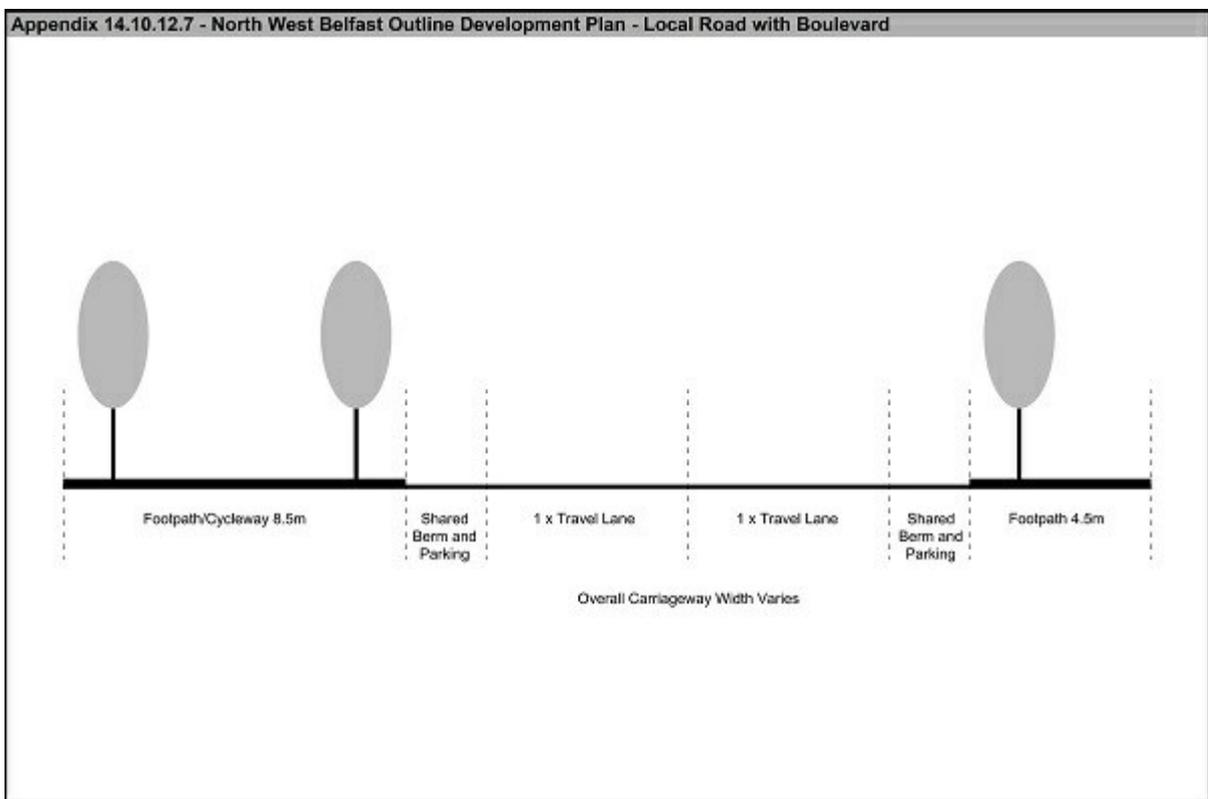


14.10.12.4 North West Belfast Outline Development Plan Water Network

The Proposed Christchurch Replacement District Plan

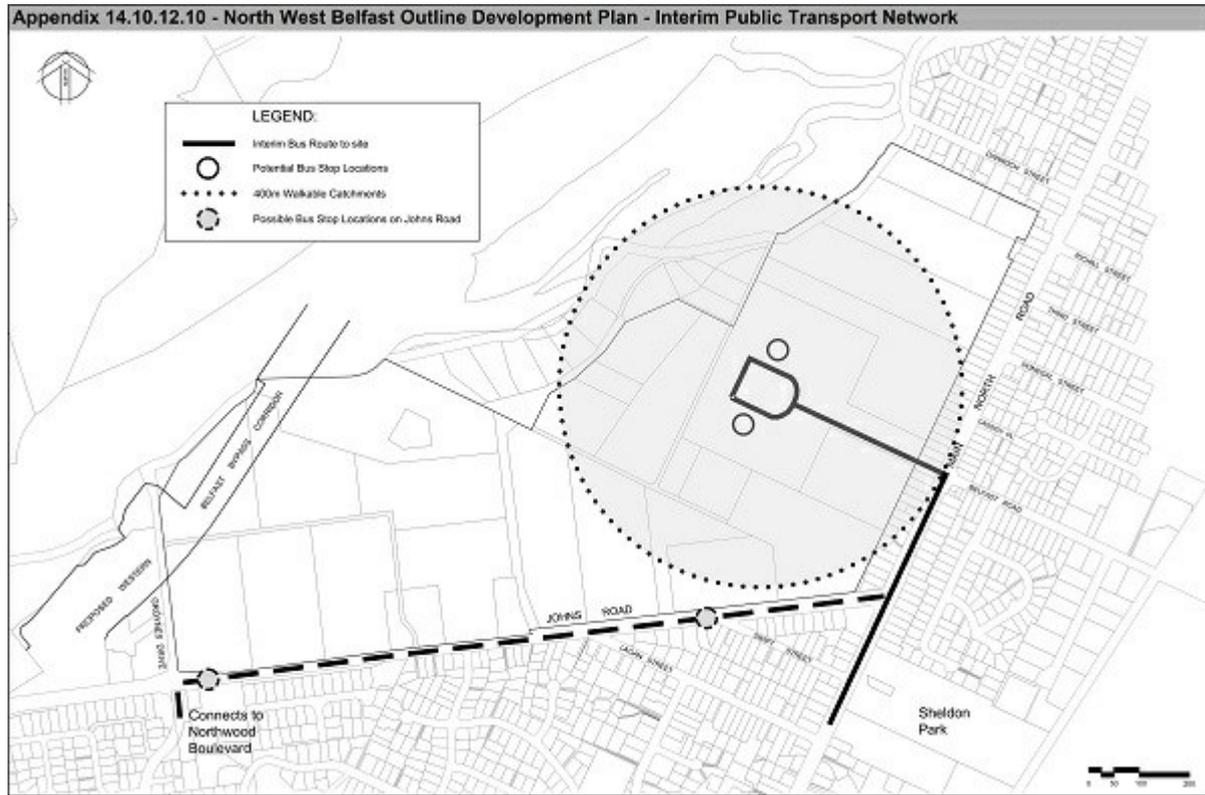


14.10.12.7 North West Belfast Outline Development Plan Local Road with Boulevard

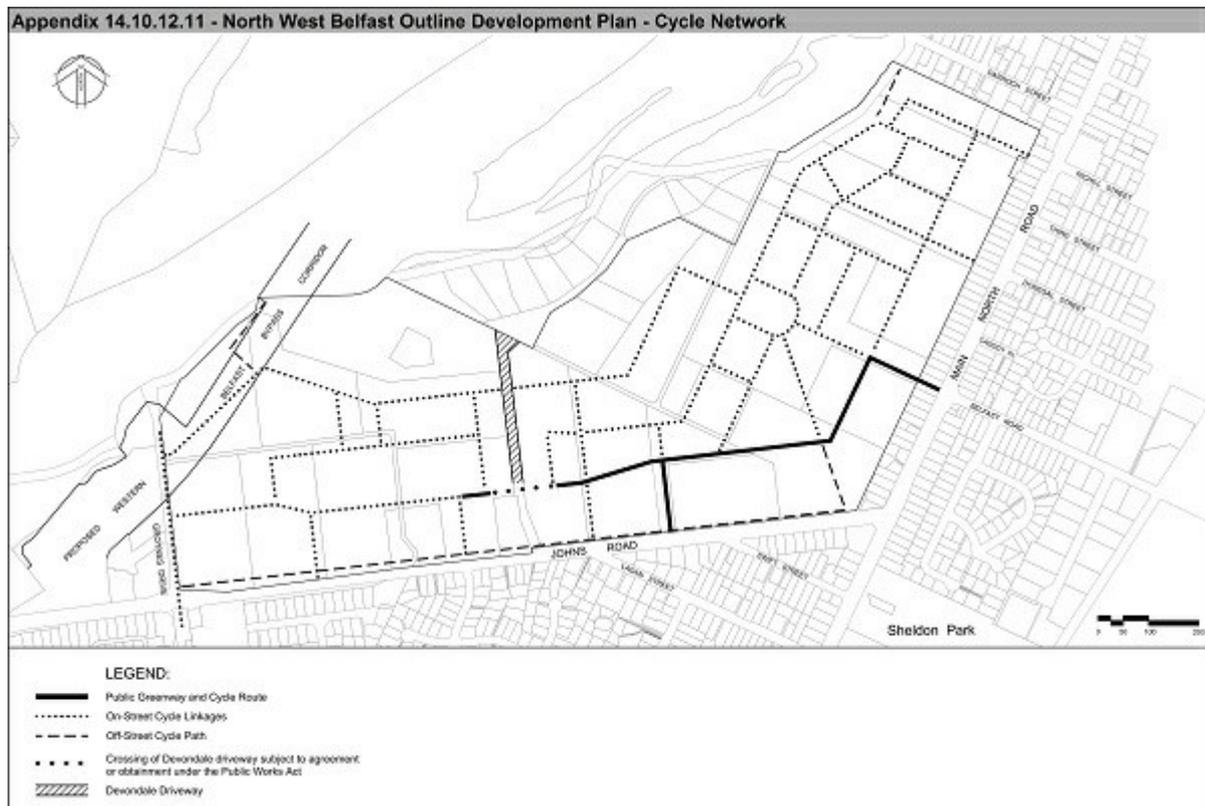


14.10.12.8 North West Belfast Outline Development Plan Transportation - Spine

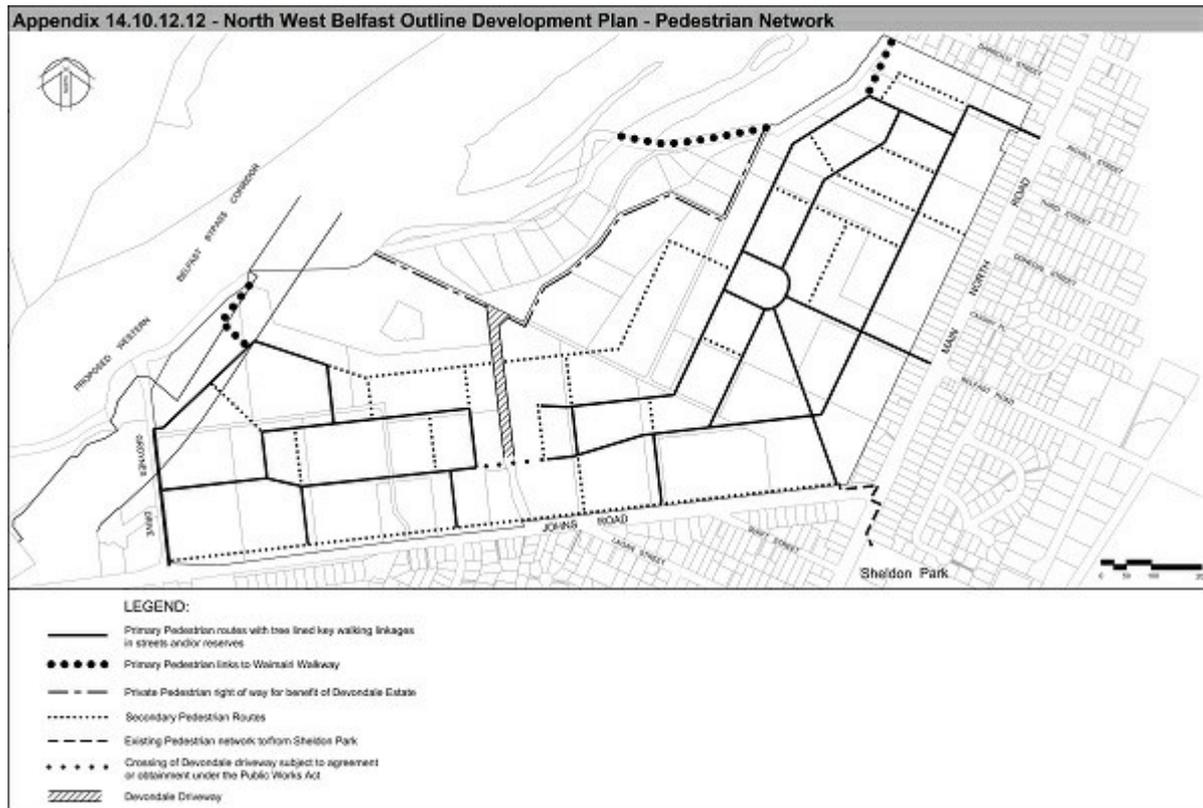
14.10.12.10 North West Belfast Outline Development Plan Interim Public Transport Network



14.10.12.11 North West Belfast Outline Development Plan Cycle Network



14.10.12.12 North West Belfast Outline Development Plan Pedestrian Network

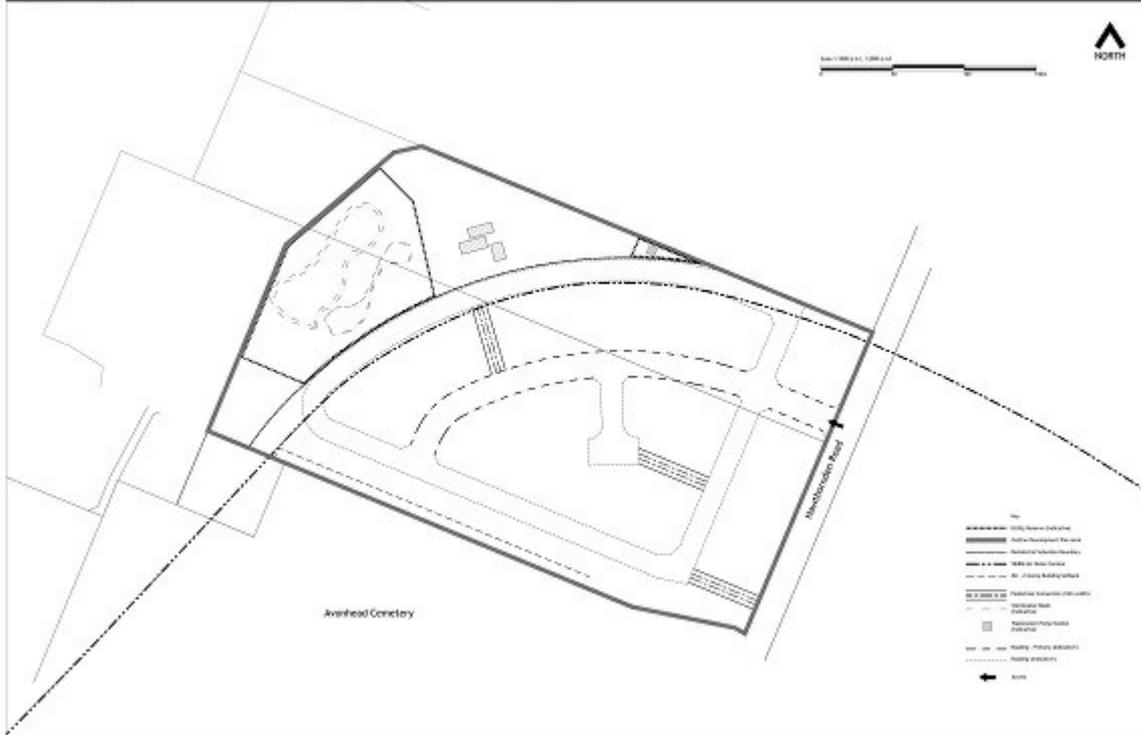


14.10.13 Hawthorndon Road Outline Development Plan

14.10.13 Hawthornden Road Outline Development Plan

The Proposed Christchurch Replacement District Plan

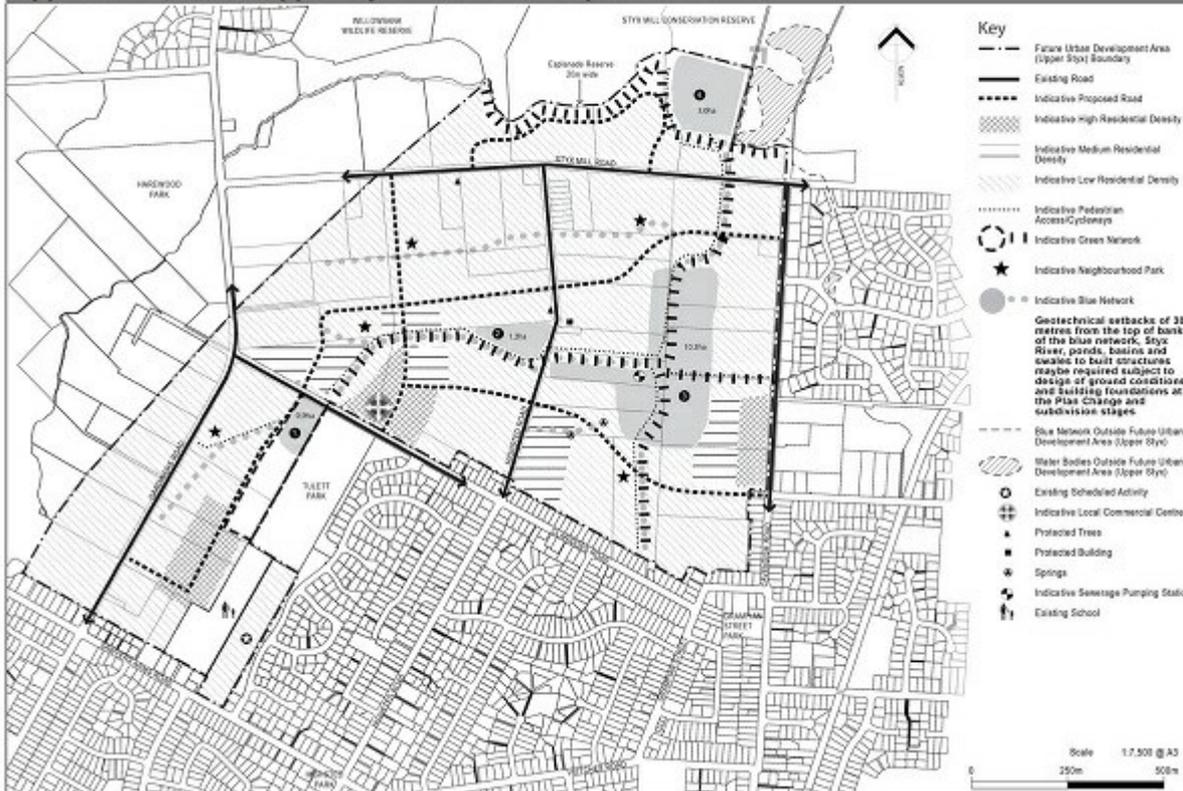
Appendix (), Outline Development plan (Hawthornden Road)



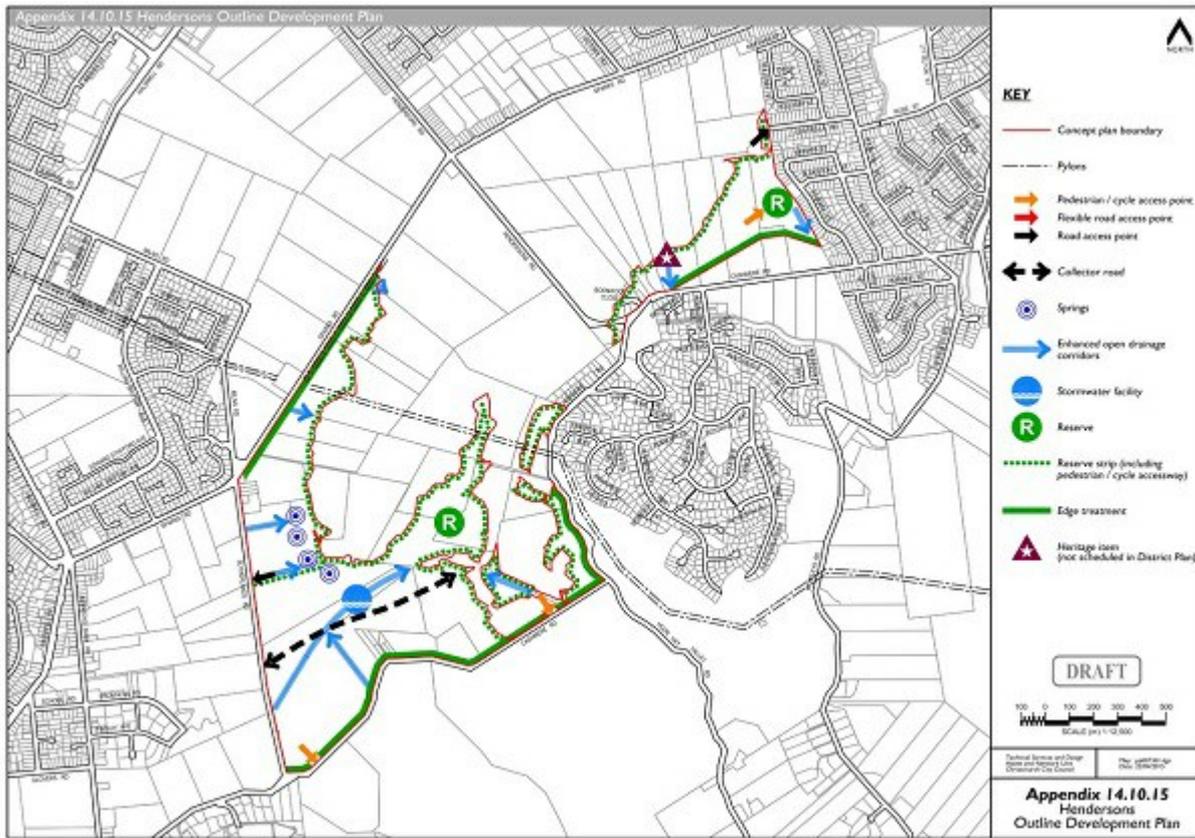
14.10.14 Upper Styx Outline Development Plan

14.10.14 Upper Styx Outline Development Plan

Appendix 14.10.14 - Upper Styx Outline Development Plan

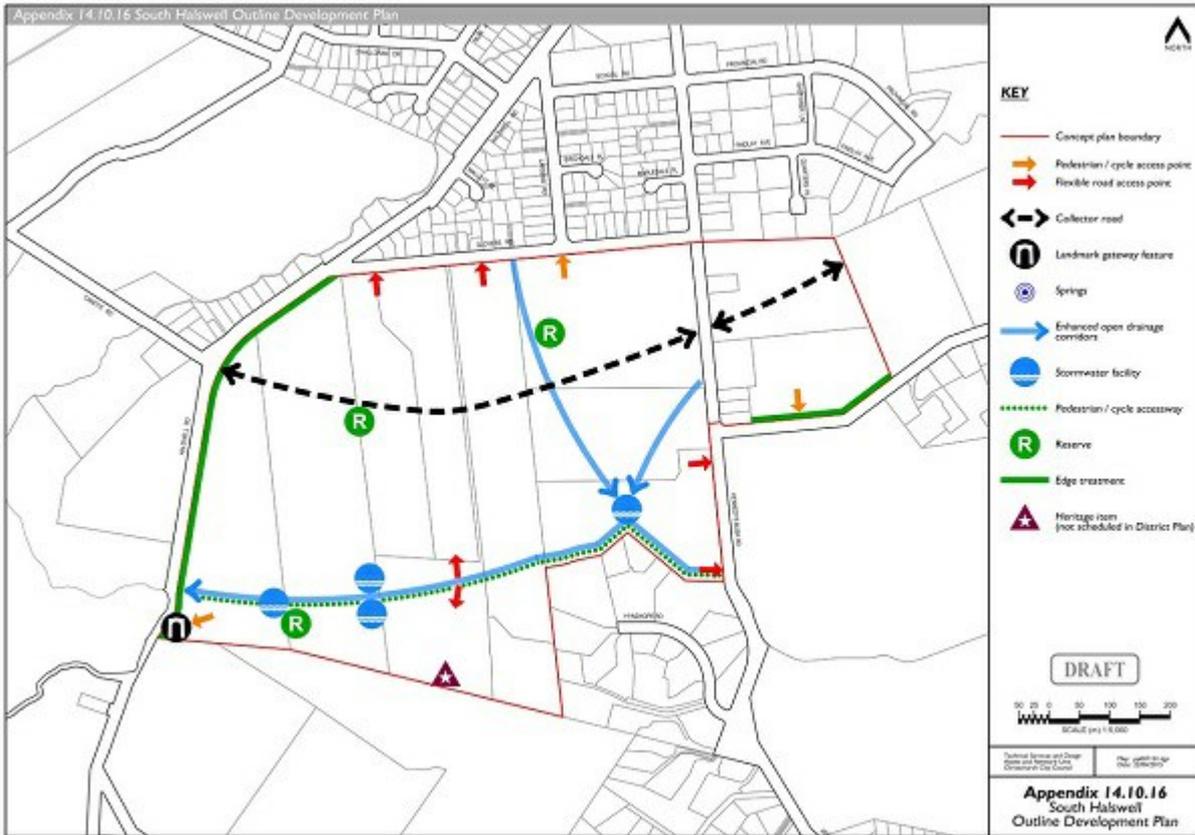


14.10.15 Hendersons Outline Development Plan



14.10.16 South Halswell Outline Development Plan

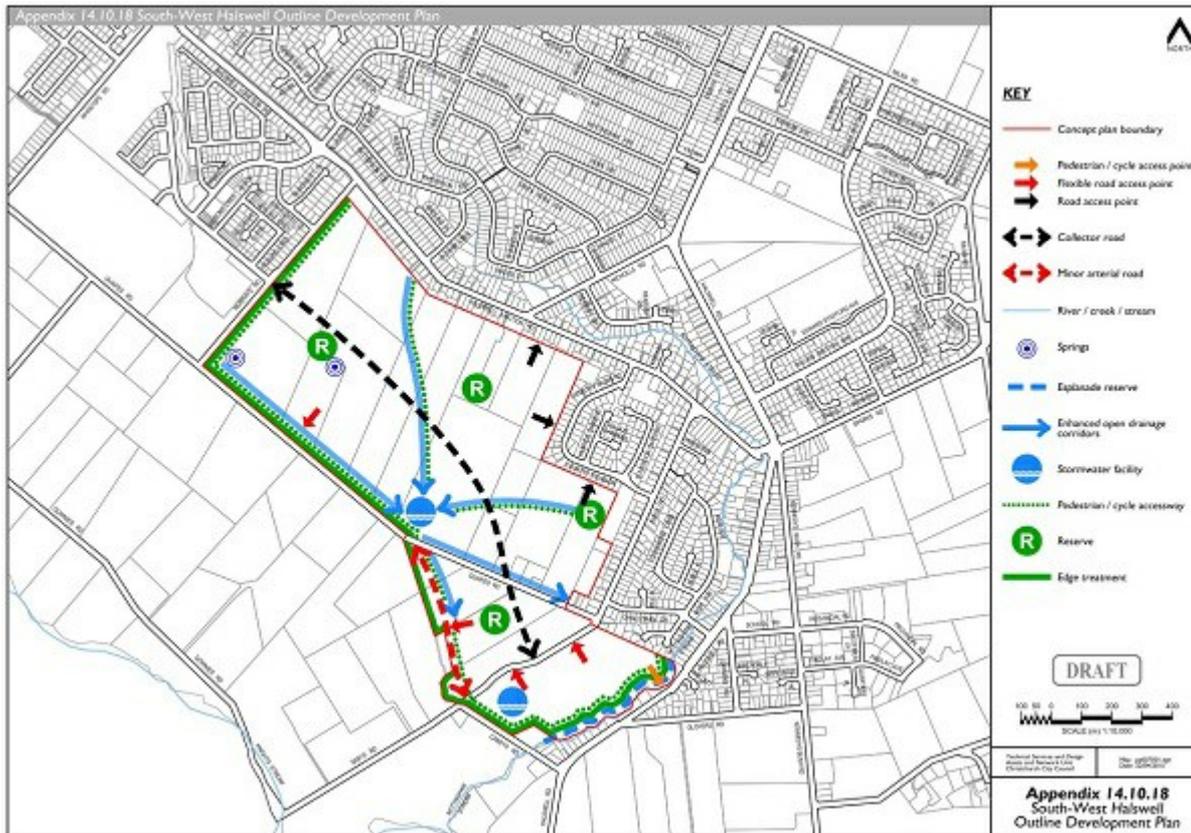
The Proposed Christchurch Replacement District Plan



14.10.17 South-East Halswell Outline Development Plan



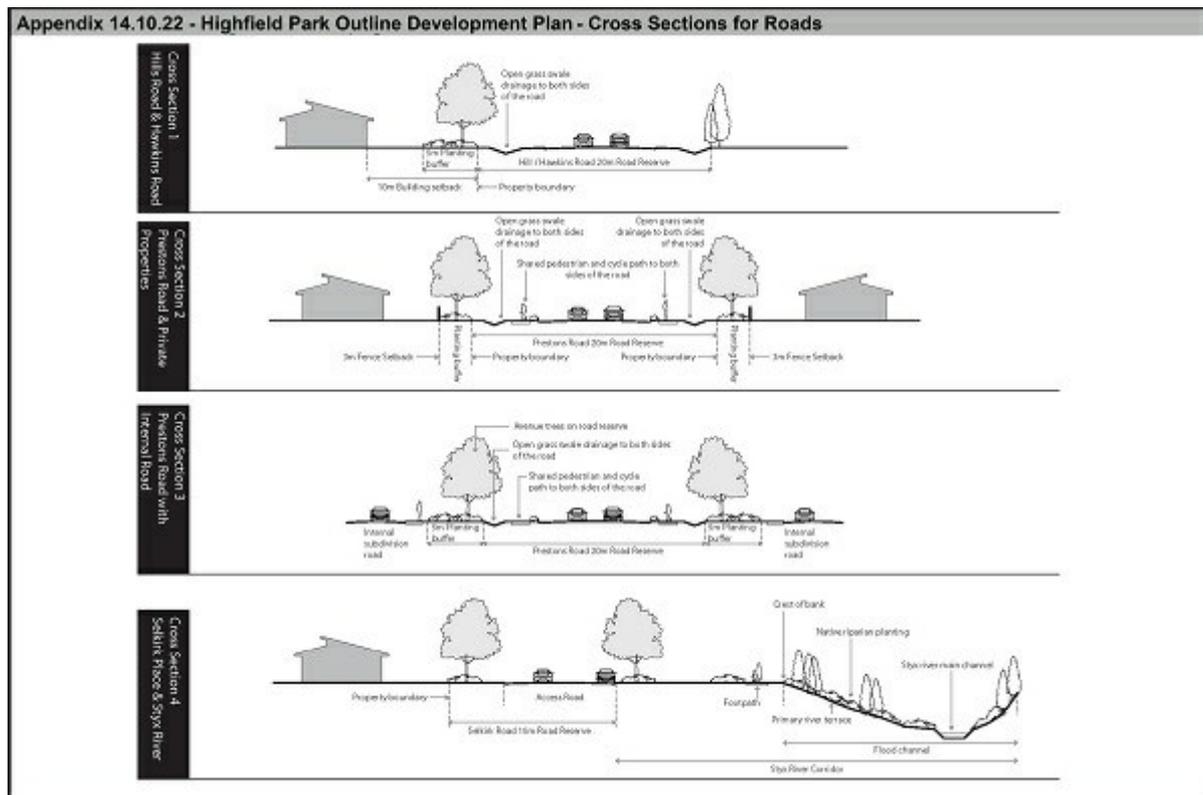
14.10.18 South-West Halswell Outline Development Plan



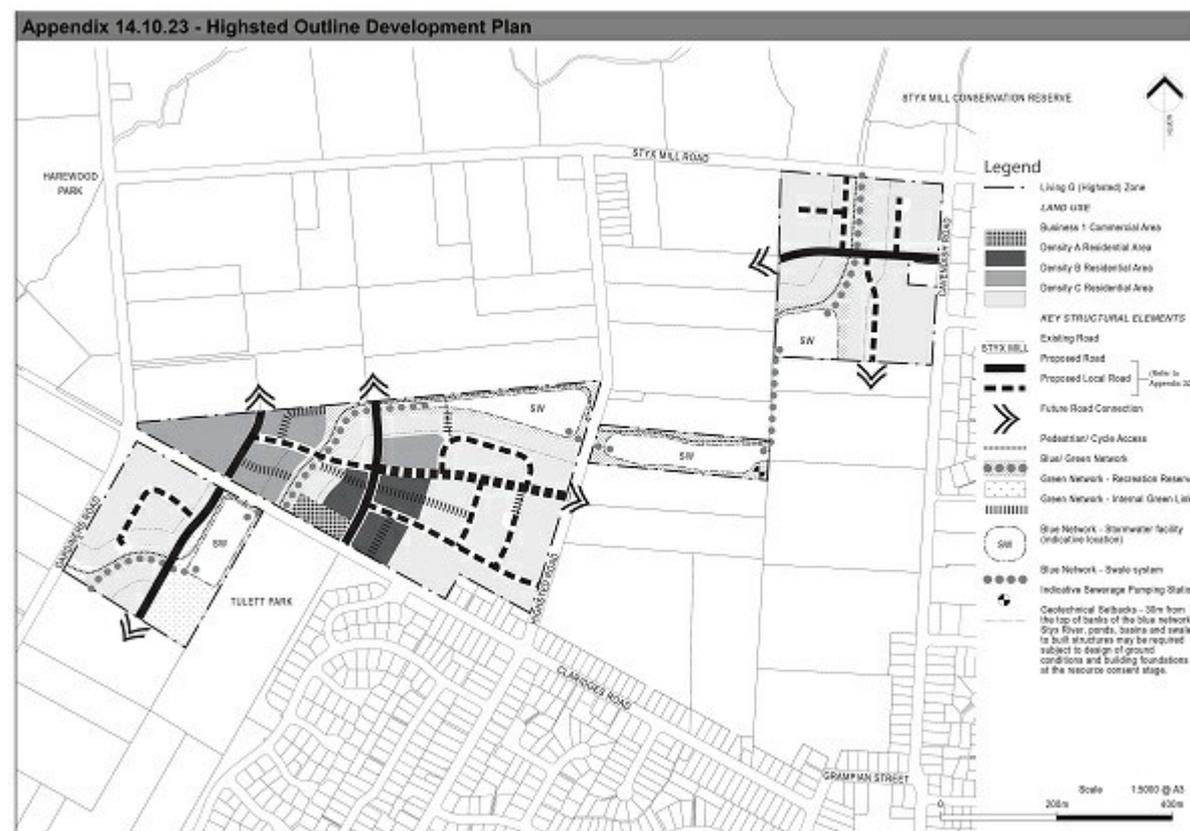
14.10.19 South-East Belfast Outline Development Plan



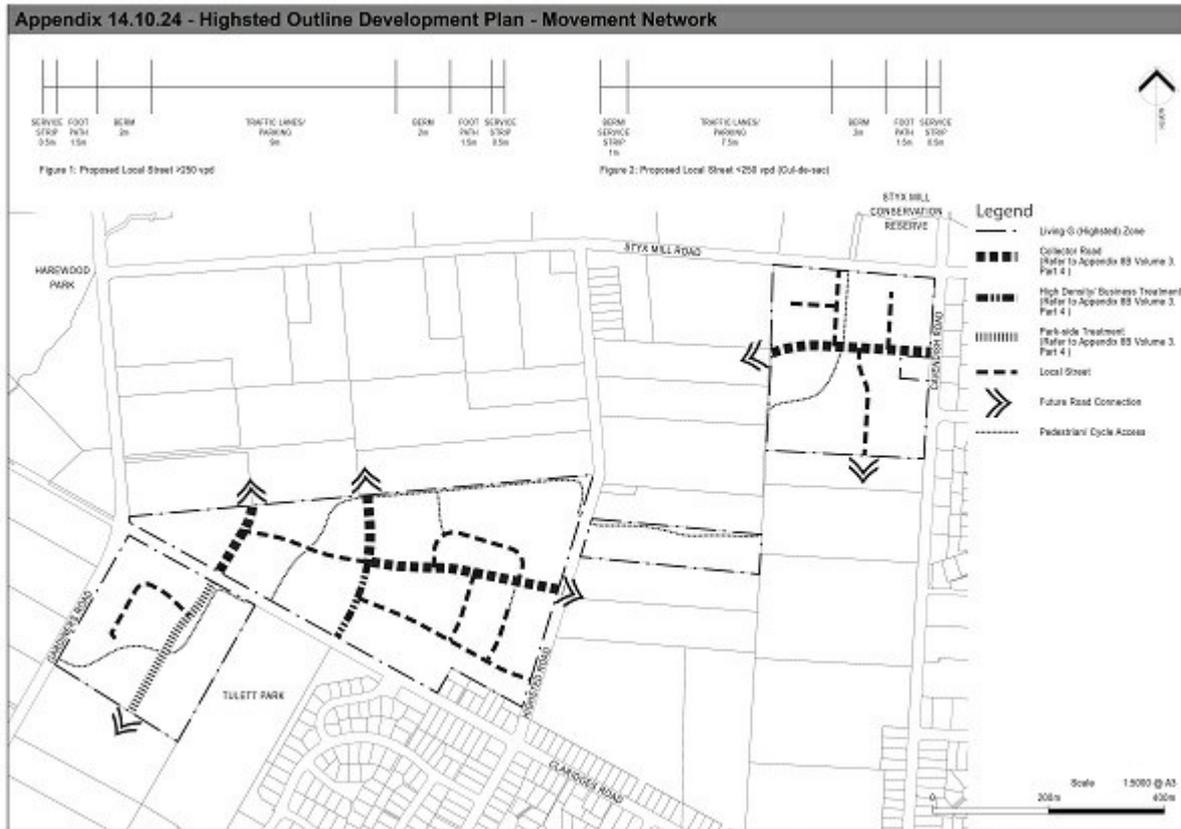
14.10.22 Highfield Cross Sections for Roads



14.10.23 Highsted Outline Development Plan

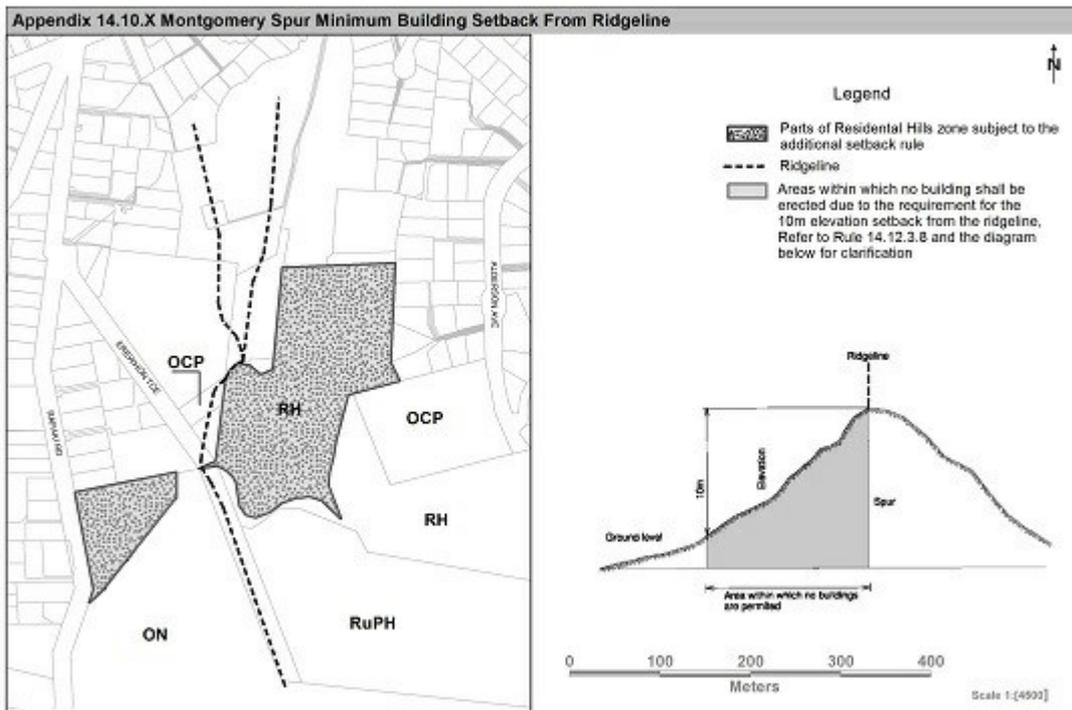


14.10.24 Highsted Outline Development Plan Movement Network



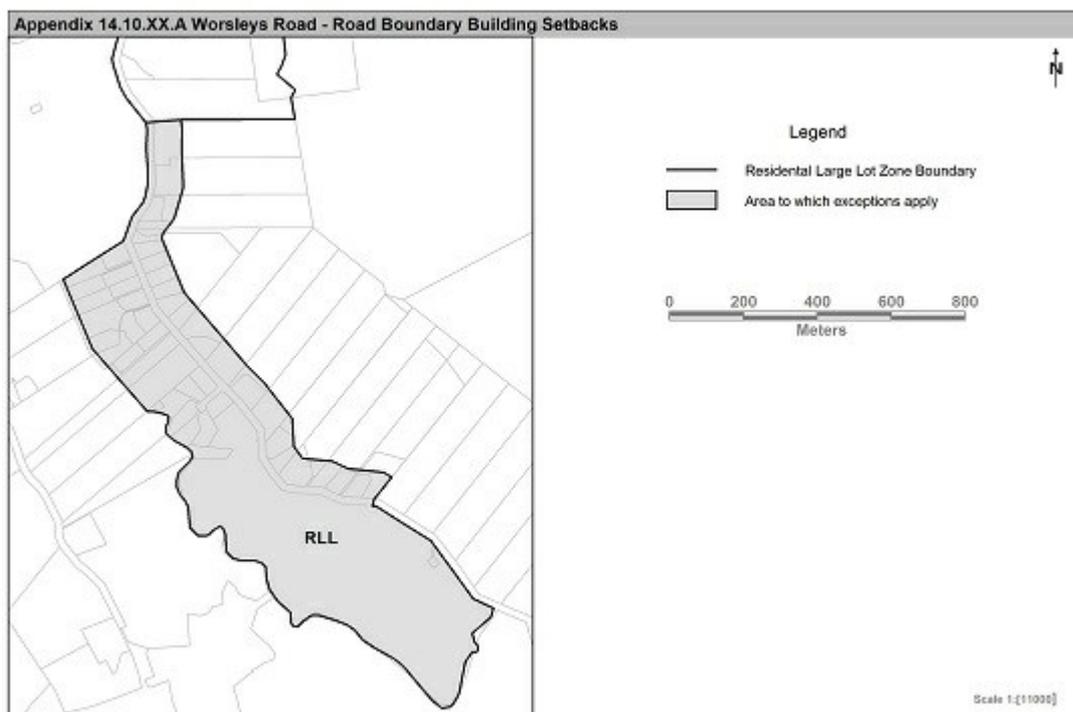
14.10.26 Montgomery Spur - Minimum Building Setback from Ridgeline

14.10.26 Montgomery Spur Minimum Building Setback From Ridgeline



14.10.27 Worsleys Road - Area Subject to Specific Building Setback and Site Coverage Standards

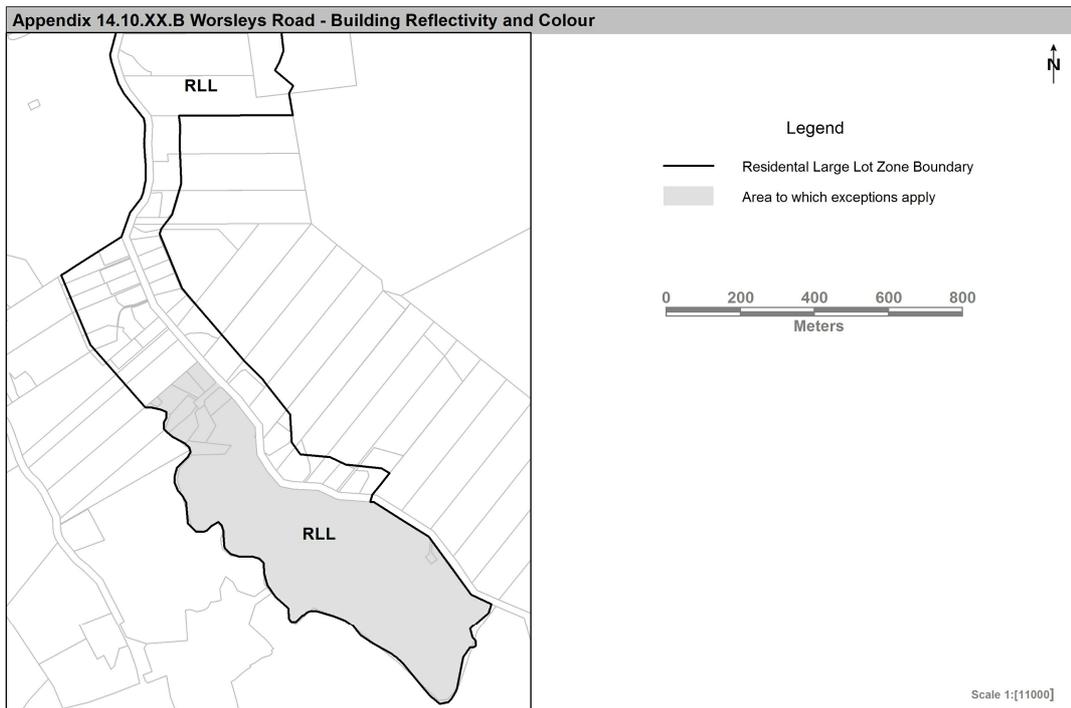
14.10.27 Worsleys Road Area Subject to Specific Building Setback and Site Coverage Standards



14.10.28 Worsleys Road - Building Reflectivity and Colour, and Landscape Areas

14.10.28 Worsleys Road Building Reflectivity and Colour and Landscape Areas

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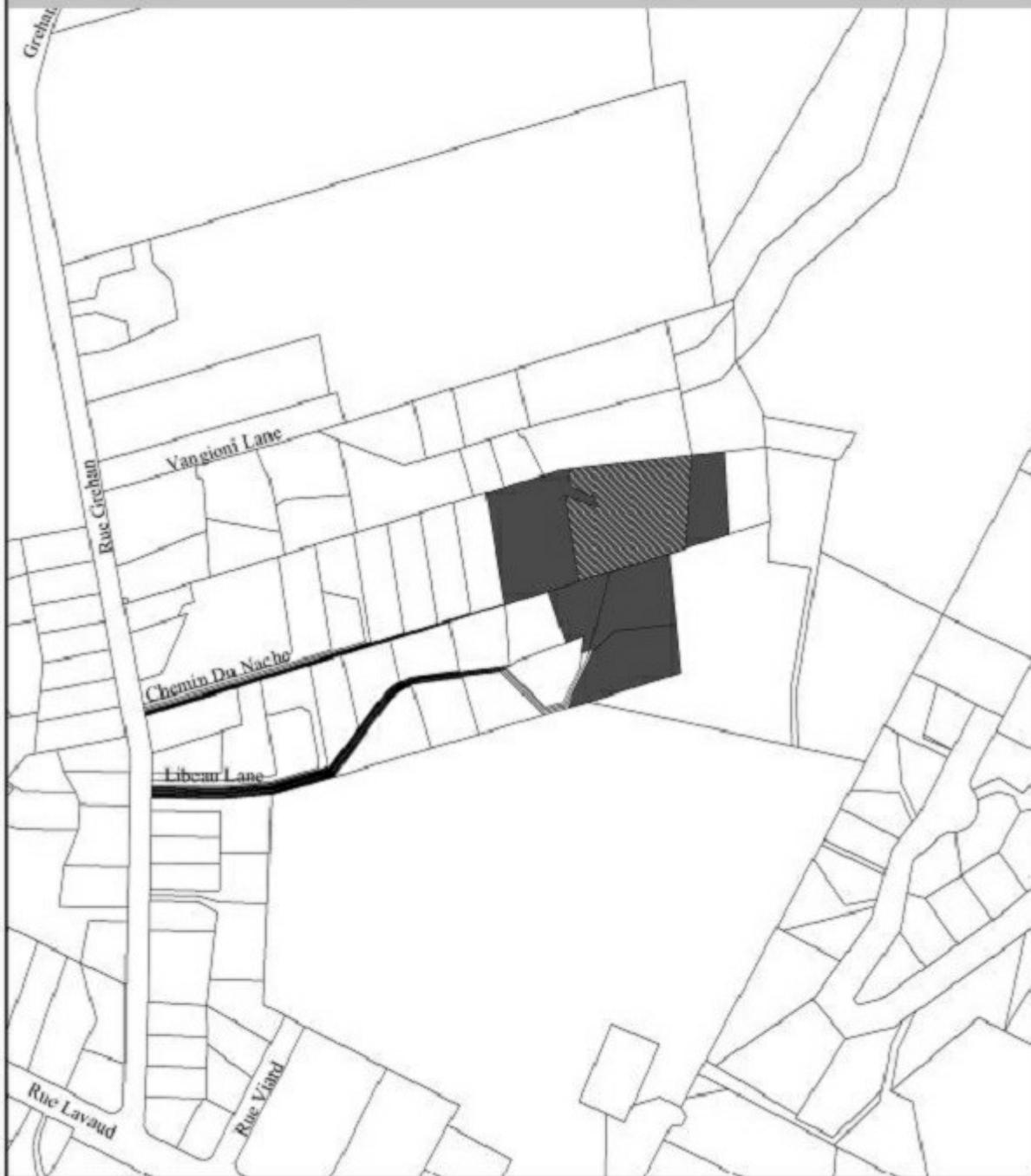


Colour	Reflectivity	Colour	Reflectivity
00 A 13	6%	10 B 29	3%
10 B 27	8%	02 A 11	18%
08 A 14	2%	22 B 25	12%
16 A 07	30%	18 B 23	20%
18 A 14	7%	18 B 21	30%
16 A 11	20%	10 B 23	22%
18 B 27	6%	08 B 23	19%
18 B 29	7%	12 B 29	2%
06 A 07	30%	00 A 09	20%
08 B 25	10%	12 B 27	8%
08 B 29	7%	00 A 11	12%
10 A 11	12%	12 B 23	20%
12 B 21	34%	08 B 21	27%
10 A 07	27%	02 A 07	30%
10 B 21	30%	08 B 27	8%
10 A 09	20%	18 B 25	13%
00 A 07	30%	06 A 11	12%
12 B 25	12%		

14.10.29 Akaroa: 12A, 12B and 12D Vangioni Lane

14.10.29 Akaroa 12A, 12B and 12D Vangioni Lane

Appendix 14.10 - 12A, 12B and 12D Vangioni Lane, Akaroa



14.10.30 Samarang Bay and Allandale Colour Palette

Roof Colours, Body/Wall and Trim Colours		
Resene Acrylic Roof Chart		
	Ebony	10 HA-5
	Thunder	11 HA-12
	Storm Dust	14 HA-25
	Mirage	14 HB-11
	Steel Grey	15 HB-13
	Stratos	10 HC-4.5

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Roof Colours, Body/Wall and Trim Colours		
	Gulf Blue	11 HC-8
	Cloud Burst	12 HC-14
	Blue Wale0	14 HC-7.5
	Cocoa Brown	10 HD-4
	Clinker	11 HD-7.5
	Rustic Red	10 HF-5
	Jarrah	11 HF-3
	Morocco Brown	10 HE-7
	Hunter Green	10 HH-4
	Green Kelp	11 HH-7.5
	Mikado	12 HH-7.5
	Nordic	10 HI-4
	Seaweed	12 HI-7.5
	Palm Green	12 HI-4
	Gable Green	13 HL-5.5
Stratco Coated Steel Colour Chart	Ironsand	
	Lignite	
	Karaka	
	Permanent Green	
	New Denim Blue	
	Grey Friars	
Resene	Ship Grey	00 A 11
	Baltic Sea	00 A 13
	Cape Cod	16 A 11
	Rangoon Green	12 B 29
	Black Bean	14 C 40
	Charade	18 B 27
	Cinder	18 B 29
	Blue Bark	18 C 40
	Cardin Green	14 E 58
	Haiti	22 B 29

TRIM AND ACCENT COLOURS

The following colours include those colours that are complementary or of a less grey nature than those derived from the landscape background.

They are accent colours and should only be used in small proportions to add visual interest at close range.

Applications include:

- Fascia boards
- Doors and door frames
- Windows and window frames
- Window sills
- Spouting and down pipes

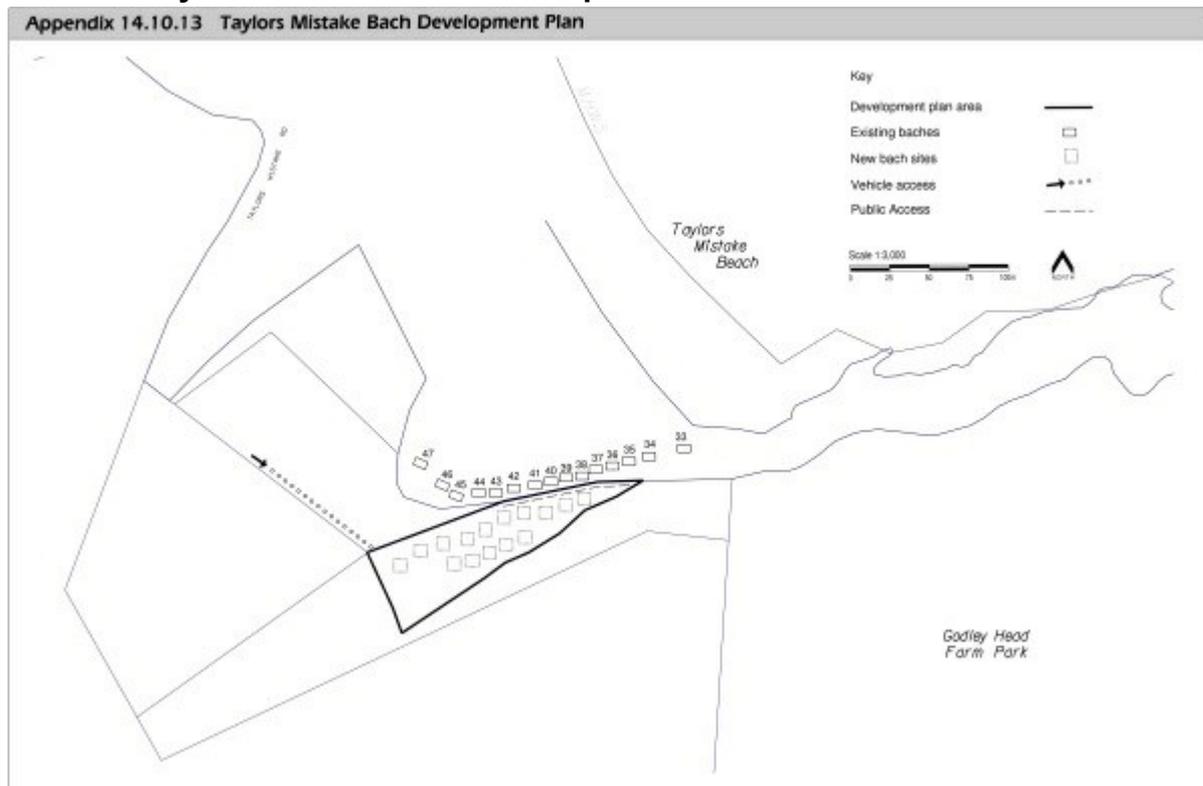
Trim and Accent Colours Only		
Resene	Birch	10 B 27
	Kelp	12 B 25

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Trim and Accent Colours Only		
	Scrub	12 B 27
	Turtle Green	12 C 39
	Pine Tree	12 C 40
	Madras	10 C 39
	Dark Tan	04 C 39
	Chocolate	04 C 40
	Toledo	02 C 40
	Persian Red	04 E 58
	Pirate Gold	08 E 56
	Rich Gold	06 E 56
	St Tropaz	20 D 44
	Catalina Blue	20 D 45
	Biscay	20 C 39
	Outer Space	20 C 40
	Elm	16 D 43
	Blue Stone	16 D 44
	Cyprus	16 D 45
	Hot Chili	04 D 45
	Wistful	22 D 41
	Martinique	22 B 27
	Mardi Gra	24 C 40
	Plum	24 E 58

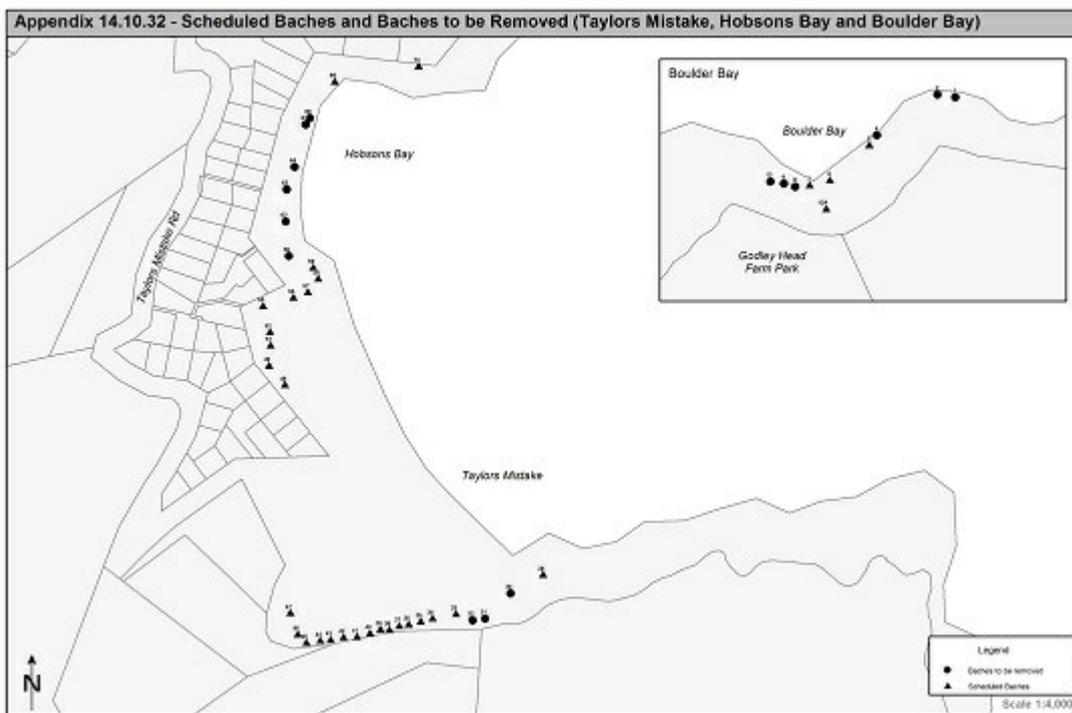
14.10.31 Taylors Mistake Bach Development Plan

14.10.31 Taylors Mistake Bach Development Plan



14.10.32 Scheduled Baches and Baches to be Removed (Taylors Mistake, Hobsons Bay and Boulder Bay)

14.10.32 Scheduled Baches and Baches to be Removed (Taylors Mistake, Hobsons Bay and Boulder Bay)



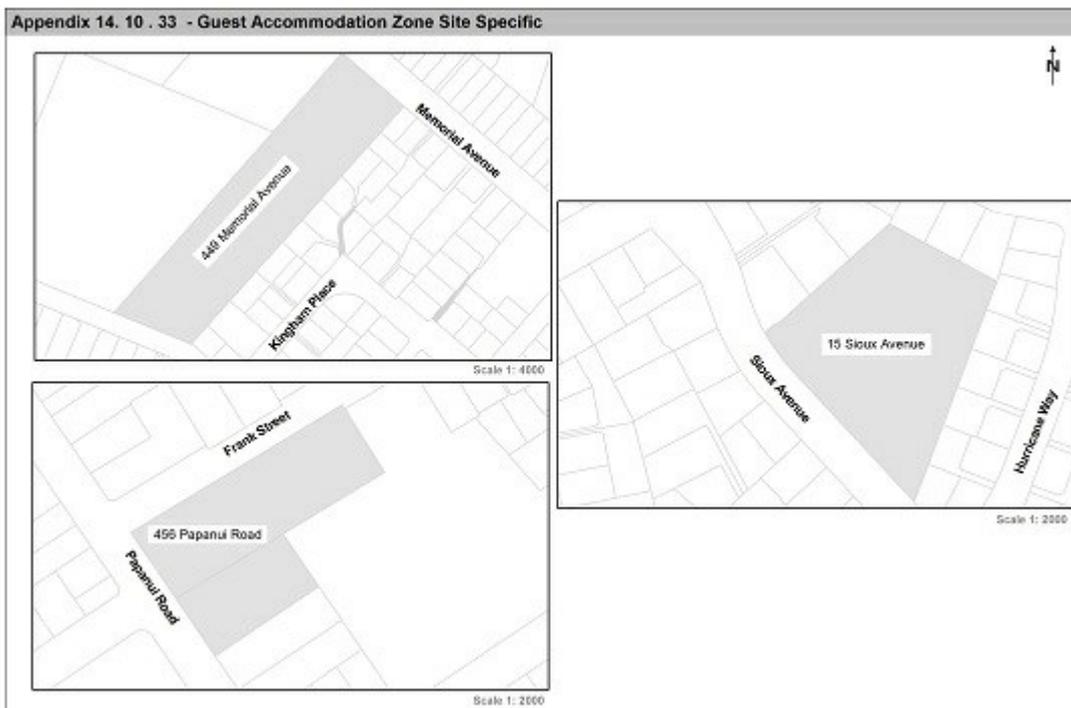
14.10.33 Guest Accommodation Zone Site Specific Areas

14.10.33 Guest Accommodation Zone and Site Specific Areas

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14.10.33 Guest Accommodation Zone Site Specific Areas



14.11 Rules - Residential Hills Zone

14.11.1 How to use the rules

14.11.1.1

The rules that apply to activities in the Residential Hills Zone are contained in:

- a. The Activity Status Tables (incl. Activity Specific Standards) in Rule [14.11.2.1](#), [14.11.2.2](#), [14.11.2.3](#), [14.11.2.4](#) and [14.11.2.5](#);
- b. Built Form Standards in [14.11.3](#); and
- c. Appendix [14.10.26](#) Montgomery Spur – Minimum building setback from ridgeline.

14.11.1.2

The Activity Status Tables and standards in the following chapters also apply to activities in all areas of the Residential Hills Zone (where relevant):

- 5 Natural Hazards;
- 6 General Rules and Procedures;
- 7 Transport;
- 8 Subdivision, Development and Earthworks;
- 9 Natural and Cultural Heritage;
- 11 Utilities, Energy and Infrastructure; and
- 12 Hazardous Substances and Contaminated Land.

14.11.2 Activity Status Tables

14.11.2.1 Permitted Activities

In the Residential Hills Zone (other than the areas identified in [14.11.1.2](#)) the activities listed below shall comply with any Activity Specific Standards set out in this table and the Built Form Standards in Rule [14.11.3](#).

Activities may also be restricted discretionary, discretionary or non-complying as specified in Rules [14.11.2.3](#), [14.11.2.4](#), or [14.11.2.5](#) below.

Activity		Activity specific standards
P1	<u>Residential activity</u>	a. NIL
P2	<u>Guest accommodation</u>	a. There shall be: <ol style="list-style-type: none"> i. a maximum of six guests accommodated at any one time; and ii. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u>.

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Activity		Activity specific standards
P3	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer	<p>a. There shall be:</p> <ul style="list-style-type: none"> i. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and ii. at least one carer residing permanently within the <u>residential unit</u>.
P4	<u>Home Occupation</u>	<p>The <u>home occupation</u> shall limit:</p> <ul style="list-style-type: none"> a. the <u>gross floor area</u> of the <u>building</u> plus the area used for <u>outdoor storage area</u> occupied by the occupation to less than 40m²; b. the number of <u>FTE</u> employed persons, who reside permanently elsewhere than on the <u>site</u>, to one; c. any <u>retailing</u> to the sale of goods grown or produced on the <u>site</u>, or internet-based sales where no customer visits occur; d. the hours of operation to 50 hours per week; e. the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ul style="list-style-type: none"> i. 0900 – 2100 Monday to Friday; and ii. 0900 – 1300 Saturday, Sunday and public holidays f. visitor or staff <u>parking area</u> to outside the <u>road boundary setback</u>; g. outdoor advertisement to a maximum area of 1m²; and h. activity, where that activity is: <ul style="list-style-type: none"> i. open to visitors and clients; and ii. in a multiple level apartment complex; to the ground floor.
P5	Temporary Military or <u>Emergency Service</u> Training activities	a. NIL
P6	Market gardens, community gardens, and garden allotments	a. NIL
P7	Storage of <u>heavy vehicles</u>	a. No more than one vehicle shall be stored on the <u>site</u>
P8	Dismantling, repair, or storage of motor vehicles and boats	a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u>

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Activity		Activity specific standards
P9	Conversion of a family flat existing at 6 December 2013 into a <u>residential unit</u> that may be occupied by any person(s) and without the need to be encumbered by a legal instrument.	<ul style="list-style-type: none"> a. Each converted flat shall have a minimum <u>gross floor area</u>, excluding terraces, garages, sundecks, and verandas, of 35m²; b. There shall be a total <u>outdoor living space</u> on the <u>site</u> with a minimum area of 90m² and a minimum dimension of 6m. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an <u>outdoor living space</u> that is directly accessible from that unit and is a minimum of 30m² in area.
P10	Conversion of a <u>residential unit</u> within, or as an extension to, a residential unit into two residential units.	<ul style="list-style-type: none"> a. Each <u>residential unit</u> shall have a minimum <u>gross floor area</u>, excluding terraces, garages, sundecks and verandas, of 35m²; and b. There shall be a total <u>outdoor living space</u> on the <u>site</u> with a minimum area of 90m² and a minimum dimension of 6m. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an <u>outdoor living space</u> that is directly accessible from that unit and is a minimum of 30m² in area.
P11	Replacement of a <u>residential unit</u> with two <u>residential units</u> .	<ul style="list-style-type: none"> a. The existing <u>site</u> shall be occupied by one <u>residential unit</u> and that <u>residential unit</u> has been, or will be, demolished because the insurer(s) of that unit have determined that the <u>residential unit</u> was uneconomic to repair because of earthquake damage. b. There shall be a total <u>outdoor living space</u> on the <u>site</u> with a minimum area of 90m² and minimum dimension of 6m. This total space can be provided as a single contiguous area, or be divided into two separate spaces, provided that each unit is provided with an <u>outdoor living space</u> that is directly accessible from that unit and is a minimum of 30m² in area.
P12	<u>Minor residential unit</u> where the existing site it is to be built on contains only one <u>residential unit</u> .	<ul style="list-style-type: none"> a. The <u>site</u> containing unit shall have a minimum <u>net site area</u> of 650m²; b. The <u>minor residential unit</u> shall have a minimum <u>gross floor area</u> of 35m² and a maximum <u>gross floor area</u> of 70m²; and c. The <u>parking areas</u> of both units shall be accessed from the same <u>access</u>.
P13	<u>Social Housing Multi-unit Residential Complexes</u>	<ul style="list-style-type: none"> a. The complex shall only contain up to three <u>residential units</u>.

Activity		Activity specific standards
<p>P14</p>	<p>Repair or rebuild of buildings with cross leases, company leases or unit titles</p>	<p>a. Where the repair or rebuild of a <u>building</u> will not alter the building footprint, location, or height, the <u>building</u> need not comply with any of the Built Form Standards.</p> <p>b. Where the <u>building</u> footprint, location, or height is to be altered no more than necessary in order to comply with legal or regulatory requirements or the advice of a suitably qualified and experienced chartered engineer:</p> <ul style="list-style-type: none"> i. the only Built Form Standards that shall apply are those specified in Rules <u>14.11.3.3</u> (Maximum building height) and <u>14.11.3.6</u> (daylight recession planes); ii. in relation to the <u>road boundary setback</u>, the repaired or rebuilt <u>building</u> shall have a setback of at least 3m; and iii. the standards at i. and ii. shall only apply where the repaired or rebuilt <u>building</u> increases the level of non-compliance with the standard(s) compared to the <u>building</u> that existed at the time of the earthquakes. <p>Clarification: examples of regulatory or legal requirements that may apply include the New Zealand Building Code, <u>Council</u> bylaws, easements, and other rules within this Plan such as requirements for minimum floor levels in Chapter 5.</p> <p>c. If standards (a) and (b) are not met, the relevant Built Form Standards apply.</p> <p>Any application arising from non-compliance with standards (a) and (b) (i) will not require written approval except from the affected adjoining landowner(s) and shall not be publicly notified.</p> <p>Any application arising from non-compliance with Standard (b)(ii) (<u>road boundary setbacks</u>), will not require written approval and shall not be publicly or limited notified</p>

14.11.2.2 Controlled Activities

There are no controlled activities.

14.11.2.3 Restricted Discretionary Activities

The activities listed below are restricted discretionary activities.

Restricted discretionary activities shall also comply with the Built Form Standards set out in [14.11.3](#).

Discretion to grant or decline consent and impose conditions is restricted to the assessment matters set out in [14.9](#) for each standard, as set out in the following table.

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	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p><u>Residential units</u> (including any sleep-outs) containing more than six bedrooms in total.</p> <p>Any application arising from this rule shall not be publically notified but may be limited notified to affected persons.</p>	<p>a. Urban design and Māori urban design principles - 14.9.6;</p> <p>b. Scale of activity - 14.9.14; and</p> <p>c. Hillside and small settlement development – 14.9.40</p>
RD2	<p>Conversion of a <u>residential unit</u> within or as an extension to a <u>residential unit</u> into two <u>residential units</u> that does not meet the Activity Specific Standards in Rule 14.11.2.1 P10 a. and b.</p>	<p>a. Minor residential units - 14.9.7</p>
RD3	<p><u>Minor residential unit</u> that does not meet the Activity Specific Standards in Rule 14.11.2.1 P12 a, b, and c.</p> <p>Any application arising from this rule shall not be publically notified but may be limited notified to affected persons.</p>	<p>a. Minor residential units - 14.9.7</p>
RD4	<p>Conversion of a family flat existing at 6 December 2013 into a <u>residential unit</u> that does not meet the Activity Specific Standards in Rule 14.11.2.1 P9</p>	<p>a. Minor residential units - 14.9.7</p>

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	Activity	The Council's discretion shall be limited to the following matters:
<p>RD5</p>	<p><u>Social housing multi-unit residential complexes - over three residential units.</u></p> <p>Any application arising from this rule shall not be publically notified but may be limited notified to affected persons.</p>	<p>a. Urban design and Māori urban design principles - 14.9.6;</p> <p>b. Scale of activity - 14.9.14;</p> <p>c. Traffic generation and access safety - 14.9.15; and</p> <p>d. Hillside and small settlement development – 14.9.40</p>
<p>RD6</p>	<p><u>Retirement villages</u></p>	<p>a. Urban design and Māori urban design principles - 14.9.6;</p> <p>b. Scale of activity - 14.9.14;</p> <p>c. Traffic generation and access safety - 14.9.15; and</p> <p>d. Hillside and small settlement development – 14.9.40</p>

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	Activity	The Council's discretion shall be limited to the following matters:
RD7	<p><u>Pre-school facility</u></p> <p>Any application arising from this rule shall not be publically notified but may be limited notified to affected persons.</p>	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14; b. Non-residential hours of operation -14.9.16; c. Traffic generation and access safety - 14.9.15; and d. Hillside and small settlement development- 14.9.40
RD8	<p><u>Health Care Facility</u></p> <p>Any application arising from this rule shall not be publically notified but may be limited notified to affected persons.</p>	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14; b. Non-residential hours of operation -14.9.16; c. Traffic generation and access safety - 14.9.15; and d. Hillside and small settlement development- 14.9.40

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	Activity	The Council's discretion shall be limited to the following matters:
RD9	<p><u>Veterinary Care Facility</u></p> <p>Any application arising from this rule shall not be publically notified but may be limited notified to affected persons.</p>	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14; b. Non-residential hours of operation -14.9.16; c. Traffic generation and access safety - 14.9.15; and d. Hillside and small settlement development-14.9.40
RD10	<p><u>Education activity</u></p> <p>Any application arising from this rule shall not be publically notified but may be limited notified to affected persons.</p>	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14; b. Non-residential hours of operation -14.9.16; c. Traffic generation and access safety - 14.9.15; and d. Hillside and small settlement development-14.9.40

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	Activity	The Council's discretion shall be limited to the following matters:
RD11	<u>Convenience activities</u>	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14; b. Non-residential hours of operation -14.9.16; c. Traffic generation and access safety - 14.9.15; and d. Hillside and small settlement development- 14.9.40
RD12	<u>Places of Assembly</u>	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14; b. Non-residential hours of operation -14.9.16; c. Traffic generation and access safety - 14.9.15; and d. Hillside and small settlement development- 14.9.40

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	Activity	The Council's discretion shall be limited to the following matters:
RD13	Student hostels owned or operated by a secondary or tertiary education and research activity.	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14; b. Traffic generation and access safety - 14.9.15; and c. Hillside and small settlement development- 14.9.40
RD14	<p>Non-compliance with the following Permitted Activity Standards in 14.11.2.1: P2 Guest Accommodation; P3 Care of non-resident children within a residential unit; P5 Home occupation.</p> <p>Any application arising from these rules shall not be publically notified but may be limited notified to affected persons.</p>	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14; b. Non-residential hours of operation -14.9.16; and c. Traffic generation and access safety - 14.9.15
RD15	Residential unit contained within its own separate site with a minimum net site area that does not meet the standards specified in Rule 14.11.3.2 by up to 10%.	<ul style="list-style-type: none"> a. Site density and site coverage - 14.9.1
RD16	Non-compliance with Rule 14.11.3.4 Maximum site coverage where the site coverage is exceeded by 10% or less.	<ul style="list-style-type: none"> a. Site density and site coverage - 14.9.1

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	Activity	The Council's discretion shall be limited to the following matters:
RD17	<p>Non-compliance with the following rules:</p> <p>Rule 14.11.3.3 Maximum building height Rule 14.11.3.5 Daylight recession planes Rule 14.11.3.6 Minimum building setback from internal boundaries Rule 14.11.3.8 Minimum setback and distance to ground level for windows and balconies</p> <p>Any application arising from these rules shall not be publically notified but may be limited notified to affected persons.</p>	<p>As relevant to the breached rule</p> <ul style="list-style-type: none"> a. Building height and daylight recession planes - 14.9.2; and b. Minimum building window and balcony setbacks from internal boundaries - 14.9.4

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	Activity	The Council's discretion shall be limited to the following matters:
RD18	<p>Non-compliance with one or more of the following rules:</p> <p>Rule 14.11.3.7 Minimum building setback from ridgeline – Montgomery Spur;</p> <p>Rule 14.11.3.9 Road boundary setback;</p> <p>Rule 14.11.3.10 Street scene amenity and safety;</p> <p>Rule 14.11.3.11 Life-stage;</p> <p>Rule 14.11.3.12 Energy and water efficient</p> <p>Any application arising from non-compliance with these rules will not require written approval and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule</p> <ul style="list-style-type: none"> a. Street scene - road boundary, building setback, front doors, fencing and planting - 14.9.3; b. Service, storage and waste management spaces - 14.9.11; c. Tree and garden planting - 14.9.12; and d. Life-stage, adaptive design and energy and water efficiency -14.9.21
RD19	<p>For Category 1 Character Areas CA20 Cashmere and CA30 Clifton, the relocation of an existing <u>building</u>, erection of new <u>buildings</u> and alterations or additions to existing <u>buildings</u>, including the front façade of the main residential <u>building</u>, <u>accessory buildings</u>, fences and walls associated with that development, where it is:</p> <ol style="list-style-type: none"> 1. visible from the street; and 2. located in the <u>interface</u> between the street and the main <u>residential unit</u> on the site. <p>Any application arising from this rule will not require written approvals and shall not be limited or publicly notified.</p> <p>This activity does not have to comply with Built Form Standards in Rule 14.11.3.</p>	<ul style="list-style-type: none"> a. Character Areas Overlay – 14.9.39

14.11.2.4 Discretionary Activities

The activities listed below are discretionary activities and shall be assessed against matters specified in section 104 of the Act. That assessment will include, where relevant, the assessment matters in clause 14.9.

Activity	
D1	Storage of <u>heavy vehicles</u> , show homes, and dismantling, repair or storage of motor vehicles and/or boats where it does not meet one or more of the relevant Activity Specific Standards for permitted activities in Rule 14.11.2.1 P8, P9, P10, or restricted discretionary activities
D2	Any <u>residential unit</u> contained on a site where non-compliance with the <u>net site area</u> specified in Rule 14.11.3.2 exceeds 10%
D3	Non-compliance with Rule 14.12.3.4 where the site coverage exceeds 45%

14.11.2.5 Non Complying Activities

The activities listed below are a non-complying activity.

Activity	
NC1	Any activity not provided for as a permitted, restricted discretionary, or discretionary activity

14.11.2.6 Prohibited Activities

There are no prohibited activities.

14.11.3 Built Form Standards

14.11.3.1

The following Built Form Standards shall be met by all permitted activities and restricted discretionary activities.

14.11.3.2 Site Density

Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	Area	Standard
a.	In all parts of the Residential Hills Zone except as specified below.	650m ²
b.	In Moncks Spur/Mt Pleasant Density Overlay, Shalamar Drive Density Overlay, Upper Kennedys Bush Density Overlay.	850m ²

14.11.3.3 Maximum Building Height

The maximum height of any building shall be:

	Activity	Standard
a.	All <u>buildings</u> unless specified below	8m
b.	<u>Minor residential units</u>	5.5m and of a single storey only

Note: See the permitted height exceptions contained within the definition of height.

14.11.3.4 Maximum Site Coverage

The maximum percentage of the net site area covered by buildings excluding:

- a. fences, walls and retaining walls;
- b. eaves and roof overhangs up to 600 millimetres in width from the wall of a building;
- c. uncovered swimming pools up to 800 millimetres in height above ground level; and
- d. decks, terraces, balconies, porches, verandas, bay or box windows (supported or cantilevered) which:
 - i. are no more than 800mm above ground level and are uncovered or unroofed; or
 - ii. where greater than 800mm above ground level and/or covered or roofed, are in total no more than 6m² in area for any one site;

shall be as follows:

	Activity	Standard
a.	All activities in the Residential Hills Zone unless specified below.	35%
b.	Market gardens	55%

14.11.3.5 Daylight recession planes

- a. Buildings shall not project beyond a building envelope constructed by recession planes, as shown in Appendix 14.10.2 Diagram B, from points 2.3m above:
 - i. internal boundaries; or
 - ii. where an internal boundary of a site abuts an access lot or access strip the recession plane may be constructed from points 2.3m above the furthest boundary of the access lot or access strip or any combination of these areas; or
 - iii. where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.
- b. The recession plane shall only apply to the mid-point of each section of wall or roof of a building, as shown in Appendix 14.10.2A.

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Refer to Appendix [14.10.2](#) for permitted intrusions.

14.11.3.6 Minimum building setback from Internal Boundaries

The minimum building setback from internal boundaries shall be as follows:

a.	All <u>buildings</u> in the Residential Hills Zone not listed in table below.	1.8m
b.	<u>Accessory buildings</u> where the total length of walls or parts of the <u>accessory building</u> within 1.8m of each internal <u>boundary</u> does not exceed 10.1m in length	NIL
c.	Decks and terraces at or below ground floor level	NIL
d.	<u>Buildings</u> that share a common wall along an internal <u>boundary</u> .	NIL
e.	All other <u>buildings</u> where the internal <u>boundary</u> of the <u>site</u> adjoins an <u>access</u> or part of an <u>access</u> .	1 m

14.11.3.7 Minimum building setback from ridgeline– Montgomery Spur

- a. No buildings shall be erected on those parts of sites within a 10m elevation setback from the ridgeline as identified on [Appendix 14.10.26](#).

14.11.3.8 Minimum setback and distance to ground level for windows and balconies

- a. The minimum setback for a living area window from an internal boundary shall be 4m.

Note where the window is adjacent to an access way the setback shall be measured from the far side of the access way.

14.11.3.9 Road boundary building setback

The road boundary building setback shall be:

All <u>buildings</u>	4.0m
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Except:

- a. for any new garage that is located in front of an existing residential unit that was established prior to the operative date of this plan where the:
- side walls are parallel to the road boundary and no more than 6.5m in length;

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- ii. side walls facing the road contain a window with a minimum dimension of at least 0.6m (including the window frame);
- iii. space between the side wall and the road boundary has planting that includes a minimum of two trees capable of reaching 4m height at maturity;

and where the access to the garage is located adjacent to a side boundary

- iv. a planting strip of 0.6m width with a height at time a planting, with species capable of reaching 1.5m, of 1.2m up to the line of the existing residential unit.

Where this planting conflicts with required visibility splays the visibility splay rules will prevail and the planting not be required. See Figure 5.

- b. for a new garage that is located in front of an existing residential unit that was established prior to the operative date of this plan where the:
 - i. garage is a single garage, with the door facing the road boundary, accessed off a local road;
 - ii. garage is a maximum 3.6m wide;
 - iii. garage is fitted with a sectional door and can be operated with an automatic opener. Where the garage is more than 3.5m from the road boundary an automatic opener is not required.

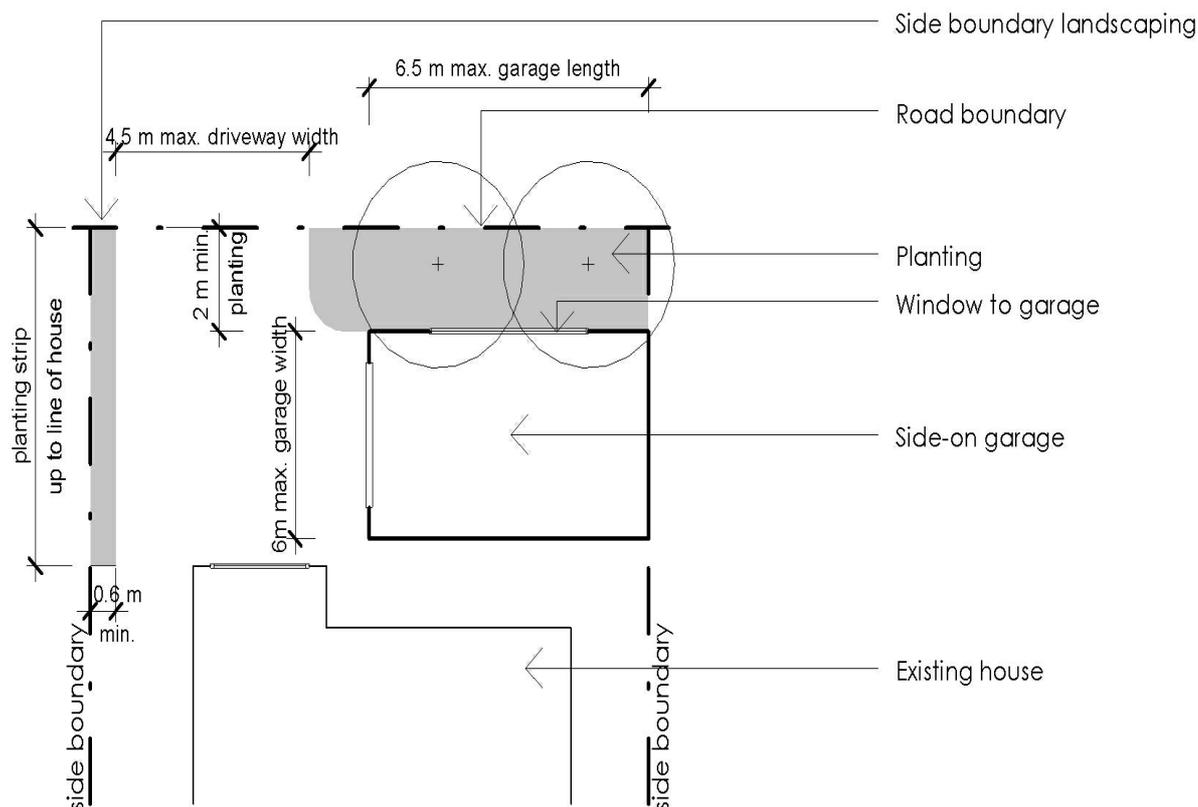


Figure 5: Side extension

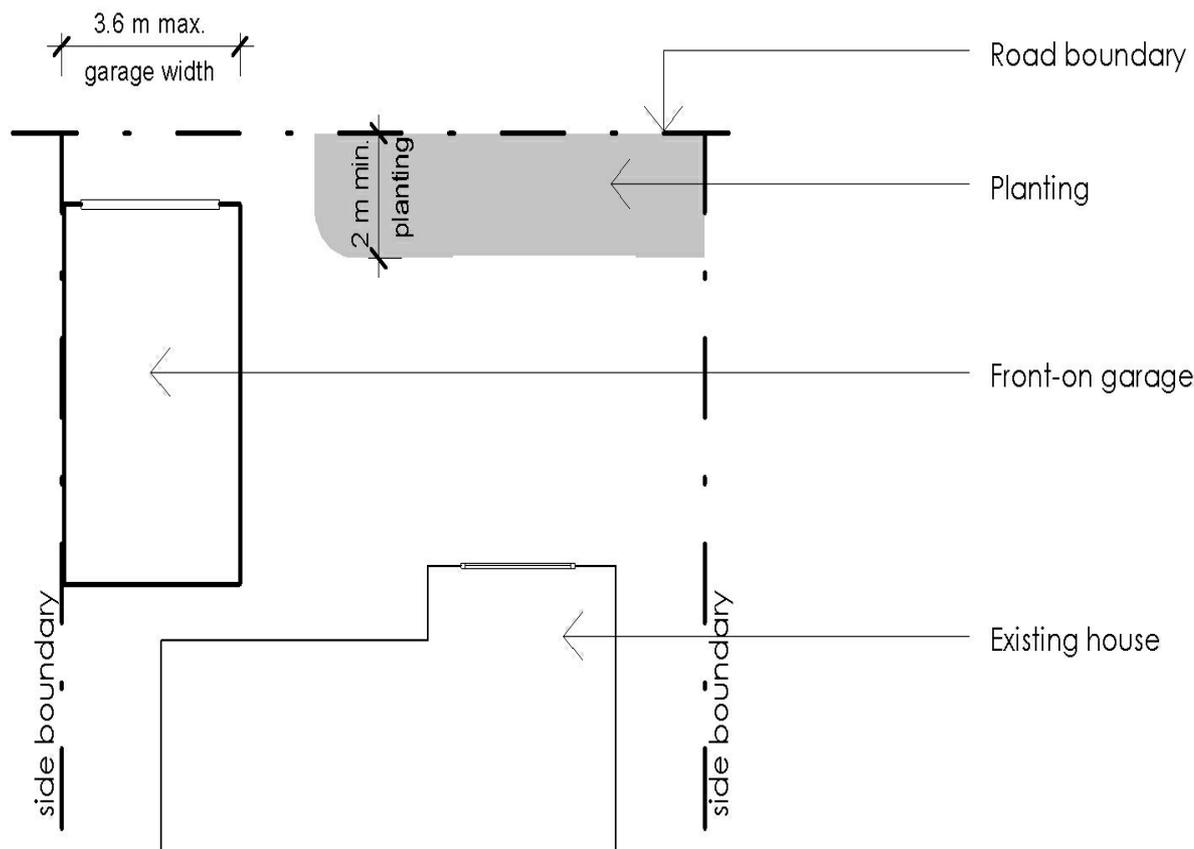


Figure 6: Front extension

14.11.3.10 Street scene amenity and safety – Fences, garaging and landscape

a. Fences:

- i. The maximum height of any fence in the setback from a road boundary with a local road shall be:

Where at least 50% of the fence structure is visually transparent.	1.8m
Where less than 50% of the fence structure is visually transparent.	1m

- ii. The maximum height of any fence in the required building setback from any road boundary with any collector road, or arterial road shall be 1.8m.

i. and ii. shall not apply to fences or other screening structures located on an internal boundary between two properties zoned residential or residential or commercial or industrial.

Note: For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building.

b. Garages:

- i. Garages and carports shall comprise no more than 50% of any ground floor elevation of the residential building viewed from any one site and shall not be more than 6.8m wide. For garages with the vehicle door generally facing a shared access or road boundary the minimum garage setback shall be 5.5m from the shared access or road kerb. This rule does not apply to garages established under Rule 14.11.3.10.
- ii. For Category 2 Character Area CA21 Hackthorne no garage shall be located in the required building setback in Rule 14.11.3.10.

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c. Landscaping:

- i. The land within the road boundary setback required by Rule 14.11.3.10 shall contain a landscape area at least 2m wide along the length of road boundary except that part required for a driveway.
- ii. For Category 2 Character Area CA21 Hackthorne a 3m landscape strip shall be planted, comprising a combination of tree and garden planting, along the length of the road boundary, excluding that part required for a driveway or pedestrian access.
- iii. For Category 2 Character Area CA21 Hackthorne 20% of the site shall be used for tree and garden planting, including the road boundary planting strip.

d. Front facade:

- i. For Category 2 Character Area CA21 Hackthorne the front building façade where visible from the street shall be treated with a minimum of 30% glazing.

14.11.3.11 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1.	A sealed pathway shall be able to be provided from either the <u>road boundary</u> of the <u>site</u> (where a <u>road boundary</u> exists) or a carparking space to a door (not including a <u>garage door</u>) into the <u>residential unit</u> and that path can have: <ol style="list-style-type: none"> a. a minimum clear width of 1.2m; b. slip resistant surface; and c. pathway lighting that is switched on from a light switch located at the door at the end of the path. Note: See figures under 14.2.3.11-1.
2.	A primary pedestrian entrance door to the <u>residential unit</u> with: <ol style="list-style-type: none"> a. a minimum clear opening width of 0.81m with a door leaf of 0.86m; b. a maximum threshold of 20mm; and c. a external landing area that has a slip resistant surface. Note: See figures under 14.2.3.11-2.
3.	All doorways to and within <u>living space</u> have: <ol style="list-style-type: none"> a. a minimum clear opening width of 0.81m with a door leaf of 0.86m; and b. a level transition and threshold (accepting difference in floor materials on either side of the door). Note: See figures under 14.2.3.11-3.
4.	All corridors, hallways, and passageways have a minimum clear width of 1.05m. Note: See figures under 14.2.3.11-4.
5.	A lounge or bedroom in the <u>primary living level</u> shall contain sufficient space to contain a bed with minimum dimensions of 0.9 metres by 1.9m so that that bed can fit with a minimum 0.8m around one side of the foot and a clear minimum 0.8m wide path from a door to the side of the bed. Note: See figures under 14.2.3.11-5.
6.	The laundry space shall provide at least 1.05m clearance provided in front of fixed benches and appliances. Note: See figures under 14.2.3.11-6
7.	The kitchen is not a <u>residential thoroughfare</u> .
8.	<ol style="list-style-type: none"> a. A toilet is <u>installed</u>, or the space is to be provided for a toilet to be <u>installed</u> in the future, on the <u>primary living level</u> that has a minimum 0.8m clear space beside the toilet and a centre line of the toilet pan that is 0.45m from the wall. b. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be <u>installed</u> in the future. Note: See figures under 14.2.3.11-6.

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9.	A shower is <u>installed</u> , or the space is provided for a shower to be <u>installed</u> in the future, on the <u>primary living level</u> that has: <ol style="list-style-type: none"> level entry shower recess with minimum dimensions of 1.2m x 1.2m; drainage of the shower recess located at the corner of a room; a clear space that provides for a 1.5m turning circle; and 800mm clear space beside the shower seat; all shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be <u>installed</u> in the future.
10.	All bathrooms have slip resistant floor surfaces.
11.	For multi-storey access all stairway walls shall have: <ol style="list-style-type: none"> reinforced walls for future <u>installation</u> of a stair-lift or platform lift; reinforced walls for future <u>installation</u> of New Zealand Building Code accessible handrails on both sides; a minimum clear width of 0.9m; a straight design with no winder treads; consistent tread depth with a minimum dimension of 0.31m; consistent riser height with a minimum dimension of 0.18m; no open risers; and lighting with light switches at the top and bottom of the stairs. <p>Note: See figure under 14.2.3.11-11.</p>

14.11.3.12 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation	<u>Insulation R value 3.2.</u>
b.	Recessed down lights	No recessed down lights penetrating the thermal envelope.
c.	Windows	Thermally broken double glazing <u>insulation R value 0.31.</u>
d.	Wall insulation	<u>Insulation R value 2.8.</u>
e.	Concrete slab where proposed as part of the building design	Raft / pod with slab edge <u>insulation R value 2.2</u> , 25mm XPS with 9mm fibre cement board glued to face.
f.	Ventilation	Dedicated extraction <u>installed</u> in kitchen and bathrooms. Provision to vent a clothes drier to the outside of the residential unit.
g.	Water efficiency	<u>WELS 3 Star Shower.</u> <u>WELS 4 Star Toilets.</u> <u>WELS 4 Star Taps.</u>

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h.	Gas heating	No <u>installed</u> un-flued gas heating.
i.	Lighting	Low energy lighting capable.
j.	Materials	No non FSC certified tropical hardwoods.

14.11.3.13 Multi-unit social housing complexes – Service, storage and waste management spaces

- a. Each residential unit shall be provided with:
- an outdoor service space of 3m² and waste management area of 2.25m² with a minimum dimension of 1.5 metres; and
 - a single, indoor storage space of four cubic metres with a minimum dimension of one metre.
- b. Any space designated for waste management, whether private or communal, shall not be located between the road boundary and any building room and shall be screened from adjoining sites, conservation or open space zones, roads, and adjoining outdoor living spaces to a height of 1.5 metres.
- c. If a communal waste management area is provided within the site, the minimum required outdoor service space is 3m² for each residential unit.
- d. If a communal waste management area is provided, it must be demonstrated to be:
- of a sufficient size to accommodate the number and dimensions of bins required to meet the predicted volume of waste generated by the residential units;
 - accessible and safe for use by all residents; and
 - easily accessible for the collection of bins by waste management contractors.

14.12 Rules - Residential Large Lot Zone

14.12.1 How to use the rules

14.12.1.1

The rules that apply to activities in the Residential Large Lot Zone are contained in:

- the Activity Status Tables (incl. Activity Specific Standards) in Rule [14.12.2.1](#), [14.12.2.2](#), [14.12.2.3](#), [14.12.2.4](#), [14.12.2.5](#) and [14.12.2.6](#);
- Built Form Standards in [14.12.3](#);
- Worsleys Road in Appendix [14.10.27](#) and [14.10.28](#);
- 12A, 12B and 12D Vangioni Lane, Akaroa as shown in Appendix [14.10.29](#); and
- Outline Development Plans for the Allandale Density Overlay in Appendix 8.6.8 and Samarang Bay Density Overlay in Appendix 8.6.8.

14.12.1.2

The Activity Status Tables and standards in the following chapters also apply to activities in all areas of the Residential Large

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Lot Zone (where relevant):

- 5 Natural Hazards;
- 6 General Rules and Procedures;
- 7 Transport;
- 8 Subdivision, Development and Earthworks;
- 9 Cultural and Natural Heritage;
- 11 Utilities, Energy and Infrastructure; and
- 12 Hazardous Substances and Contaminated Land.

14.12.2 Activity Status Tables

14.12.2.1 Permitted Activities

In the Residential Large Lot Zone the activities listed below shall comply with any Activity Specific Standards set out in this table and the Built Form Standards in Rule 14.12.3.

Activities may also be restricted discretionary, discretionary or non-complying as specified in Rules 14.12.2.3, 14.12.2.4, or 14.12.2.5 below.

Activity		Activity specific standards
P1	<u>Residential activities</u> that occur within a <u>residential unit</u> , except as specified in Rule 14.12.2.1 P2.	a. NIL
P2	The erection of one <u>residential unit</u> on 12A, 12B and 12D Vangioni Lane, Akaroa as shown in Appendix 14.10.29	a. NIL
P3	<u>Guest accommodation</u>	a. There shall be: <ul style="list-style-type: none"> i. a maximum of six guests accommodated at any one time; and ii. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u>.
P4	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer	a. There shall be: <ul style="list-style-type: none"> i. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and ii. at least one carer residing permanently within the <u>residential unit</u>.

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Activity		Activity specific standards
P5	<u>Home Occupation</u>	<p>The <u>home occupation</u> shall limit:</p> <ol style="list-style-type: none"> a. the <u>gross floor area</u> of the <u>building</u> plus the area used for <u>outdoor storage area</u> occupied by the occupation to less than 40m²; b. the number of <u>FTE</u> employed persons, who reside permanently elsewhere than on the <u>site</u>, to one; c. any <u>retailing</u> to the sale of goods grown or produced on the <u>site</u>, or internet-based sales where no customer visits occur; d. the hours of operation to 50 hours per week; e. the hours of operation when the <u>site</u> is open to visitors, clients, and deliveries to between the hours of: <ol style="list-style-type: none"> i. 0900 – 2100 Monday to Friday; and ii. 0900 – 1300 Saturday, Sunday and public holidays f. visitor or staff <u>parking area</u> to outside the <u>road boundary setback</u>; g. <u>outdoor advertisement</u> to a maximum area of 1m²; and h. activity, where that activity is: <ol style="list-style-type: none"> i. open to visitors and clients; and ii. in a multiple level <u>apartment</u> complex; to the ground floor.
P6	Temporary Military or <u>Emergency Service Training</u> activities	a. NIL
P7	Market gardens, community gardens, and garden <u>allotments</u>	a. NIL
P8	Storage of <u>heavy vehicles</u>	a. No more than one vehicle shall be stored on the <u>site</u>
P9	Dismantling, repair, or storage of motor vehicles and boats	a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u>
P10	<u>Minor residential unit</u> where the existing <u>site</u> it is to be built on contains only one <u>residential unit</u> .	<ol style="list-style-type: none"> a. The <u>site</u> containing unit shall have a minimum <u>net site area</u> as specified in Rule 14.12.3.2; b. The <u>minor residential unit</u> shall have a minimum <u>gross floor area</u> of 35m² and a maximum <u>gross floor area</u> of 70m²; and c. The <u>parking areas</u> of both units shall be accessed from the same <u>access</u>.

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Activity		Activity specific standards
P11	Repair or rebuild of <u>buildings</u> with cross leases, company leases or unit titles	<p>a. Where the repair or rebuild of a <u>building</u> will not alter the <u>building footprint</u>, location, or <u>height</u>, the <u>building</u> need not comply with any of the Built Form Standards.</p> <p>b. Where the <u>building footprint</u>, location, or <u>height</u> is to be altered no more than necessary in order to comply with legal or regulatory requirements or the advice of a suitably qualified and experienced chartered engineer:</p> <ol style="list-style-type: none"> i. the only Built Form Standards that shall apply are those specified in Rules 14.12.3.3 (Maximum <u>building height</u>) and 14.12.3.6 (daylight recession planes); ii. in relation to the <u>road boundary setback</u>, the repaired or rebuilt <u>building</u> shall have a setback of at least 3m; and iii. the standards at i. and ii. shall only apply where the repaired or rebuilt <u>building</u> increases the level of non-compliance with the standard(s) compared to the <u>building</u> that existed at the time of the earthquakes. <p>Clarification: examples of regulatory or legal requirements that may apply include the New Zealand Building Code, <u>Council</u> bylaws, easements, and other rules within this Plan such as requirements for minimum floor levels in Chapter 5.</p> <p>c. If standards a. and b. are not met, the relevant Built Form Standards apply.</p> <p>Any application arising from non-compliance with standards a. and b.i. will not require written approval except from the affected <u>adjoining</u> landowner(s) and shall not be publicly notified.</p> <p>Any application arising from non-compliance with Standard b.ii. (<u>road boundary setbacks</u>), will not require written approval and shall not be publicly or limited notified</p>
P12	<u>Conservation activity</u>	a. NIL
P13	<u>Farming activity</u>	a. NIL
P14	Passive <u>recreation activity</u>	a. NIL

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Activity		Activity specific standards
P15	<u>Indigenous vegetation clearance</u> in the Akaroa Hillslopes Density Overlay	a. Any <u>indigenous vegetation clearance</u> undertaken in any continuous period of five years shall not exceed: <ul style="list-style-type: none"> i. 300m2 per <u>site</u>, provided that where a <u>site</u> is already partially cleared, the total amount of land cleared on the <u>site</u> over the period shall not exceed 300m2; or ii. 300m2 where a <u>site</u> is greater than 1ha in area.

14.12.2.2 Controlled Activities

There are no controlled activities

14.12.2.3 Restricted Discretionary Activities

The activities listed below are restricted discretionary activities.

Restricted discretionary activities shall also comply with the Built Form Standards set out in [14.12.3](#).

Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [14.9](#) for each standard, as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<u>Residential unit</u> contained within its own separate <u>site</u> in the Akaroa Hillslopes Density Overlay	a. Hillside and small settlement development – 14.9.40
RD2	<u>Minor residential unit</u> that does not meet the Activity Specific Standards in Rule 14.12.2.1 P10 a, b, c, and d	a. <u>Minor residential units</u> - 14.9.7
RD3	<p><u>Residential unit</u> contained within its own separate <u>site</u> with a minimum <u>net site area</u> that does not meet the standards specified in Rule 14.12.3.2 Site density by up to 10%</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	a. <u>Site density and site coverage</u> - 14.9.1 b. Hillside and small settlement development – 14.9.40

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	Activity	The Council's discretion shall be limited to the following matters:
RD4	Non-compliance with Rule 14.12.3.3 Maximum <u>building height</u>	a. <u>Building height</u> and daylight recession planes - 14.9.2
RD5	Non-compliance with Rule 14.12.3.4 Maximum site coverage where the site coverage is exceeded by 10% or less	a. <u>Site density</u> and <u>site coverage</u> - 14.9.1 b. Hillside and small settlement development – 14.9.40
RD6	Non-compliance with Rule 14.12.3.5 Daylight recession planes	a. <u>Building height</u> and daylight recession planes - 14.9.2
RD7	Non-compliance with Rule 14.12.3.6 Minimum <u>building setback</u> from internal boundaries	a. Minimum <u>building window and balcony setbacks</u> from internal boundaries - 14.9.4

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	Activity	The Council's discretion shall be limited to the following matters:
RD8	<p>Non-compliance with one or more of the following Rules:</p> <p>14.12.3.7 Road boundary setback; 14.12.3.8 Building reflectivity and colour; 14.12.3.9 Landscaped areas – Worsleys Road; 14.12.3.10 Life-stage; 14.12.3.11 Energy and water efficient;</p> <p>Any application arising from non-compliance with these rules will not require written approval and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule</p> <p>a. Street scene - road boundary, building setback, front doors, fencing and planting - 14.9.3;</p> <p>b. Service water and waste management spaces - 14.9.11;</p> <p>c. Tree and garden planting - 14.9.12;</p> <p>d. Life-stage, adaptive design and energy and water efficiency -14.9.21; and</p> <p>e. Hillside and small settlement development - 14.9.40</p>
RD9	Non-compliance with Rule 14.12.2.1 P15	<p>a. Indigenous vegetation clearance in Akaroa Hillslopes Density Overlay – 14.9.38</p>
RD10	Non compliance with the Activity Specific Standards in Rule 14.12.2.1 P2 Guest accommodation , P3 care of non-resident children within a residential unit and P6 Home occupation .	<p>a. Scale of activity- 14.9.14;</p> <p>b. Traffic generation access and safety - 14.9.15; and</p> <p>c. Non residential hours of operation - 14.9.16.</p>

14.12.2.4 Discretionary Activities

The activities listed below are a discretionary activity and shall be assessed against matters specified in section 104 of the Act. That assessment will include, where relevant, the assessment matters in clause [14.12.1](#) and [14.12.2](#).

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Activity	
D1	Storage of <u>heavy vehicles</u> , show homes, and dismantling, repair or storage of motor vehicles and/or boats where it does not meet one or more of the relevant Activity Specific Standards for permitted activities in Rule 14.12.2.1 P3, P4, P9, P10 or restricted discretionary activities.
D2	Any <u>residential unit</u> contained on a <u>site</u> where non-compliance with the <u>net site area</u> specified in Rule 14.12.3.2 exceeds 10%
D3	Non-compliance with Rule 14.12.3.4 where the <u>site</u> coverage is exceeded by more than 10%

14.12.2.5 Non Complying Activities

The activities listed below are a non-complying activity.

Activity	
NC1	Any activity not provided for as a permitted, restricted discretionary, or discretionary activity

14.12.2.6 Prohibited Activities

There are no prohibited activities.

14.12.3 Built Form Standards

14.12.3.1

The following Built Form Standards shall be met by all permitted activities and restricted discretionary activities.

14.12.3.2 Site Density

Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	Area	Standard
a.	All <u>sites</u> unless specified below	1500m ²
b.	Residential Large Lot Density Overlay	3000m ²
c.	Akaroa Hillslopes Density Overlay	5000m ²

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	Area	Standard
d.	Allandale Density Overlay	In accordance with the <u>Outline Development Plan in Appendix 8.6.8</u>
e.	Samarang Bay Density Overlay	In accordance with the <u>Outline Development Plan in Appendix 8.6.8</u>

14.12.3.3 Maximum Building Height

The maximum height of any building shall be:

	Activity	Standard
a.	All <u>buildings</u> unless specified below	7m
b.	<u>Minor residential units</u>	5.5m and of a single storey only

Note: See the permitted height exceptions contained within the definition of height.

14.12.3.4 Maximum Site Coverage

- a. The maximum percentage of the net site area covered by buildings excluding:
- i. fences, walls and retaining walls;
 - ii. eaves and roof overhangs up to 600 millimetres in width from the wall of a building;
 - iii. uncovered swimming pools up to 800 millimetres in height above ground level; and
 - iv. decks, terraces, balconies, porches, verandas, bay or box windows (supported or cantilevered) which:
 - A are no more than 800mm above ground level and are uncovered or unroofed; or
 - B where greater than 800mm above ground level and/or covered or roofed, are in total no more than 6m² in area for any one site;
- i. In the Worsleys Road area as shown in Appendix [14.10.27](#), the maximum site coverage shall include impervious surfaces.

shall be as follows:

	Zone/Activity/Overlay Area	Standard
a.	All activities unless specified below.	40% or 300m ² , whichever is the lesser
b.	All activities in the Akaroa Hillslopes Density Overlay and Worsleys Road as shown in Appendix 14.10.27	10% or 250m ² whichever is the lesser

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	Zone/Activity/Overlay Area	Standard
c.	All activities in the Allandale Density Overlay	10% or 500m ² , whichever is the lesser
d.	All activities in the Samarang Bay Density Overlay	10% or 250m ² , whichever is the lesser
e.	Market gardens	55%

14.12.3.5 Daylight recession planes

- a. Buildings shall not project beyond a building envelope constructed by recession planes, as shown in Appendix 14.10.2 Diagram F, from points 2.3m above:
- internal boundaries; or
 - where an internal boundary of a site abuts an access lot or access strip the recession plane may be constructed from points 2.3m above the furthest boundary of the access lot or access strip or any combination of these areas; or
 - where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall.
- b. The recession plane shall only apply to the mid-point of each section of wall or roof of a building, as shown in Appendix 14.10.2A
- c. Except in Worsleys Road as shown in Appendix 14.10.27, where the recession planes shall commence from points 2.3m above a line 5m inside internal boundaries

Refer to Appendix 14.10.2 for permitted intrusions.

14.12.3.6 Minimum building setback from Internal Boundaries

The minimum building setback from internal boundaries shall be as follows:

a.	All <u>buildings</u> not listed in table below.	3m
b.	All <u>buildings</u> in the Allandale Density Overlay and Samarang Bay Density Overlay	15m
c.	All <u>buildings</u> in the Akaroa Hillslopes Density Overlay and Worsleys Road as shown in Appendix 14.10.27	5m
d.	<u>Accessory buildings</u> where the total length of walls or parts of the <u>accessory building</u> within 1.8m of each internal <u>boundary</u> does not exceed 10.1m in length	NIL

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e.	Decks and <u>terraces</u> at or below ground floor level	NIL
f.	<u>Buildings</u> that share a common wall along an internal <u>boundary</u>	NIL
g.	All other <u>buildings</u> where the internal <u>boundary</u> of the <u>site</u> adjoins an <u>access</u> or part of an <u>access</u>	1 m

14.12.3.7 Road boundary building setback

The road boundary building setback shall be:

<u>Any buildings</u> with a <u>garage</u> vehicle door facing the <u>road</u>	5.5m
<u>Buildings</u> without a <u>garage</u> vehicle door facing the <u>road</u> ..	5m
<u>Any buildings</u> in the Akaroa Hillslopes Density Overlay and Worsleys Road as shown in Appendix 14.10.27	5m
<u>Any buildings</u> in the Allandale Density Overlay and Samarang Bay Density Overlay.	15m

14.12.3.8 Building reflectivity and colour

- a. Within the Worsleys Road as shown in Appendix [14.10.28](#):
- any building or structure or any addition or alteration to a building or structure (excluding trim which does not exceed 200mm in more than one dimension, doors which do not exceed 1.2 x 2.2m, or guttering), shall be limited to a colour and reflectivity as specified in Appendix [14.10.28](#); and
 - any trim or guttering not exceeding 200mm in more than one dimension, or door which does not exceed 1.2 x 2.2m is not required to comply with the colour requirements specified in Rule [14.12.3.8](#) a.i. above provided that its reflectivity is less than 70%.
- b. Within the Samarang Bay Density Overlay and the Allandale Density Overlay, all buildings shall be finished in colours complying with the colour palette described in Appendix [14.10.30](#).
- c. On 12A, 12B, 12D Vangioni Lane, Akaroa, as shown in Appendix [14.10.29](#), the exterior surfaces of all buildings including roofs are to be finished in colours that have a reflectivity value of between 0 and 40%.

14.12.3.9 Landscaped Areas - Worsleys Road

- A minimum of 6 trees shall be planted within 20m of each residential unit located in the Worsleys Road shown in Appendix [14.10.28](#).
- All landscaping /trees required by this rule shall be in accordance with the provisions in Appendix 6.6 (Rules and guidance for landscaping and tree planting)
- In addition to [14.12.3.8b](#). above the following trees shall not be planted:
 - Fraxinus excelsior 'Aurea' (Golden Ash)(or similar yellow ash species)
 - Gleditsia tricanthos 'Sunburst' (Honey Locust) (or similar yellow varieties of the honey locust)
 - Robinia pseudoacacia 'Frisia' (Black Locust)(or similar yellow varieties of the black locust)
 - Ulmus procera 'Louis van Houtte' (Golden Elm)(or similar yellow elm varieties)

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- v. *Arucaria heterophylla* (Norfolk Pine)
- vi. Any eucalyptus (gum) species and any conifer species such as *Chamaecyparis* spp, *Cupressocyparis leylandii* spp. (eg. Golden Macrocarpa), *Pinus* spp, *Thuja* spp. but conifers which are indigenous to New Zealand (eg. rimu and totara) are not excluded from being planted under this rule.

14.12.3.10 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

1.	<p>Pathways</p> <p>A sealed path from either the <u>road boundary</u> of the site (where a <u>road boundary</u> exists) or a carparking space to a door (not including a <u>garage door</u>) into the <u>residential unit</u> is able to be added, and that path can have:</p> <ul style="list-style-type: none"> a. a minimum clear width of 1.2ms; b. a cross fall of not more than 1:50; c. slip resistant surface; and d. pathway lighting that is switched on from a light switch located at the door at the end of the path.
2.	<p>Primary pedestrian entrance door</p> <p>A primary pedestrian entrance door to the <u>residential unit</u> with:</p> <ul style="list-style-type: none"> a. a minimum clear opening width of 0.81m with a door leaf of 0.86m; b. a maximum threshold of 20mm; and c. a external landing area that has a slip resistant surface.
3.	<p>Doors within the <u>living space</u> of the <u>residential unit</u></p> <p>All doorways to and within <u>living space</u> have:</p> <ul style="list-style-type: none"> a. a minimum clear opening width of 0.81m with a door leaf of 0.86m; and b. a level transition and threshold (accepting difference in floor materials on either side of the door).
4.	<p>Corridors, hallways, and passageways within the <u>residential unit</u></p> <p>All corridors, hallways, and passageways have a minimum clear width of 1.05m.</p>
5.	<p>Space around bed to support ease of movement</p> <p>Enough space in a lounge or bedroom in the <u>primary living level</u> to contain a bed with minimum dimensions of 0.9m by 1.9m so that that bed can fit with a minimum 0.8m around one side of the foot and a clear minimum 0.8m wide path from a door to the side of the bed.</p>
6.	<p>The laundry space shall provide at least 1.05m clearance provided in front of fixed benches and appliances.</p>
7.	<p>The kitchen is not a <u>residential thoroughfare</u> .</p>
8.	<p>Toilet</p> <ul style="list-style-type: none"> a. A toilet is <u>installed</u>, or the space is to be provided for a toilet to be <u>installed</u> in the future, on the <u>primary living level</u> that has a minimum 0.8m clear space beside the toilet and a centre line of the toilet pan that is 0.45m from the wall; and b. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be <u>installed</u> in the future.

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9.	<p>Shower</p> <p>a. A shower is <u>installed</u>, or the space is provided for a shower to be <u>installed</u> in the future, on the <u>primary living level</u> that has:</p> <ol style="list-style-type: none"> level entry shower recess with minimum dimensions of 1.2m x 1.2m; drainage of the shower recess located at the corner of a room; a clear space that provides for a 1.5m turning circle; and 800mm clear space beside the shower seat; <p>b. all shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be <u>installed</u> in the future.</p>
10.	<p>Slip resistant floors on bathrooms</p> <p>All bathrooms have slip resistant floor surfaces.</p>
11.	<p>Multi-storey <u>access</u></p> <p>All stairway walls have:</p> <ol style="list-style-type: none"> reinforced walls for future installation of a stair-lift or platform lift; reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides; a minimum clear width of 0.9m; a straight design with no winder treads; consistent tread depth with a minimum dimension of 0.31m; consistent riser <u>height</u> with a minimum dimension of 0.18m; no open risers; and lighting with light switches at the top and bottom of the stairs.
	<p>Note: The following are recommended (but not mandatory) at time of construction.</p>
12.	<p>Lever action door handles</p> <p>All door handles are lever action</p>
13.	<p>Tap fixtures</p> <p>All tap fixtures are lever, or push button, or electronic.</p>
14.	<p>Door handles</p> <p>All door handles are <u>installed</u> at 0.9m – 1.2m above the finished floor level.</p>
15.	<p><u>Electrical switches</u></p> <p>The centre of all <u>electrical switches</u> on walls, are at the same <u>height</u> as the centre of door handles.</p>
16.	<p>Powerpoints, television, telephone and computer outlets</p> <p>All powerpoints, television, telephone and computer outlets are <u>installed</u> at the same <u>height</u> throughout the <u>residential unit</u> at no less than 0.3m above the finished floor level.</p>
17.	<p><u>Window controls</u></p> <p>All <u>window controls</u> are lever handles and are able to be operated with one hand.</p>

14.12.3.11 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features. Residential

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unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation	<u>Insulation R value 3.2.</u>
b.	Recessed down lights	No recessed down lights penetrating the thermal envelope.
c.	<u>Windows</u>	Thermally broken double glazing <u>insulation R value 0.31.</u>
d.	Wall insulation	<u>Insulation R value 2.8.</u>
e.	Ventilation	Dedicated extraction <u>installed</u> in kitchen and bathrooms. Provision to vent a clothes drier to the outside of the <u>residential unit.</u>
f.	Water efficiency	<u>WELS 3 Star Shower.</u> <u>WELS 4 Star Toilets.</u> <u>WELS 4 Star Taps.</u>
g.	Gas heating	No <u>installed</u> un-flued gas heating.
h.	Lighting	Low energy lighting capable.
i.	Materials	No non FSC certified tropical hardwoods.

14.13 Rules - Residential Bach Zone

14.13.1 How to use the rules

14.13.1.1

The rules that apply to activities in the Residential Bach Zone are contained in:

- a. The Activity Status Tables (including Activity Specific Standards) in Rules [14.13.2](#); and
- b. Built Form Standards in Rules [14.13.3](#).

14.13.1.2

The Activity Status Tables and Standards in the following chapters shall be complied with (where relevant):

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- 5 Natural Hazards;
- 6 General Rules and Procedures;
- 7 Transport;
- 8 Subdivision, Development and Earthworks;
- 9 Natural and Cultural Heritage;
- 11 Utilities, Energy and Infrastructure; and
- 12 Hazardous Substances and Contaminated Land.

14.13.2 Activity status tables

14.13.2.1 Permitted Activities

In the Residential Bach Zone the activities listed below are permitted activities if they comply with any Activity Specific Standards set out in this table and the Built Form Standards in Rule [14.13.3](#).

Activities may also be restricted discretionary, discretionary, non complying or prohibited as specified in Rules [14.13.2.3](#), [14.13.2.4](#), [14.13.2.5](#) and [14.13.2.6](#).

Activity	Activity Specific Standards
P1 <u>Temporary occupation of a bach/residential unit</u> .	a. NIL

14.13.2.2 Controlled Activities

There are no controlled activities.

14.13.2.3 Restricted Discretionary Activities

The activities listed below are restricted discretionary activities.

Discretion to grant or decline consent and impose conditions is restricted to the Matters of Discretion set out in [14.9](#) for each standard, as set out in the following table.

Activity	The Council's Discretion shall be limited to the following matters:
RD1 Relocation of an existing bach located at Taylors Mistake, Hobsons Bay and Boulder Bay as at January 2015. Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.	a. Relocation of a building 14.9.17 b. The relocation of the bach shall be in general accordance with the layout shown on the development plan in Appendix 14.10.31 c. Hillside and small settlement development – 14.9.40

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RD2	<p>The erection of a bach to replace an unscheduled bach or scheduled bach within the Coastal Zone, provided the bach it is to replace a bach required to be removed as shown under Appendix 14.10.32</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. The erection of the bach shall be in general accordance with the layout shown on the development plan in Appendix 14.10.31</p> <p>b. The provision of landscaping in general accordance with a Council approved planting plan. Each application for a bach shall be accompanied by a landscape plan incorporating the area around the bach. The landscape plan shall be implemented within 6 months of the occupation of each bach.</p> <p>c. The availability and provision of services.</p> <p>d. Hillside and small settlement development – 14.9.40</p>
RD3	<p>The construction of the vehicular access track to the Residential Bach Zone (Taylors Mistake) as shown on Appendix 14.10.31</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>a. Standards of construction necessary for the purposes of taking people or goods to or from the baches.</p>

14.13.2.4 Discretionary Activities

There are no discretionary activities.

14.13.2.5 Non Complying Activities

The activities listed below are a non-complying activities:

Activity	
NC1	Any individual bach with a gross floor area greater than 55m ² . For the purposes of this rule gross floor area shall only include ground floor and shall exclude any mezzanine or first floor levels.
NC2	Permitted and restricted discretionary activities that do not comply with the following Built Form Standards: 14.13.3.1 , 14.13.3.2 , 14.13.3.3 , 14.13.3.4 , 14.13.3.5

14.13.2.6 Prohibited Activities

Activity	
PR1	Any activity not provided for as a permitted activity, restricted discretionary or non-complying activity shall be a prohibited activity.

14.13.3 Built form standards

The following Built Form Standards shall be met by all permitted activities and restricted discretionary activities

14.13.3.1 Site density

- a. A maximum of 15 baches can be established on the area of land shown in Appendix [14.10.31](#)

14.13.3.2 Building scale

- a. The gross floor area of any individual bach shall be no more than 50m². For the purposes of this rule gross floor area shall

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only include ground floor and shall exclude any mezzanine or first floor levels.

- b. The total area of all decks associated with a bach shall be no more than 6m².

14.13.3.3 Building height

- a. The maximum height of any building shall be 5m.

14.13.3.4 Site coverage

- a. No more than 20% of the total area shown in Appendix 14.10.31 shall be covered by buildings, decks and impervious surfaces.

14.13.3.5 Vehicle access

- a. The use of the vehicular access to the area shown in Appendix 14.10.31 shall be restricted to bach owners for the purposes of taking people or goods to or from their respective baches or for vehicles specifically needed for construction, maintenance or emergency purposes. Except for the loading or unloading of people and/or goods, and for the temporary parking of vehicles (other than vehicles owned by bach owners) specifically needed for construction, maintenance or emergency purposes, there shall be no parking in the area shown in Appendix 14.10.31.

14.14 Rules - Residential Small Settlement Zone

14.14.1 How to use the rules

14.14.1.1

The rules that apply to activities in the Residential Small Settlement Zone are contained in in:

- a. The Activity Status Tables (including Activity Specific Standards) in Rules [14.14.2](#)
b. Built Form Standards in Rules [14.14.3](#)

14.14.1.2

14.14.2 Activity status tables

14.14.2.1 Permitted Activities

In the Residential Small Settlement Zone the activities listed below are permitted activities if they comply with any Activity Specific Standards set out in this table and the Built Form Standards in Rule [14.14.3](#). Activities may also be restricted discretionary, discretionary, non-complying or prohibited as specified in Rules [14.14.2.3](#), [14.14.2.4](#), [14.14.2.5](#) and [14.14.2.6](#).

	ACTIVITY	ACTIVITY SPECIFIC STANDARDS
P1	<u>Residential Activities</u> that occur within a <u>residential unit</u> .	a. NIL.

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P2	<u>Guest accommodation.</u>	<p>There shall be:</p> <ul style="list-style-type: none"> a. a maximum of six guest accommodated at any one time; and b. at least one owner of the <u>residential unit</u> residing permanently on <u>site</u> .
P3	Minor <u>residential unit</u> where the existing site it is to be built on contains only one <u>residential unit</u> .	<ul style="list-style-type: none"> a. The <u>site</u> containing unit shall have a minimum <u>net site area</u> of 1000m². b. The minor <u>residential unit</u> shall have a minimum <u>gross floor area</u> of 35m² and a maximum <u>gross floor area</u> of 70m². c. The <u>parking areas</u> of both units shall be accessed from the same <u>access</u>. d. Each <u>residential unit</u> shall have a total <u>outdoor living space</u> on the <u>site</u> with a minimum area of 75m². This total space can be provided as: <ul style="list-style-type: none"> i. a single continuous area with a minimum dimension of 6m; or ii. be in two connected spaces each with a minimum dimension of 6m; iii. be divided into two separate unconnected spaces, provided that each unit is provided with an <u>outdoor living space</u> that is directly accessible from that unit and is a minimum of 30m² in area. e. The <u>minor residential unit</u> shall be able to provide a legal on-site treatment and disposal system; or f. The <u>minor residential unit</u> shall be serviced by the <u>Council's</u> wastewater system whilst still ensuring there is adequate capacity within the Council's wastewater system to service the existing zoned land.
P4	Care of non-resident children within a <u>residential unit</u> in return for monetary payment to the carer.	<p>There shall be:</p> <ul style="list-style-type: none"> a. a maximum of four non-resident children being cared for in return for monetary payment to the carer at any one time; and b. at least one carer residing permanently within the <u>residential unit</u> .

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P5	<u>Home Occupation.</u>	<p>There shall be:</p> <ul style="list-style-type: none"> a. A maximum of 40m² (<u>gross floor area</u> of the building including the area used for outdoor storage) occupied by the <u>home occupation</u>. b. No more than one <u>FTE</u> employed person who resides permanently elsewhere on the <u>site</u>. c. No <u>retailing</u> other than: <ul style="list-style-type: none"> i. the sale of goods grown or produced on the <u>site</u> or ii. internet sales where no customer visits occur d. Limited hours of operation when the <u>site</u> is open to visitors, clients and deliveries. Hours are limited to between: <ul style="list-style-type: none"> i. 0900-2100 Monday to Friday and ii. 0900 – 1300 Saturday, Sunday and public holidays e. No visitor or staff parking in the road boundary setback f. No activities which are; <ul style="list-style-type: none"> i. open to visitors and clients and ii. located in a multiple level apartment complex iii. above ground floor levels.
P6	<u>Reserves</u>	a. NIL
P7	Temporary Military or <u>Emergency Service</u> Training activities.	a. NIL
P8	Market gardens, community gardens, and garden <u>allotment s.</u>	a. NIL
P9	Storage of <u>heavy vehicles</u>	a. No more than one vehicle shall be stored on the <u>site</u> .
P10	Dismantling, repair, or storage of motor vehicles and boats.	a. The vehicles and/or boats shall be owned by people who live on the same <u>site</u> .

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P11	Heli-landing areas.	<ul style="list-style-type: none"> a. Sites shall be greater than 3000m² in area. b. The number of flights shall not exceed 12 (24 movements) in any calendar year. c. The flights (movements) shall not take place on more than five days in any one month period. d. The flights (movements) shall not exceed three in any one week. e. Any movements shall only occur between 0800 and 1800 hours. f. No movements shall take place within 25m of any residential unit unless that residential unit is owned or occupied by the applicant. g. A log detailing the time and date of each helicopter movement shall be maintained and made available for inspection by the Council when requested.
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14.14.2.2 Controlled Activities

There are no controlled activities.

14.14.2.3 Restricted Discretionary Activities

The activities listed below are restricted discretionary activities. Discretion to grant or decline consent and impose conditions is restricted to the Matters of Discretion set out in 14.9 for each Standard, as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p>Residential units (including any sleepouts) containing more than 6 bedrooms in total.</p> <p>Any application arising from this rule shall not be publicly notified but may be limited notified to affected persons.</p>	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14 b. Traffic generation access and safety - 14.9.15 c. Liquefaction susceptibility of the site and proposed development - 14.9.20 d. Hillside and small settlement development – 14.9.40
RD2	<p>Retirement villages able to provide a legal on-site treatment and disposal systems or be able to be serviced by the Council's wastewater system whilst ensuring there is adequate capacity within the Council's wastewater system to service the existing zoned land.</p>	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14 b. Traffic generation access and safety - 14.9.15 c. Liquefaction susceptibility of the site and proposed development - 14.9.20 d. Hillside and small settlement development – 14.9.40 <p>Note: Geriatric hospice and hospital care are subject to the Health Care Facilities standards.</p>
RD3	<p>Relocation of a building</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<ul style="list-style-type: none"> a. Relocation of a building - 14.9.34

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RD4	<u>Convenience activities</u>	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14 b. Non residential hours of operation - 14.9.16 c. Traffic generation and access safety - 14.9.15 d. Hillside and small settlement development – 14.9.40
RD5	<u>Pre-schools facility</u> Any application arising from this rule shall not be publicly notified but may be limited notified to affected persons.	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14 b. Non residential hours of operation - 14.9.16 c. Traffic generation and access safety - 14.9.15 d. Hillside and small settlement development – 14.9.40
RD6	<u>Veterinary Care Facility</u> Any application arising from this rule shall not be publicly notified but may be limited notified to affected persons.	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14 b. Non residential hours of operation - 14.9.16 c. Traffic generation and access safety - 14.9.15 d. Hillside and small settlement development – 14.9.40
RD7	<u>Education Activity</u> Any application arising from this rule shall not be publicly notified but may be limited notified to affected persons.	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14 b. Non residential hours of operation - 14.9.16 c. Traffic generation and access safety - 14.9.15 d. Hillside and small settlement development – 14.9.40
RD8	<u>Place of assembly</u>	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14 b. Non residential hours of operation - 14.9.16 c. Traffic generation and access safety - 14.9.15 d. Hillside and small settlement development – 14.9.40
RD9	<u>Health care facility</u> Any application arising from this rule shall not be publicly notified but may be limited notified to affected persons.	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14 b. Non residential hours of operation - 14.9.16 c. Traffic generation and access safety - 14.9.15 d. Hillside and small settlement development – 14.9.40
RD10	Camping grounds	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14 b. Non residential hours of operation - 14.9.16 c. Traffic generation and access safety - 14.9.15
RD11	<u>Emergency service activities</u> Any application arising from this rule shall not be publicly notified but may be limited notified to affected persons.	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14 b. Non residential hours of operation - 14.9.16 c. Traffic generation and access safety - 14.9.15

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RD12	<p>Non-compliance with one or more of the following Rules: 14.15.3.6 building setbacks from road boundaries; 14.15.3.7 Life stage inclusive and adaptive design for new residential units; and 14.15.3.8 Energy and water efficient standards.</p> <p>Any application arising from non-compliance with this rule will not require written approvals and shall not be publicly or limited notified.</p>	<p>As relevant to the breached rule:</p> <ul style="list-style-type: none"> a. Street scene - 14.9.3 b. Lifestage, adaptive design and energy and water efficiency - 14.9.21
RD 13	<p>Non-compliance with one or more of the following rules: 14.14.3.1 Site density 14.14.3.2 Building height 14.14.3.3 Site coverage 14.14.3.4 Minimum building setback from side and rear internal boundaries 14.14.3.5 Daylight recession planes</p> <p>Any application arising from this rule shall not be publicly notified but may be limited notified to affected persons.</p>	<p>As relevant to the breached rule:</p> <ul style="list-style-type: none"> a. Site Density and Site Coverage - 14.9.1 b. Building height and daylight recession planes - 14.9.2 c. Minimum building window and balcony setbacks from internal boundaries - 14.9.4
RD 14	<p>Non-compliance with the permitted activity standards in 14.14.2.1 P2 Guest accommodation, P4 Care of non-resident children, P5 Home occupation.</p> <p>Any application arising from this rule shall not be publicly notified but may be limited notified to affected persons.</p>	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14 b. Traffic generation access and safety - 14.9.15 c. Non residential hours of operation - 14.9.16
RD 15	<p>Residential units within the Takamatua Overlay Area and Robinsons Bay Overlay Area</p> <p>Any application arising from this rule will not require written approvals and shall not be publicly or limited notified.</p>	<ul style="list-style-type: none"> a. The development of land shall be in accordance with the layout shown on the development plan in Appendix 8.6.10 and Appendix 8.6.11

14.14.2.4 Discretionary Activities

The activities listed below are discretionary activities.

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Activity	
D1	Storage of <u>heavy vehicles</u> ; dismantling, repair or storage of motor vehicles and/or boats; and <u>heli-landing areas</u> where it does not meet one or more of the permitted activity standards in Rule 14.14.2.1

14.14.2.5 Non Complying Activities

The activities listed below are a non-complying activity.

Activity	
NC1	Any activity not provided as a permitted, controlled, restricted discretionary, discretionary or prohibited activity.

14.14.2.6 Prohibited Activities

There are no prohibited activities.

14.14.3 Built form standards

14.14.3.1 Site density

Each residential unit shall be contained within its own separate site. The site shall have a minimum net site area as follows:

	Area/Location	Standard
a.	Small Settlement Zone	1000m ²
b.	<u>Allotments</u> created before October 2014 and less than 1000m ² in area.	One <u>residential unit</u> may be established on a site less than 1000m ² but greater than 500m ² .
c.	For that part of the Small Settlement Zone identified in <u>Appendix 8.6.10 Takamatua Outline Development Plan</u> .	No more than one <u>residential unit</u> may be located on any site.
d.	For that part of the Small Settlement Zone identified in <u>Appendix 8.6.10 Takamatua Outline Development Plan</u> on those properties located at 1 Lushingtons Road and 6 Kotare Lane.	No more than one <u>residential unit</u> may be located on any site.
e.	Within the Kainga Density Overlay Area 1 and 2.	500m ²

14.14.3.2 Building height

The maximum height of any building shall be: Note: See the permitted height exceptions contained within the definition of height.

	Area/Location	Standard
a.	All <u>buildings</u>	7 m
b.	<u>Accessory buildings</u>	4.5m
c.	<u>Buildings</u> located in the Kainga Overlay Area 1 and Spencerville Overlay Area.	8m
d.	<u>Buildings</u> in the Kainga Overlay Area 2.	5m

14.14.3.3 Site coverage

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The maximum percentage of the net site area of any site covered by buildings shall be 25% or 250m² whichever is the lesser or shall be 40% if within the Kainga Overlay Area 2, but this excludes:

- a. fences, walls and retaining walls;
- b. eaves and roof overhangs up to 600mm in width from the wall of a building;
- c. uncovered swimming pools up to 800mm in height above ground level and
- d. decks, terraces, balconies, porches, verandas, bay or box windows (supported or cantilevered)

which:

- i. are no more than 800mm above ground level and are uncovered or unroofed; or
- ii. where greater than 800mm above ground level and/or covered or roofed, are in total no more than 6m² in area for any one site.

14.14.3.4 Minimum building setback from side and rear internal boundaries

1. The minimum building setback from side and rear internal boundaries shall be:

a.	Side internal boundaries.	3m
b.	Side internal boundaries in the Kainga Overlay Areas 1 and 2 and the Spencerville Overlay Area.	2m
c.	Rear internal boundaries.	3m
d.	Rear internal boundaries in the Kainga Overlay Areas 1 and 2 and the Spencerville Overlay Area.	2m

2. There shall be no minimum setback from internal boundaries for accessory buildings where the length of any wall located within the setbacks specified in clause 1 above, is less than six metres.

14.14.3.5 Daylight recession planes

- a. No part of any building shall project beyond a building envelope contained by a 45 degree recession plane measured at any point 2m above any adjoining site boundary, that is not a road boundary.
- b. Within the Kainga Overlay Area 1 and 2 and the Spencerville Overlay Area buildings shall not project beyond a building envelope constructed by recession planes, as shown in Appendix 14.10.2 Diagram A, from points 2.3m above:
 - i. internal boundaries; or
 - ii. where an internal boundary of a site abuts an access lot or access strip the recession plane may be constructed from points 2.3m above the furthest boundary of the access lot or access strip or any combination of these areas; or
 - iii. where buildings on adjoining sites have a common wall along an internal boundary the recession planes shall not apply along that part of the boundary covered by such a wall. Refer to Appendix 14.10.2 for permitted intrusions.

14.14.3.6 Building setbacks from road boundaries

Minimum building setback from road boundaries shall be as follows:

	Applicable to	Standard
a.	Where a <u>garage</u> contains a vehicle entrance way which generally faces a <u>road</u> .	5m
b.	All other <u>buildings</u>	4.5m
c.	In the Kainga Overlay Area 2	3m from the common <u>boundary</u> of the leased land and the internal <u>road</u> .

14.14.3.7 Life-stage inclusive and adaptive design for new residential units

All new residential units, with their primary pedestrian entrance and some habitable space at the ground floor, shall incorporate the following standards or features. Residential unit building projects that have been registered with Lifemark™ for a minimum 3-star rating shall be deemed to have complied with this rule.

a.	<p>A sealed pathway shall be able to be provided from either the <u>road boundary</u> of the site (where a <u>road boundary</u> exists) or a carparking space to a door (not including a <u>garage door</u>) into the <u>residential unit</u> and that path can have:</p> <ul style="list-style-type: none"> i. a minimum clear width of 1.2m; ii. slip resistant surface; and iii. pathway lighting that is switched on from a light switch located at the door at the end of the path. Note: See figures under 14.2.3.11-1.
b.	<p>A primary pedestrian entrance door to the <u>residential unit</u> with:</p> <ul style="list-style-type: none"> i. a minimum clear opening width of 0.81m with a door leaf of 0.86m; ii. a maximum threshold of 20mm; and iii. a external landing area that has a slip resistant surface. <p>Note: See figures under 14.2.3.11-2.</p>
c.	<p>All doorways to and within <u>living space</u> have:</p> <ul style="list-style-type: none"> i. a minimum clear opening width of 0.81m with a door leaf of 0.86m; and ii. a level transition and threshold (accepting difference in floor materials on either side of the door). Note: See figures under 14.2.3.11-3.
d.	<p>All corridors, hallways, and passageways have a minimum clear width of 1.05m. Note: See figures under 14.2.3.11-4.</p>
e.	<p>A lounge or bedroom in the <u>primary living level</u> shall contain sufficient space to contain a bed with minimum dimensions of 0.9 metres by 1.9 metres so that that bed can fit with a minimum 0.8m around one side of the foot and a clear minimum 0.8 metre wide path from a door to the side of the bed. Note: See figures under 14.2.3.11-5.</p>
f.	<p>The laundry space shall provide at least 1.05m clearance provided in front of fixed benches and appliances. Note: See figures under 14.2.3.11-6</p>
g.	<p>The kitchen is not a <u>residential thoroughfare</u> .</p>
h.	<ul style="list-style-type: none"> i. A toilet is <u>installed</u>, or the space is to be provided for a toilet to be <u>installed</u> in the future, on the <u>primary living level</u> that has a minimum 0.8m clear space beside the toilet and a centre line of the toilet pan that is 0.45m from the wall. ii. All toilet walls, and those walls in any dedicated future toilet space, are reinforced to provide a fixing surface for grab rails to be <u>installed</u> in the future. <p>Note: See figures under 14.2.3.11-6.</p>

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i.	A shower is <u>installed</u> , or the space is provided for a shower to be <u>installed</u> in the future, on the <u>primary living level</u> that has: <ol style="list-style-type: none"> level entry shower recess with minimum dimensions of 1.2m x 1.2m; drainage of the shower recess located at the corner of a room; a clear space that provides for a 1.5m turning circle; and 800mm clear space beside the shower seat; all shower walls, and those walls in any the dedicated future shower space, are reinforced to provide a fixing surface for grab rails to be <u>installed</u> in the future.
j.	All bathrooms have slip resistant floor surfaces.
k.	For multi-storey <u>access</u> all stairway walls shall have: <ol style="list-style-type: none"> reinforced walls for future installation of a stair-lift or platform lift; reinforced walls for future installation of New Zealand Building Code accessible handrails on both sides; a minimum clear width of 0.9m; a straight design with no winder treads; consistent tread depth with a minimum dimension of 0.31m; consistent riser <u>height</u> with a minimum dimension of 0.18m; no open risers; and lighting with light switches at the top and bottom of the stairs. <p>Note: See figure under 14.2.3.11-11.</p>

14.14.3.8 Energy and water efficient standards for new residential units

All new residential units shall incorporate the following minimum energy and water efficiency standards or features.

Residential unit building projects that have been registered with Homestar™ for a minimum 6 Homestar™ rating shall be deemed to have complied with this rule.

	Feature	Sustainable Building Standards Requirements
a.	Ceiling insulation.	<u>Insulation R value 3.6</u>
b.	<u>Windows</u>	Thermally broken double glazing <u>Insulation R value 0.31</u> .
c.	Wall insulation	<u>Insulation R value 2.6</u> .
d.	Concrete Slab / Floor where this is proposed as part of the <u>building design</u>	Minimum floor <u>Insulation R value 1.5</u> . Note: Suggested options include; concrete slab with thermal break or edge insulation, or suspended timber floor with <u>Insulation R value</u> of at least 1.6.
e.	Ventilation	<ol style="list-style-type: none"> Dedicated extraction <u>installed</u> in kitchen and bathrooms. Provision to vent a clothes drier to the outside of the <u>residential unit</u>. Overflows or floor wastes for bath rooms and laundries. Ground vapour barrier <u>installed</u> beneath suspended timber floors. Means of safe and secure passive ventilation, with security latches on at least 90% of openable <u>windows</u> or a balanced whole house ventilation system with heat exchanger.

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f.	Water efficiency	WELS 3 Star Shower. WELS 4 Star Toilets. WELS 4 Star Taps.
g.	Gas heating	No installed un-flued gas heating.
h.	Lighting	75% of internal and external lighting sources to have a minimum efficacy of 35 lumens per Watt and all external lighting to be either low powered LED lighting, solar powered or with motion sensors and daylight cut of controls.
i.	Materials	No non FSC certified tropical hardwoods.

14.15 Rules - Guest Accommodation Zone

14.15.1 How to use the rules

14.15.1.1

The rules that apply to activities in the Guest Accommodation Zone are contained in:

- a. The Activity Status Tables (including Activity Specific Standards) in Rules [14.15.2](#)
- b. Built Form Standards in Rules [14.15.3](#)

14.15.1.2

The Activity Status Tables and Standards in the following chapters (where relevant):

- [5 Natural Hazards;](#)
- [6 General Rules and Procedures;](#)
- [7 Transport;](#)
- [8 Subdivision, Development and Earthworks;](#)
- [9 Heritage and Natural Environment;](#)
- [11 Utilities, Energy and Infrastructure;](#) and
- [12 Hazardous Substances and Contaminated Land](#)

14.15.2 Activity status tables

14.15.2.1 Permitted Activities

In the Guest Accommodation Zone the activities listed below are permitted activities if they comply with any Activity Specific Standards set out in this table and the Built Form Standards in Rule [14.15.3](#).

Activities may also be restricted discretionary, discretionary, non-complying or prohibited as specified in Rules [14.15.2.3](#), [14.15.2.4](#), [14.15.2.5](#) and [14.15.2.6](#).

Activity Status Tables – Guest Accommodation Zone

Activity	Activity Specific Standards
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P1	<u>Guest Accommodation</u>	<p>a. Any addition shall:</p> <p>i. Comprise less than 75 m² <u>GFA</u> at ground floor level</p> <p>b. Any <u>development</u> shall:</p> <p>i. Comprise less than 500 m² <u>GFA</u></p>
P2	Ancillary Food and beverage outlet where: i. Sales of food and drink must be for consumption on the premises.	<p>a. Any <u>ancillary retail activity</u> shall:</p> <p>i. occupy no more than 50m² <u>gross leasable floor area</u> of all <u>building_s</u> on the same <u>site_</u>, and</p> <p>ii. be located at the front of <u>buildings</u> facing the street, except on <u>rear sites</u> ; and</p>
P4	Residential	<p>a. Standards for residential activities in the following areas (as identified in Appendix 14.10.33) shall be as per the zones specified below:</p> <p>i. Kilmarnock, 197 Lincoln Road, 15 Sioux Avenue - Residential Medium Density Zone</p> <p>ii. 456 Papanui Road - Residential Suburban Transition Density Zone</p> <p>iii. Memorial Ave, 14 Henry Wigram Drive, 110 Marshlands Road - Residential Suburban Zone.</p>

14.15.2.2 Controlled Activities

There are no controlled activities

14.15.2.3 Restricted Discretionary Activities

The activities listed below are restricted discretionary activities unless specified otherwise. The matters over which Council has restricted its discretion are specified for each restricted discretionary activity listed below:

	Activity	The Council's discretion shall be limited to the following matters:
RD 1	Any permitted activity listed in 14.15.2.1 (permitted activities table) that does not comply with the Activity Specific Standards for permitted activities P1-4 unless specified under 14.15.2.4 (Discretionary Activities) Any application arising from non-compliance with this rule will not require written approvals and shall not be limited or publicly notified.	<p>a. Urban Design and Maori urban design principles – 14.9.6</p> <p>b. Scale of activity – 14.9.14</p> <p>c. Food and Beverage Outlet/Restaurant 15.8.2.4 (Commercial)</p>

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RD2	Any permitted activity that does not meet one or more of the Built Form Standards in Rules: 14.15.3.1 (Maximum Site Coverage); 14.15.3.2 (Maximum Building Height); 14.15.3.3 (Maximum Length of Continuous Built Frontage); 14.15.3.5 (Maximum Setbacks from Internal Boundaries); 14.15.3.6 (Recession Planes); 14.15.3.11 (Vehicle Access); and unless otherwise specified.	<ul style="list-style-type: none"> a. Site density and site coverage – 14.9.1 b. Building height and daylight recession planes 14.9.2 c. Street scene – road boundary building setback, front doors, fencing and planting – 14.9.3 d. Minimum Building setbacks from internal boundaries – 14.9.4 e. Urban design and Māori urban design principles – 14.9.6 f. Service, storage and waste management spaces – 14.9.11 g. Scale of activity – 14.9.14 h. Screening of non residential activities – 14.9.24
RD 3	Any permitted activity that does not meet one or more of the Built Form Standards in Rules: 14.15.3.4 (Minimum Setback from the Road); 14.15.3.7 (Building Overhangs); 14.15.3.8 (Fences and Screening); 14.15.3.9 (Landscaped Areas); 14.15.3.10 (Energy and Water Standards) ; and unless otherwise specified. Any application arising from non-compliance with this rule will not require written approvals and shall not be limited or publicly notified.	<ul style="list-style-type: none"> a. Street scene – road boundary building setback, front doors, fencing and planting – 14.9.3 b. Urban design and Māori urban design principles – 14.9.6 c. Building overhangs – 14.9.8 d. Tree and garden planting – 14.9.12 e. Screening of non residential activities – 14.9.24 f. Life stage, adaptive design and energy and water efficiency – 14.9.21 g. Water supply for fire fighting – 14.9.25
RD 4	Kilmarnock as identified in Appendix 14.10.33 : Any reconstruction or alteration to existing <u>buildings</u> or addition of new <u>buildings</u> where visible from a public place.	<ul style="list-style-type: none"> a. Urban design and Māori urban design principles – 14.9.6
RD 5	<u>Ancillary retailing</u> (unless specified as permitted) where the total area occupied by retailing on the site is <ul style="list-style-type: none"> i. no more than 50 m²; ii. excludes the sale of alcohol; and iii. the hours of operation when the <u>site</u> is open to business guests or clients are limited to between the hours of 0700 – 2200 Monday to Sunday and public holidays. 	<ul style="list-style-type: none"> a. Scale of activity - 14.9.14 b. Non residential hours of operation – 14.9.16 c. Traffic generation and access safety - 14.9.15

14.15.2.4 Discretionary Activities

Activity	The Council will consider the Matters of Discretion specified below and any other relevant matter under section 104 of the Act:
D3	Any activity not provided for as a permitted, restricted discretionary or non-complying activity.

14.15.2.5 Non-Complying Activities

There are no non-complying activities.

14.15.2.6 Prohibited Activities

There are no prohibited activities.

14.15.3 Built Form Standards

The following standards do not apply to residential activities – refer to permitted activity P4.

14.15.3.1 Maximum site coverage

- a. The maximum percentage of the net site area covered by buildings on the following sites as identified in Appendix 14.10.33 shall be as follows:

Applicable to	Permitted	Restricted Discretionary	Non-complying
i. 449 Memorial Ave	Up to 35%	Between 35 and 40%	Above 40%
ii. Kilmarnock, 197 Lincoln Road, 15 Sioux Avenue	Up to 45%	Over 45%	
iii. 110 Marshlands Road, 14 Henry Wigram Drive	Up to 35%		
iv. 56 Papanui Road	Up to 40%	Between 40 and 45%	Above 45%

14.15.3.2 Maximum building height

- a. The maximum height of any building on the following sites as identified in Appendix 14.10.33 shall be as follows:

Applicable to	Permitted	Non-complying
i. All buildings at Kilmarnock, 197 Lincoln Road, 15 Sioux Avenue, 14 Henry Wigram Drive, 456 Papanui Road, 110 Marshlands Road, 449 Memorial Ave, 265 Riccarton Road.	Up to 11m	Above 11m

14.15.3.3 Maximum Length of Continuous Built Frontage

- a. The maximum length of continuous building length shall be as follows:

Applicable to	Permitted	Restricted Discretionary
i. New buildings	Up to 15m	Over 15m
ii. Additions to existing buildings	Up to 10m	Over 10m

14.15.3.4 Minimum building setback from road boundaries

- a. The minimum building setback from road boundaries on the following sites as identified in Appendix 14.10.33 shall be as

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follows:

Applicable to	Permitted	Restricted Discretionary
i. Any buildings unless specified below:	4.5m	Less than 4.5m
ii. Buildings fronting Deans Ave, Kilmarnock, Darvel and Matai Street.	15m	Less than 15m

14.15.3.5 Minimum internal boundary setbacks

a. The minimum internal boundary setbacks shall be as follows:

Applicable to	Permitted	Restricted Discretionary
i. Buildings at Kilmarnock, 197 Lincoln Road and 15 Sioux Ave.	3m	Less than 3m
ii. Buildings at 449 Memorial Av, 456 Papanui Road, 110 Marshlands Road, 14 Henry Wigram Drive and 265 Riccarton Road.	6m	Less than 6m
iii. All <u>living area</u> windows Note: where the window is adjacent to an <u>accessway</u> the <u>setback</u> shall be measured from the far side of the <u>accessway</u> .	4m	Less than 4.5m

14.15.3.6 Daylight recession planes

a. Buildings located on sites as identified in Appendix 14.10.33 shall not project beyond a building envelope constructed by recession planes from points 2.3m above internal boundaries as shown:

Permitted	Restricted Discretionary
i. 456 Papanui Road, 449 Memorial Ave, 110 Marshlands Road, 265 Riccarton Road and 14 Henry Wigram Drive - As for the Residential Suburban Zone refer to Appendix 14.10.2 Diagram A. ii. 456 Papanui Road - As for the Residential Suburban Transition Density Zone refer to Appendix 14.10.2 Diagram A. iii. Kilmarnock, 15 Sioux Avenue and 197 Lincoln Road - As for the Residential Medium Density Zone refer to Appendix 14.10.2 Diagram C.	Non-compliance with Permitted Standard

14.15.3.7 Building overhangs

a. Building overhangs shall be provided as follows:

Permitted Standard	Restricted Discretionary	Matters of Discretion
i. No internal floor area located above <u>ground floor level</u> shall project more than 800mm horizontally beyond the <u>gross floor area at ground level</u> .	Non-compliance with the Permitted Standard Any application arising from non-compliance with this rule will not require written approvals and shall not be limited or publicly notified.	Building overhangs – 14.9.8

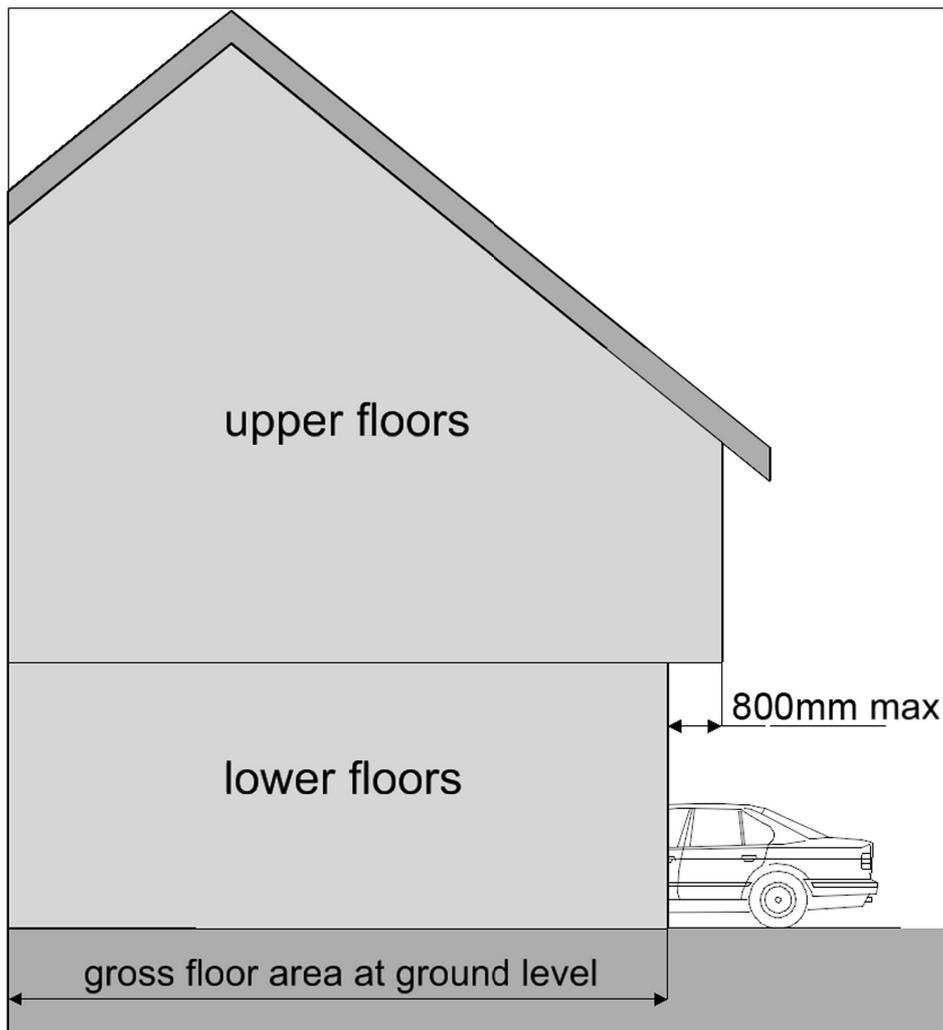


Figure 1 : Building overhangs.

Note: This diagram is an illustrative example only, showing a way the rule may be applied.

14.15.3.8 Fences and Screening

a. Fencing and/or screening shall be provided as follows:

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Applicable to	Permitted	Restricted Discretionary
i. <u>Road boundary setbacks adjoining local roads.</u>	A 1.8m where at least 50% of the fence is visually transparent.	Non-compliance with Permitted Standard
	B 1m in height	
ii. <u>Parking areas adjoining road boundaries, conservation, open space and residential zones.</u>	A 1.8m where at least 50% of the fence is visually transparent.	
	B 1m	
iii. <u>Outdoor storage areas</u>	A To ensure that the storage area is not visible from 1.8m above ground level on any adjoining road or site.	
	B Outside of the 2m planted strip along the road frontage.	

Note: For the purposes of this rule, a fence or other screening structure is not the exterior wall of a building or accessory building.

14.15.3.9 Landscaped Areas

a. Planting for non-residential activities shall be provided as follows:

Applicable to	Permitted Standard	Restricted Discretionary
i. <u>Area adjoining the road frontage of all sites.</u>	A Minimum density of one tree per every 10m of <u>road frontage</u> or part thereof, distributed across the <u>frontage</u> .	Non-compliance with Permitted Standard
	B Minimum 2m planted strip	
ii. <u>Sites</u> adjoining residential, conservation and open space zones.	A Trees should be planted adjacent to the shared <u>boundary</u> at a ratio of at least one tree for every 10m of the <u>boundary</u> or part thereof, with the trees evenly spaced along that <u>boundary</u> .	

14.15.3.10 Energy and water efficiency standards

a. Non-residential activities shall accord with the standards identified in [15.7.1.1.1](#) Lighting, [15.7.1.1.2](#) Energy Efficiency and [15.7.1.1.3](#) Water Efficiency of the Commercial Chapter.

14.15.3.11 Vehicle Access Restrictions

a. There shall be no vehicle access in the following locations as identified in Appendix 14.10.33:

Permitted Standard	Non - Complying	Matters of Discretion
i. Merivale – To Rashtrick and Tonbridge Streets;	Non-compliance with Permitted Standard	Traffic Generation and Access Safety – 14.9.15
ii. Kilmarnock – To Deans Avenue.		

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